

**TOWN OF HARVARD
PLANNING BOARD AGENDA
MONDAY, FEBRUARY 5, 2024 @ 7:00PM**

Pursuant to Chapter 2 of the Acts of 2023, An Act Making Appropriations for the Fiscal Year 2023 to Provide for Supplementing Certain Existing Appropriations and for Certain Other Activities and Projects, and signed into law on March 29, 2023, this meeting will be conducted via remote participation. Interested individuals can listen in and participate by phone and/or online by following the link and phone number below.

UpperTH ProWebinar is inviting you to a scheduled Zoom meeting.

Topic: Planning Board

Time: Feb 5, 2024 07:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/83724580109?pwd=VGVhNDU1ZlVZdXR1Ly9vN3F5Sm9WQT09>

Meeting ID: 837 2458 0109

Passcode: 612068

One tap mobile

+13052241968,,83724580109# US

+13092053325,,83724580109# US

Dial by your location

• +1 305 224 1968 US

• +1 309 205 3325 US

Meeting ID: 837 2458 0109

Find your local number: <https://us02web.zoom.us/j/83724580109?pwd=VGVhNDU1ZlVZdXR1Ly9vN3F5Sm9WQT09>

Public Comment

Old Business: a) Proposed Town Center Overlay District and Town Center Action Plan
b) 2016 Master Plan progress report
c) 2026 Master Planning steering committee & funding request

New Business: a) Request for Endorsement of Approval Not Required (ANR) under §133-1, §133-9 and §133-10, as well as to Frontage under §130-10 by the Applicants, Roginski Irrevocable Trust & Harvard Conservation Trust for parcels at 28 Deerfoot Trail, Harvard.
b) Discussion to authorize UTILE to proceed with Phase III: Form Based Code

Public Hearings:

7:15pm **Continuation of a Public Hearing pursuant to Massachusetts General Laws Chapter 40A, Section 3A,** to consider and receive comments from interested parties concerning proposed addition to Chapter 125 of the Code of the Town of Harvard the Protective Bylaw for a Multi-family overlay district. Potential updates to Draft Bylaw MBTA-3A Multi-family overlay district.

Standard Business: a) Review Metrics
b) Board Member Reports
 • Representatives & Liaisons Update
 • Community Matters
c) Master Planning for 2026
d) Approve Minutes
e) Approve Invoice: Town of Hudson Housing Consortium bill \$812.50

NEXT SCHEDULED MEETINGS:

MONDAY, FEB. 26, 2024

AS

The listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may be brought up for discussion to the extent permitted by law, also.

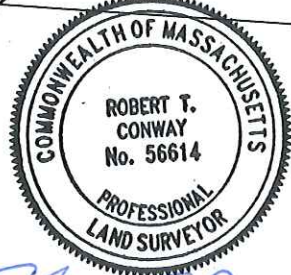
THIS PLAN IS NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES, ERECTION OF FENCES, LANDSCAPING

N/F
Porter

Certified Plot Plan

200 Still River Road Harvard, Mass.
STREET TOWN

EXISTING SEPTIC SYSTEM AND GRADING EASEMENT
(PL.BK.774-51) 273.71'



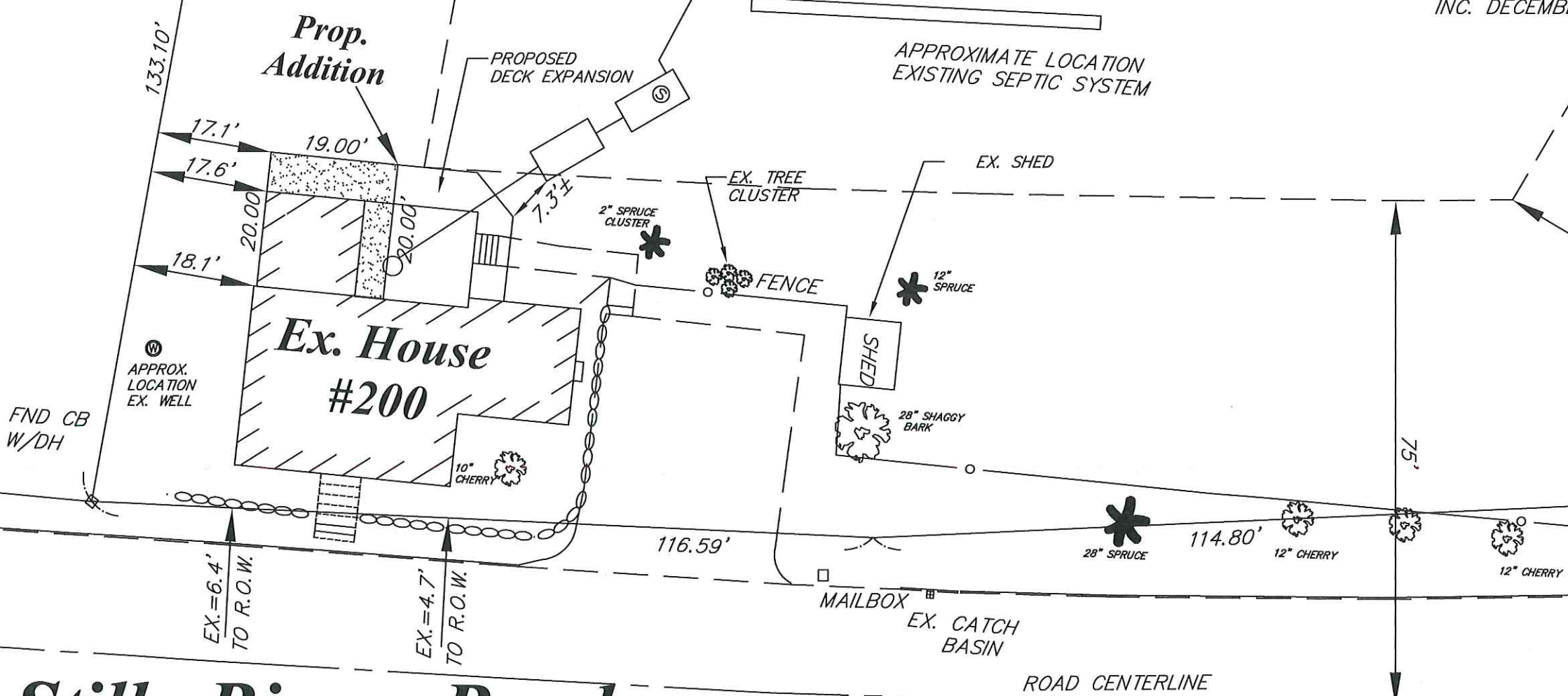
Robert T. Conway
SURVEYOR
1/25/2024

I certify that the existing house and proposed additions are located on the lot as shown.
I further certify that the existing house and proposed additions are located within Flood Zone "X" (unshaded) per Flood Insurance Rate Map (FIRM) for the Town of Harvard, Community Panel No.250308 0476 E dated July 4, 2011.

200 Still River Road
BK.50573-144
35,028± SQ. FT.

NOTE: FOR DIMENSIONS OF THE PROPOSED ADDITIONS SEE PLAN BY INTEGRITY DESIGN INC. DECEMBER 22, 2023.

N/F
Minar



N/F
US Fish & Wildlife Service

Zoning Classification: Agriculture-Residential
Scale: 1"=20'

David E. Ross Associates, Inc.

6 LANCASTER COUNTY ROAD - P.O. BOX 795 - HARVARD, MASS 01451
(978) 772-6232 FAX 772-6258

Still River Road

REFERENCES: Job #34260, NB843-3

PLAN NO. S-15248-A



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

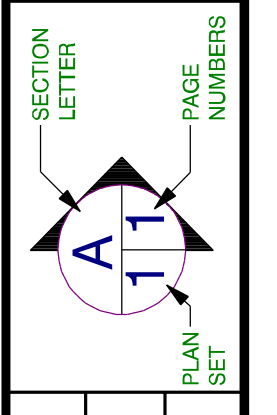


REAR ELEVATION
SCALE: 1/4" = 1'-0"

ADDITION WALL HEIGHTS		EXISTING WALL HEIGHTS	
TOP OF PLATE	7'-6"	TOP OF PLATE	7'-6"
TOP OF SUBFLOOR	1'-0"	TOP OF SUBFLOOR	6"
TOP OF PLATE	7'-9"	TOP OF PLATE	7'-6"
TOP OF SUBFLOOR	1'-1"	TOP OF SUBFLOOR	1'-1"
TOP OF FOUNDATION	5'-3"	TOP OF FOUNDATION	9"
TOP OF FOOTING		TOP OF FOOTING	6'-0"

FIELD VERIFY ALL DIMENSIONS

DRAWING ID: DM23-3-23
DRAWING MODEL:



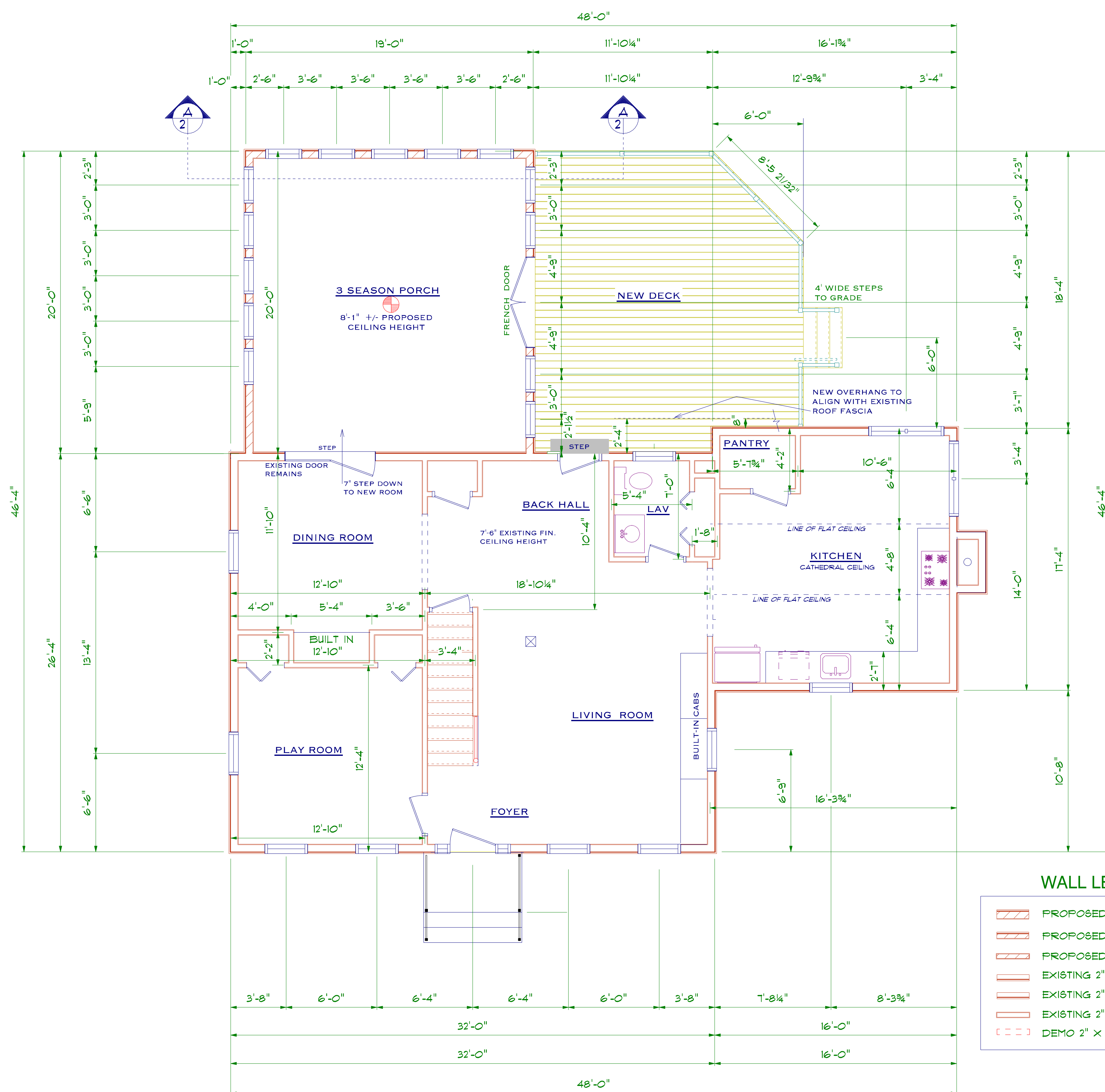
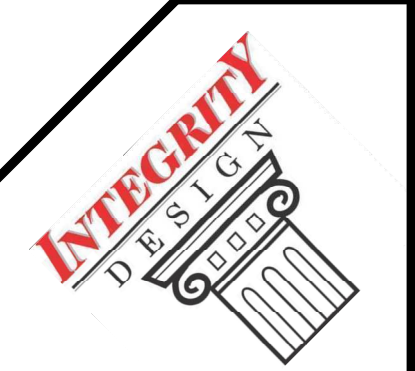
SCALE: 1/4" = 1'-0"
DRAWN BY: DJM
DATE: Friday, December 22, 2023

LATHAM RESIDENCE
200 STILL RIVER ROAD
HARVARD MA.

INTEGRITY DESIGN INC.
488 GREAT ROAD ACTON MA 01720
PHONE: 978-337-8378
EMAIL: DAN.MELE@INTEGRITYBUILDING.COM



ELEVATIONS

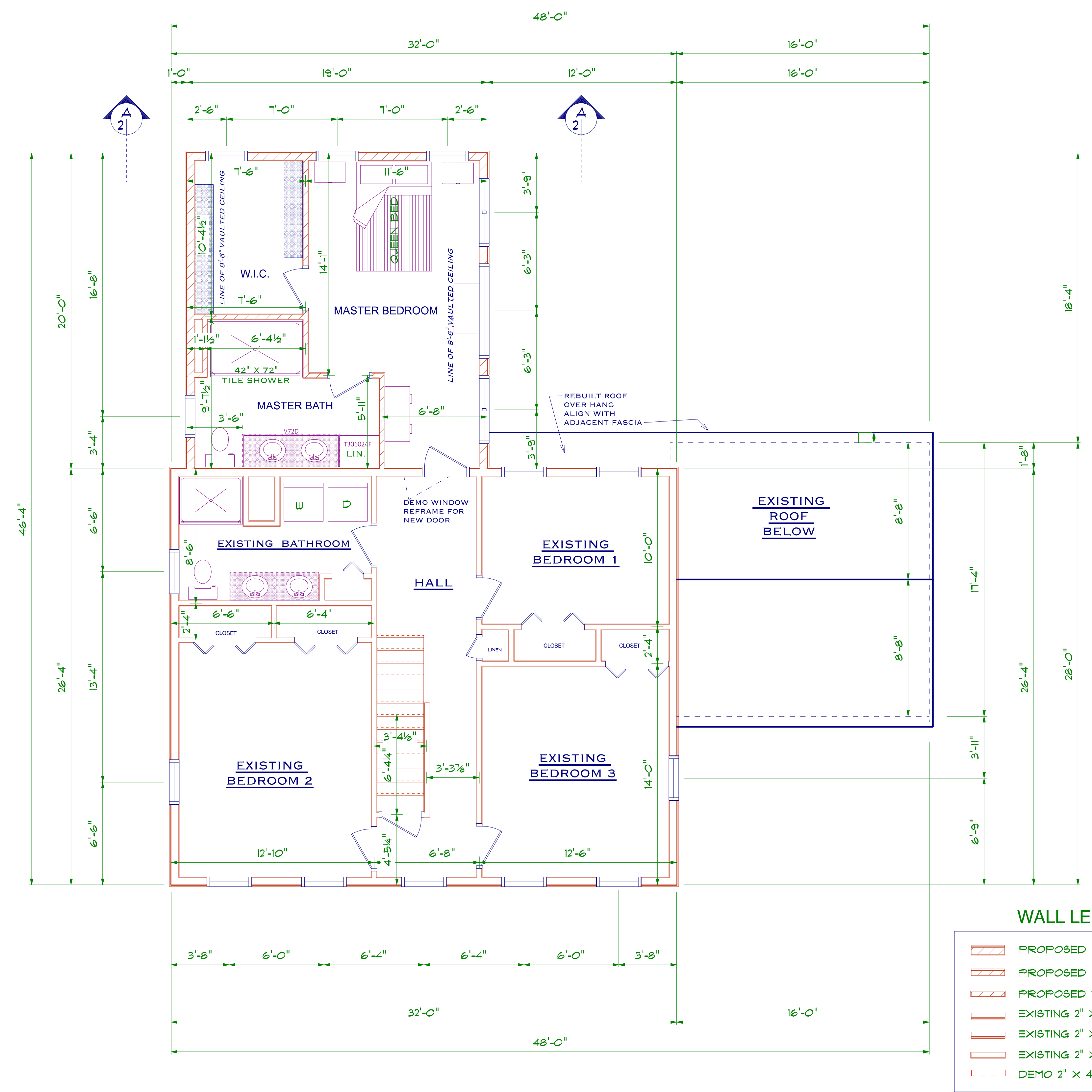


WALL LEGEND

	PROPOSED 2" X 6" EXT. WALL
	PROPOSED 2" X 4" EXT. WALL
	PROPOSED 2" X 4" WALL INT.
	EXISTING 2" X 4" WALL
	EXISTING 2" X 6" WALL
	EXISTING 2" X 4" WALL INT.
	DEMO 2" X 4" WALL

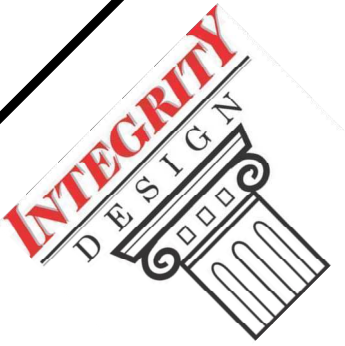
- HD HEAT DETECTOR**
- * GARAGE ONLY - HARD WIRED WITH BATTERY STAND BY POWER
- CO CARBON MONOXIDE DETECTOR**
PER MA. STATE CODE 827 CMR 31.00
-U.L. Listed Detectors Only
-Carbon Monoxide Alarm Protection shall be located in each level of each dwelling unit including habitable portions of basements, cellars and attics, but not including crawl spaces. The installation of said unit shall be located in accordance with the manufacturer's instructions.
-At a minimum, the alarm shall be located outside of any bedroom, but shall not exceed 10 ft. as measured in any direction from any bedroom door.
- CP COMBO SMOKE/C.O. DETECTORS**
-Combination Smoke/CO units must have separate audible and visual alarms for smoke & CO. Each unit must display a distinctive alphanumeric message (digital or embossed) distinguishing between smoke & CO.
- SD SMOKE DETECTOR**
-ALL UNITS HARD WIRED, INTERCONNECTED WITH BATTERY STAND BY POWER
-ONE EACH IN ALL BEDROOMS
-IN THE IMMEDIATE VICINITY OF BEDROOMS
-NEAR THE BASE OF ALL STAIRS WHERE SUCH STAIRS LEAD TO ANOTHER OCCUPIED FLOOR.
-ONE EACH MIN PER 1200 SQ' OF PART THERE OF.
-ALL DETECTORS TO BE PHOTO ELECTRIC TYPE
- EF EXHAUST FAN**
ALL BATHROOMS AND KITCHENS TO BE EQUIPPED WITH AN EXHAUST FAN TO COMPLY WITH 180 CMR 6506
BATHROOM 50 CFM - OPERATED INTERMITTENTLY OR 20 CFM CONTINUOUS
KITCHEN 100 CFM - OPERATED INTERMITTENTLY OR 25 CFM CONTINUOUS
- ALL FLUSH FRAMED BEAMS REQUIRE JOIST HANGERS FOR ANY ATTACHED JOISTS**
- ALL BEARING WALL HEADERS LONGER THAN 5'-0" REQUIRE DBL. JACK STUDS - MIN.**
- EXTERIOR HEADERS TO BE (3) 2" X 10" UNLESS OTHERWISE NOTED
- ALL FRAMING MATERIAL UNLESS OTHERWISE NOTED TO BE STAMPED S.F.F. K.D. #2 OR BETTER
- ALL EXTERIOR WALLS TO BE 2" X 6" STUDS @ 16" O.C.
- EXTERIOR WINDOW DIMENSIONS ARE ROUGH OPENINGS IF GIVEN. INTERIOR AND EXTERIOR DOORS ARE DOOR SIZES
- DO NOT SCALE DRAWING USE WRITTEN NUMBERS
- ALL INTERIOR PASSAGE OPENINGS ARE TO BE CASSED OPENINGS UNLESS OTHERWISE NOTED
- INTERIOR DOOR SYLES T.B.D. (JELD-WEN PRO-CORE SUGGESTED FOR SOUND CONTROL)
- ...Opening between the garage and residence shall be equipped with solid wood doors not less than 1-3/8 inches (35 mm) in thickness, solid or honeycomb-core steel doors not less than 1-3/8 inches (35 mm) thick, or 20 minute fire-rated doors, equipped with a selfclosing device. PER 2015 IRC R302.5.
- The contractor shall verify all structural components and verify all elevations & dimensions in the field. Once construction has begun, Integrity Design will not assume any liability for omissions, changes or errors of any type.
- BUILDER RESPONSIBLE TO COMPLY WITH ALL STATE & LOCAL BUILDING CODES
- The state of MA. building code now consists of The International Residential Code for One & Two-family dwellings (IRC 2015 addition) along with amendments directly given by the state of MA.

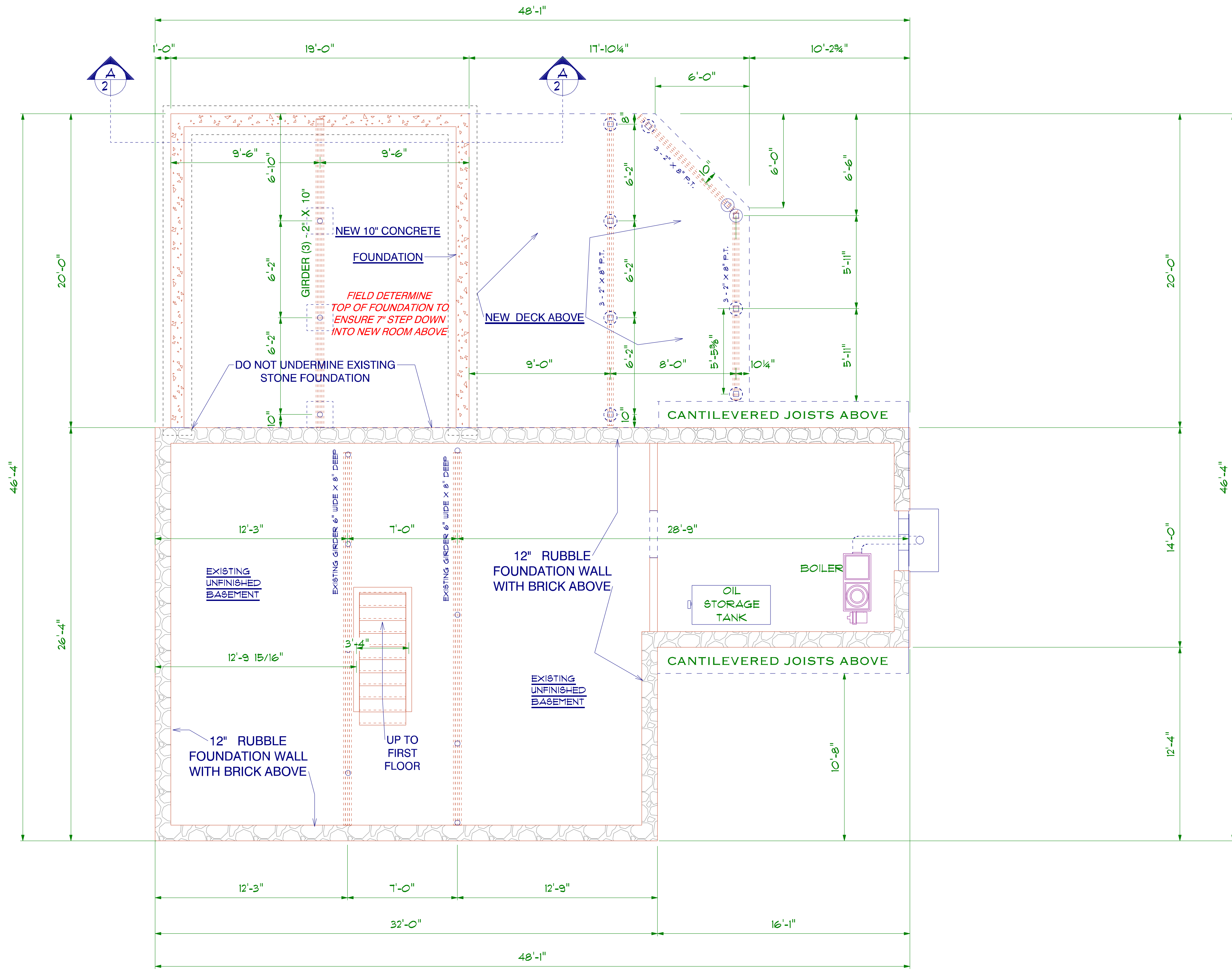
EXISTING & PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



LATHAM EXISTING & PROPOSED SECOND FLOOR B

SCALE: 1/4" = 1'-0"





EXISTING AND PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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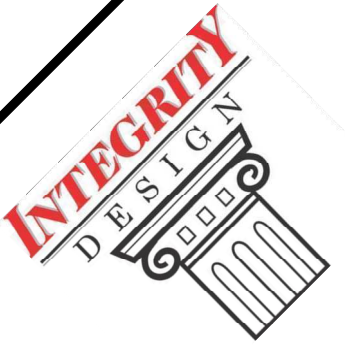
DRAWING ID: DM23-3-23
 DRAWING MODEL:

SECTION LETTER: A
 PAGE NUMBER: 11
 PLAN SET

SCALE: 1/4" = 1'-0"
 DRAWN BY: DJM
 DATE: Friday, December 22, 2023

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INTEGRITY DESIGN INC.
 488 GREAT ROAD ACTON, MA 01720
 PHONE: 978-337-8378
 EMAIL: DAN.MELE@INTEGRITYBUILDING.COM



BASEMENT PLAN

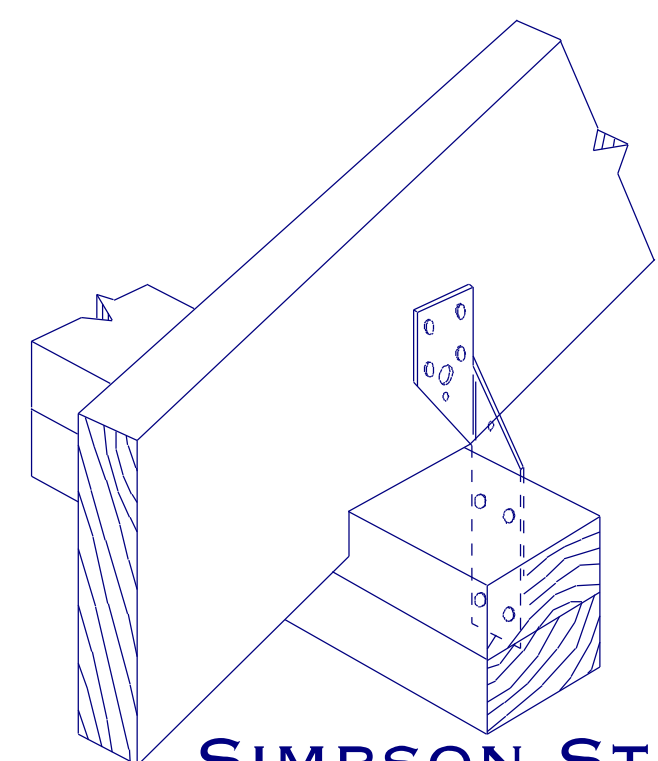


2015 IRC PRESCRIPTIVE INSULATION AND FENESTRATION REQUIREMENTS

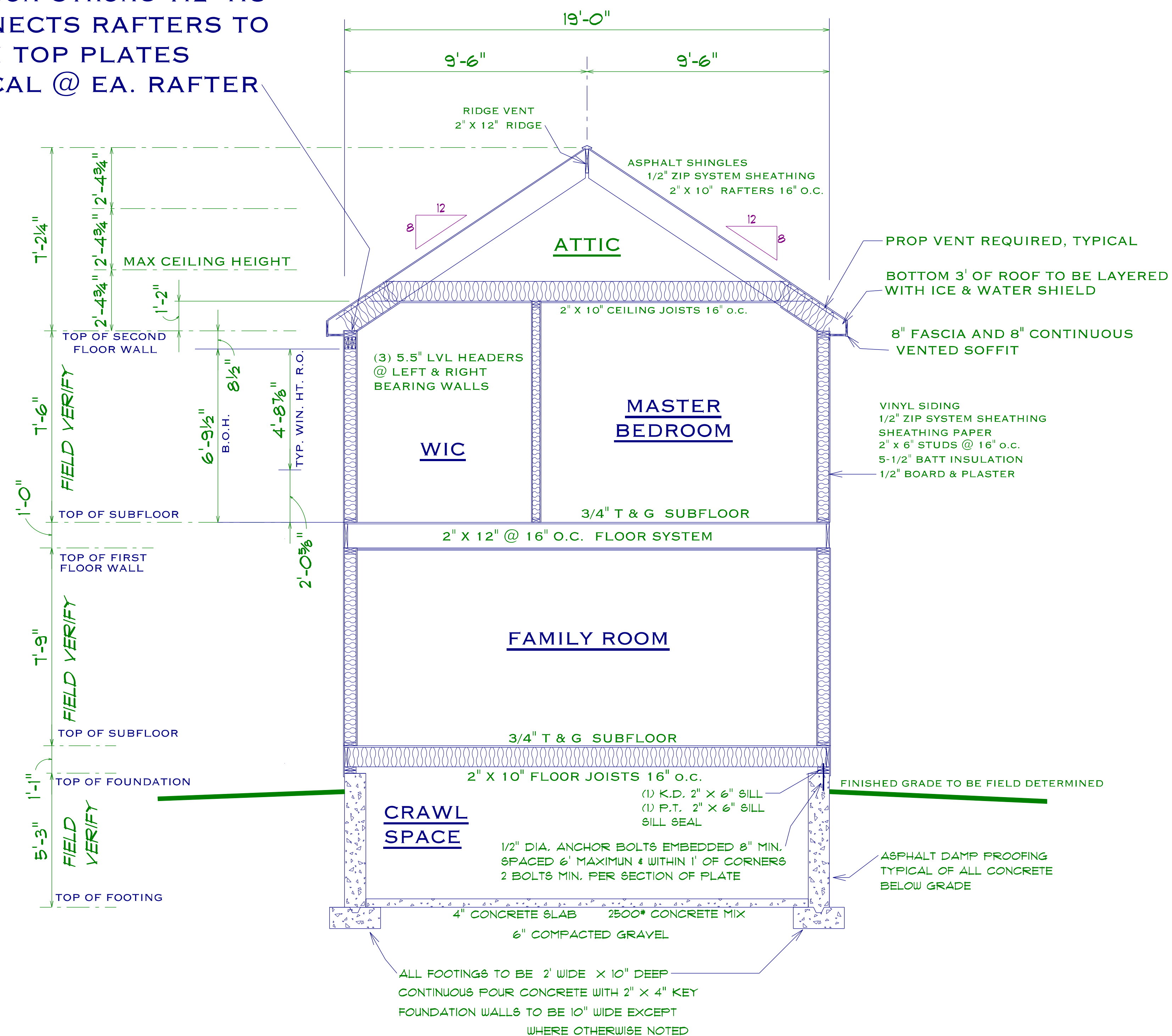
FOR CLIMATE ZONE 5

- R-49 IN CEILING, R-30 IN FLOOR SYSTEM AND R-20 IN WALLS
- NEW WINDOW AND DOOR UNITS TO HAVE U-FACTORS LESS THAN OR EQUAL TO .3
- SKYLIGHTS LESS THAN OR EQUAL TO .55 U-FACTOR

FROM IRC TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT
* THE .30 U-FACTOR REQUIREMENT IS SPECIFIC IN THE MA. AMENDMENTS



SIMPSON STRONG-TIE H8
CONNECTS RAFTERS TO
BOTH TOP PLATES
TYPICAL @ EA. RAFTER



FAMILY ROOM CROSS SECTION
SCALE: 3/8" = 1'-0"

F&R | FARRELL & ROBBINS, P.C.

🏠 270 Littleton Road, Suite 32 Westford, MA

☎ (978) 577-6255

🖨 (978) 577-6276

🌐 www.WestfordLawFirm.com

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ATTORNEY AT LAW
Licensed in Massachusetts
✉ Paula@Westfordlawfirm.com

January 30, 2024

Town of Harvard
Zoning Board of Appeals
13 Ayer Road
Harvard, MA 01451

RE: Old Mill Road - Extension of Time to Act

Dear Members of the Board,

I am writing on behalf of my client in regard to the above referenced matter, as you may know 180 days from the initial Zoning Board of Appeals hearing is approaching, extra time will be needed to review and grant the permit. As such, please allow this letter to serve as an extension of time for the Zoning Board of Appeals to act an additional 30 days beyond the 180 days allowed by 760 CMR 56.

Thank you for your time and attention to this matter.

Very truly yours,

/EAM

Melissa E. Robbins

MER/eam

AMENDMENT TO AND EXTENSION OF PURCHASE AND SALE AGREEMENT

Date: August 22, 2023

Sellers: Robert E. Marhefka and James Mastrogiovanni, as Trustees of the REM Realty Trust

Buyer: Walter K. Eriksen, or nominee

Properties: Ayer Road and Old Mill Road, Harvard, Massachusetts


The above-referenced parties mutually agree to amend the Purchase and Sale Agreement between them dated August 12, 2021 (the "Agreement"), and to further extend the time for performance under the Agreement as set forth below.

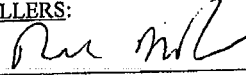

Paragraph 5 of the each of the Agreement is amended to read as follows:

"5. TIME FOR PERFORMANCE: DELIVERY OF DEED. The Buyer and Seller hereby agree to extend the time for delivery of the deed in order to give the Buyer additional time to obtain all approvals necessary to develop the Property. The extended time for performance for the closing hereunder shall be on or before December 1, 2023; provided, however that the time for closing may be set at an earlier date if both the Buyer and Seller so elect in a mutually executed written instrument. The Buyer agrees to pay the Seller the amount of \$1,250.00 per month for each month until the closing.*In addition, the Buyer may, at Buyer's option, extend the time for closing for an additional three months beyond December 1, 2023; provided, however, that for each such month the Buyer shall pay to the Sellers the amount of \$2,500.00 per month. The closing shall take place within 30 days after the expiration of any applicable appeal period of the Buyer's project by the Town of Harvard and the Commonwealth of Massachusetts. The closing shall take place at the office of the Buyer's counsel unless otherwise agreed upon in writing. It is agreed that time is of the essence of this agreement.

"The parties agree to continue to cooperate in good faith pending completion of the Buyer's permitting process."

All other terms of the Agreement shall remain in full force and effect. This extension is intended to take effect as a sealed instrument.

BUYER:

Walter K. Eriksen, Jr.

SELLERS:

Robert E. Marhefka, Trustee

James Mastrogiovanni, Trustee

was set forth in Paragraph 24c of the Purchase and Sale Agreement.

CHAPTER 40B RESIDENTIAL DEVELOPMENT

THE VILLAGE AT ROBIN LANE

HARVARD, MA

SITE DATA

LOT AREA: 11.47± AC. (499,853 SF)
DWELLING UNIT: RESIDENTIAL DUPLEX (3-BEDROOM & 2-BEDROOM UNITS)
BEDROOM COUNT: 60 BEDROOMS (12 RESIDENTIAL DUPLEX)
WATER SUPPLY [1]: ON-SITE WELLS (6,820 GPD)
SEWAGE DISPOSAL [1]: ON-SITE SEWAGE DISPOSAL SYSTEM (6,820 GPD)

[1] ON-SITE WELLS AND SEWAGE DISPOSAL SYSTEM HAVE BEEN DESIGNED TO HANDLE (62) BEDROOMS, ACCOMMODATING THE (60) BEDROOMS ASSOCIATED WITH THE PROPOSED 12 RESIDENTIAL DUPLEXES, AS WELL AS ADDITIONAL (2) BEDROOMS AS BONUS.

GENERAL NOTES

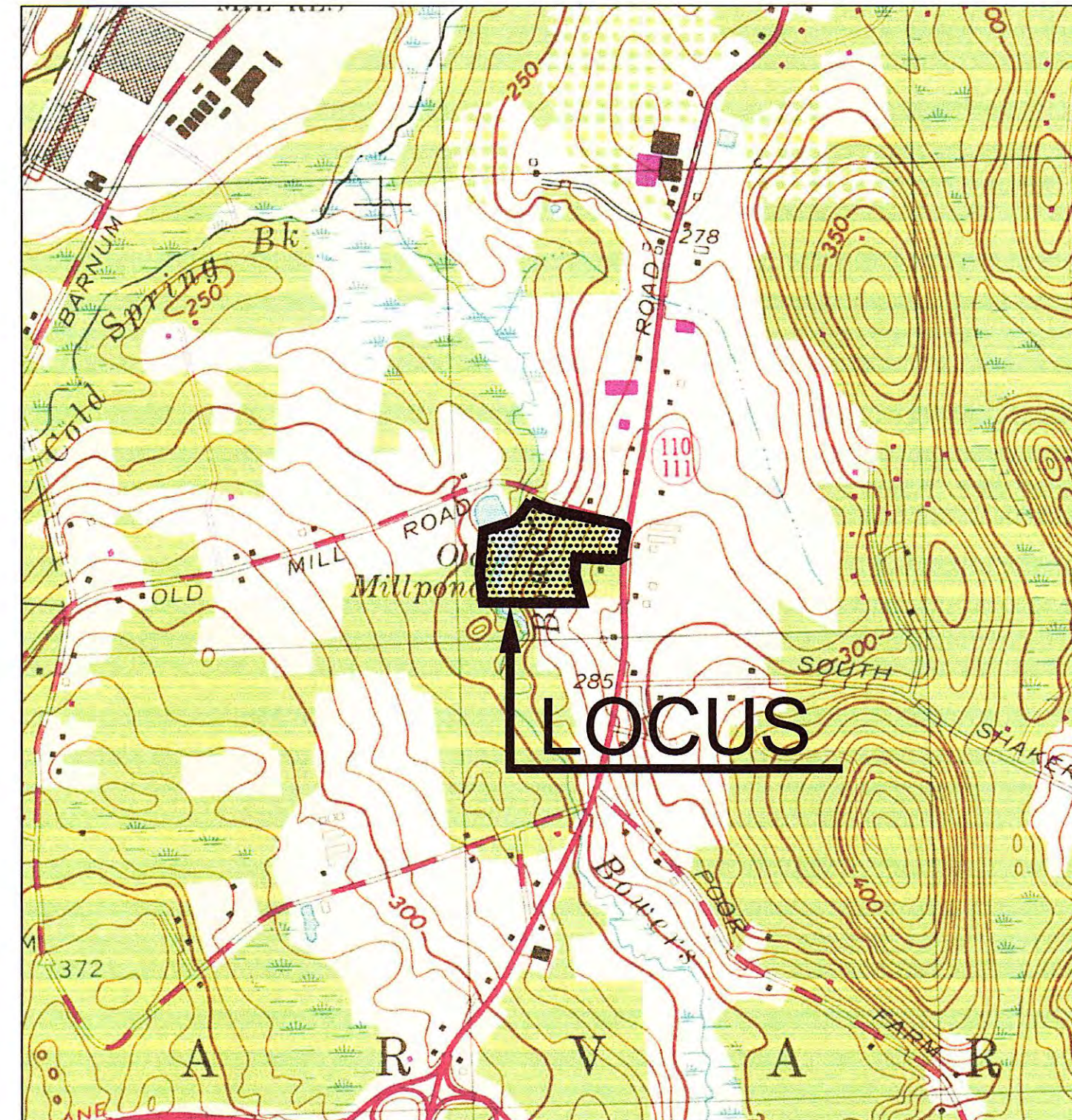
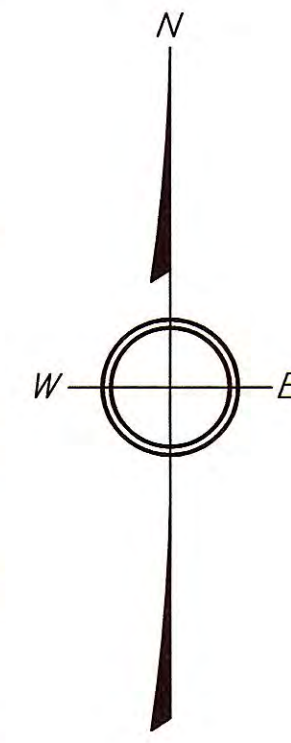
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- BURIED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR RESPECTIVE COMPANY SPECIFICATIONS.
- CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS SHALL BE PERFORMED BY A LICENSED PROFESSIONAL LAND SURVEYOR. LOCATIONS OF EXISTING FEATURES OR PROPOSED IMPROVEMENTS DERIVED BY SCALING DRAWINGS MAY NOT BE ACCURATE. PROPERTY LINES SHOWN HEREON ARE APPROXIMATE. SEE PLAN REFERENCE HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS, AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING UTILITY OR STRUCTURE DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND/OR REMOVAL HEREON. DAMAGED UTILITY OR STRUCTURE SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- CONTRACTOR SHALL NOTIFY ENGINEER UPON COMMENCEMENT OF CONSTRUCTION IN ORDER TO ENSURE THAT REQUIRED INSPECTIONS ARE PERFORMED IN A TIMELY AND EFFICIENT MANNER.
- CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER UPON DISCOVERY OF ANY UNFORESEEN SURFACE OR SUBSURFACE CONDITIONS THAT MAY IMPACT SITE CONSTRUCTION.
- FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EROSION CONTROL MEASURES, SUCH AS SILT FENCE OR STRAW WATTLES AS MAY BE SHOWN HEREON, SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.
- WHERE THE WORD "INSTALL" IS USED HEREIN, IT IS INTENDED TO DIRECT CONTRACTOR TO "FURNISH, INSTALL, AND PLACE IN OPERATION" THE COMPONENT REFERRED TO.
- LIMITS OF WORK SHALL BE STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL STORM DRAIN PIPE TO BE SMOOTH INTERIOR HDP PIPE, 2.0 PSI GASKETED JOINT, UNLESS OTHERWISE NOTED.
- WHERE SHOWN, CONSTRUCTION NOTES ARE INTENDED TO SUMMARIZE AND CLARIFY MAJOR ITEMS OF WORK. THESE NOTES SHOULD NOT BE CONSTRUED AS AN EXHAUSTIVE LISTING OF ALL WORK REQUIRED. CONTRACTOR SHOULD CONTACT ENGINEER WHEN FURTHER CLARIFICATION OF DEPICTED WORK IS DESIRED.
- CONSTRUCTION OF FIRE AND DOMESTIC WATER SUPPLY IMPROVEMENTS SHALL CONFORM TO TOWN OF HARVARD REQUIREMENTS.
- WHERE DIMENSIONS INVOLVE CURB, DIMENSIONS ARE TO FACE OF CURB. WHERE SLOPED GRANITE CURB OR CAPE COD BERM SPECIFIED, FACE OF CURB IS EDGE OF FINISH PAVEMENT AT TOE OF CURB.
- NO DEBRIS, JUNK, RUBBISH OR OTHER NON-BIODEGRADABLE MATERIALS, FILL CONTAINING HAZARDOUS MATERIALS OR WASTES, OR STUMPS SHALL BE BURIED ON ANY LAND ON THIS SITE, OR LEFT ON ANY LOT OR ON THE STREET RIGHT OF WAY.

REGULATORY NOTES

- CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 888.344.7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL GIVE TWENTY-FOUR (24)-HOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- CONTRACTOR SHALL BE AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 24B CMR 2.00.
- GENERAL COMPLIANCE WITH 28 CFR PART 36 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND 521 CMR PART C, EXTERIOR OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS IS INTENDED. CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION AND SHALL NOTIFY THE OWNER OF ANY NON-COMPLIANCE ISSUES AS SOON AS DISCOVERED.

COVERAGE COMPUTATIONS

PARAMETER	AREA (ACRES)	AREA (SQARE FEET)	FRACTION OF TOTAL LOT AREA (%)
EXISTING CONDITION			
Lot Area	11.47	499,853	100%
Total Impervious Coverage	0.00	0	0%
DEVELOPED CONDITION			
Lot Area	11.47	499,853	100%
Building Footprint	0.68	29,808	6%
Other Impervious Area	0.80	34,808	7%
Total Impervious Coverage	1.48	64,616	13%
Open Space Area	9.99	435,237	87%
Common Open Space	7.47±	325,400±	65%



VICINITY MAP
SCALE: 1" = 1000'

ZONING SUMMARY

Juno Construction, LLC Map: 4
92 Middlesex Road, Unit 3 Parcel: 52, 52.1, 52.2, 53
Tyngsborough, MA 01879

Parameter	Section [1] Requirement	Remarks
Zoning District	125-23 C	Commercial District
Proposed Use	125-23 Prohibited	Residential Duplex
Lot Area	125-29.B(1) 1.50 acres	11.47± acres
Frontage	125-29.B(2) 180 ft	
Lot Width	125-29.B(2) 200 FT	
Yard [2]		
Front	20 FT	
Side	20 FT	
Rear	20 FT	
Buffer strip	125-39.C(1) 20 FT	10% of standard lot width
Open Area	125-39.C(2) Not required	87% (435,237± SF)
Floor Area Ratio	125-30.B 10% of land area of lot	15.8% of land area of lot (49,985± SF max. allowable) 78,960± SF total floor area (3,290± SF per dwelling unit)
Building Height	125-30.C <35 FT; <3 stories	above average grade, excepting unoccupied projections
Parking	125-39.A(1) quantity not regulated	(2) parking spaces per dwelling units, (12) guest parking spaces
Wetlands Setback	60-FT no disturb buffer	75-FT no structure buffer
Zone 1 Protective Radius		On-site public water supplies

NOTES:
[1] Reference to section of The Protective Bylaw, where applicable.
[2] Building setback from property line shall be at least 60 feet from abutting property in an AR or MR District.

ABBREVIATIONS:
SF=Square feet; CF=Cubic feet; FT=feet; GFA=gross floor area; AC=acres; WFH=Watershed Protection and Flood Hazard;
IPOD=Interim Planning Overlay District; WCTOD=Wireless Communications Tower Overlay District; ZBA=Zoning Board of Appeals.

PARKING SUMMARY

Number of Dwelling Units	No. of Parking Spaces per Unit	Guest Parking Spaces	Total No. of Parking Spaces
24	2	12	60

LOCAL BYLAW EXEMPTIONS

Section	Requirement	Request
PROTECTIVE ZONING BYLAW (CHAPTER 125) Section 125-23	Uses permitted in the Commercial District.	Allow residential use in the Commercial District.
Section 125-30.A	Every structure must be able to provide its own lot conforming to the bylaw.	Allow multiple structure on a single lot.
Section 125-30.B	Total building floor area (all levels, all buildings) shall not exceed 10% (49,985± SF) of the land area of the lot.	Allow over 10% of land area (Proposed 15.8%) of the lot as total building floor area for all the residential dwelling units (78,960± SF total floor area).
Section 125-30.E(2)	Structures other than fences shall be set back from lot boundaries by at least the height of the structure.	Allow proposed gazebo to be located within the structure set back line and the dwellings to be pursuant to Section 125-30.E.(3) & (4).
Section 125-30.E(4)	In the Commercial District such structures shall be set back from the front lot line a minimum of 20 feet.	Allow proposed gazebo to be located within 20 feet of the property line.
Section 125-31	Limits number of structures on a lot.	Allow a private way to service 24 units (12 structures) Village at Robin Lane.
Section 125-32.D	Communal disposal by a non-municipal entity.	Allow the use of a communal subsurface sewage disposal system in accordance with Title 5 of the State Environmental Code.
Section 125-38.F	Design review submission.	No design review board process.
Section 125-38.G	Prepare a landscape plan at the same scale as the site plan.	Provide typical structure planting layout, street trees and cut-de-sac plantings.
Section 125-39.A(3)(a)(1)	Parking stalls at least nine by 19 feet.	Allow guest parking stall dimension to be nine by 18 feet.
Section 125-39.G(1)	Provide 6-ft wide cement concrete sidewalks along all sides of the lot which abuts a public street unless an alternative surface is allowed by the Planning Board.	Allow 6-ft wide bituminous concrete sidewalk to be constructed along the section of Old Mill Road up to Ayer Road only and allow an alternative surface approval by the Zoning Board of Appeals.. Proposed sidewalk will end at approximately the location of 1
Section 125-39.G(2)	Internal pedestrian walkways to be 6-ft wide and car stops to be provided at parking spaces.	To allow 4-ft wide bituminous concrete sidewalk along one side of the street and no car stops required.
Section 125-58.E	Project subject to Planning Board review as part of the Planning Board process.	Allow review by the Zoning Board of Appeals as part of the Zoning Board of Appeals process.
ZONING BOARD OF APPEALS (CHAPTER 136) Section 136-3.A(1)(a)(1)(b)(x)	Filing procedure to include proposed lighting and photometric analysis within site development plans.	Waive the requirement for lighting and photometric analysis as there is no proposed street lights or driveway lights. Development is designed in accordance with "dark sky" guidelines.
WETLAND PROTECTION BYLAW (CHAPTER 119) Section 119-4E	At time of application the applicant shall pay the local filing fee(s).	At time of application the applicant will pay the State mandated fees (only).
WETLAND PROTECTION BYLAW REGULATIONS (CHAPTER 147) Section 147-6C	Filing procedure to include additional Harvard filing fees (Form F)...	At time of application the applicant will pay the State mandated fees (only).
Section 147-12	Harvard wetland setbacks of no disturbance within fifty feet (50') and no driveways, roads, structures within seventy-five feet (75').	Use the Wetland Protection Act standards.
Section 147-14C	Enhanced Stormwater management standards.	Allow the project to provide best management practices pursuant only to Massachusetts Stormwater Handbook standards.
Board of Health Article I Sanitation (Chapter 145) Section 145-3J	There must be a minimum offset distance of ten feet (10') between the primary and the reserve area.	Standards of Title 5 to be followed.
Section 145-6B	Additional deep observation hole testing will be required at one test hole per additional 2,000 gallons per day capacity or fraction thereof.	Standards of Title 5 to be followed.

SHEET INDEX

- C1.1 TITLE SHEET
- C2.1 EXISTING CONDITIONS PLAN
- C3.1 SITE LAYOUT AND UTILITIES PLAN
- C4.1 GRADING, DRAINAGE AND PAVING PLAN
- C5.1 DRIVEWAY PROFILE & EMERGENCY VEHICLE TURNING MOVEMENT
- C6.1 EROSION AND SEDIMENT CONTROL PLAN
- C7.1 CONSTRUCTION DETAILS
- C7.2 CONSTRUCTION DETAILS

EXISTING CONDITION NOTES:

- THE EXISTING CONDITION INFORMATION SHOWN IS BASED ON AN INSTRUMENT SURVEY PERFORMED BY THIS OFFICE IN PREPARATION OF THIS DRAWING.
- THE WETLAND DELINEATION SHOWN HAS BEEN PERFORMED BY NORSE ENVIRONMENTAL DURING OCTOBER 2021. SEE PLAN REFERENCE NO. 2.
- APPROXIMATE LIMIT OF THE 100-YR FLOODPLAIN AND ZONE AE SHOWN IS BASED ON FEMA FLOOD INSURANCE STUDY ELEVATION. DATED JULY 4, 2011. PANEL NO. 25027C0312F.

PLAN REFERENCES:

- "PLAN OF LAND IN HARVARD, MASS." AS PREPARED BY GOLDSMITH, PREST & RINGWALL, INC. DATED NOVEMBER 28, 2000. JOB NO. 99213. FILED AS PLAN BOOK 763, PLAN 22.
- "ABBREVIATED NOTICE OF RESOURCE AREA DELINEATION - OLD MILL ROAD, HARVARD, MA" AS PREPARED BY GOLDSMITH, PREST & RINGWALL, INC. REVISED NOVEMBER 25, 2023.
- "NEW DUPLEX, HARVARD, MASSACHUSETTS" AS PREPARED BY JOZKOS ARCHITECTURE INC. DATED OCTOBER 7, 2021. PROJECT NO. 21052.
- "CHAPTER 40B RESIDENTIAL DEVELOPMENT - SUBSURFACE SEWAGE DISPOSAL SYSTEM - THE VILLAGE AT ROBIN LANE" AS PREPARED BY GOLDSMITH, PREST & RINGWALL, INC. DATED TBD.

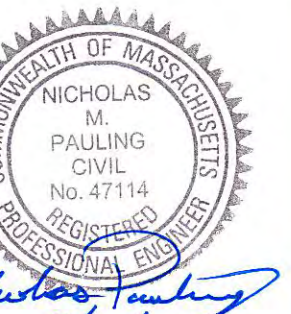
APPROVED BY THE
HARVARD ZONING BOARD OF APPEALS

_____ CHAIR
_____ APPLICATION FILED
_____ HEARING DATE
_____ PLAN APPROVED

DRAWING ISSUED FOR:

- CONCEPT
- CONSTRUCTION
- PERMIT
- CONSTRUCTION RECORD

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NO.	DATE	BY	APP.	REVISION DESCRIPTION
2	11/16/23	LT	NMP	PEER REVIEW COMMENTS
1	9/20/23	LT	NMP	PEER REVIEW COMMENTS

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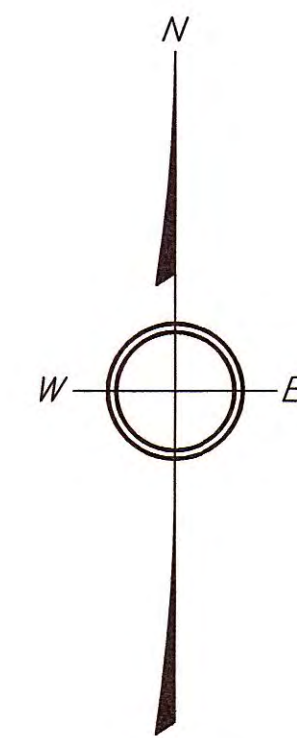
40B RESIDENTIAL DEVELOPMENT

TITLE SHEET

THE VILLAGE AT ROBIN LANE
AT OLD MILL & AYER ROADS
HARVARD, MA

PREPARED FOR:
JUNO CONSTRUCTION, LLC
92 MIDDLESEX ROAD, UNIT 3
TYNGSBOROUGH, MA 01879

DES. BY: LT
CHK. BY: NMP
DATE: JUNE 2023
JOB: 211140
C1.1



N/F
MNC & DAG
UNRECD REV. TR.
4.3130/396

N/F
TOWN OF
HARVARD
CONSERVATION
28153/214

OLD MILL
POND

LOT 1-3
11.47± ACRES

N/F
WELCH COMMERCIAL
ENTERPRISES INC.
50547/7

N/F
TOWN OF HARVARD
CONSERVATION-MAXANT
11358/46776

N/F
FOXGLOVE
HOUSING ASSOC.
14348/25

- LEGEND**
- EXISTING
- ELEVATION CONTOUR
 - SPOT GRADE
 - PROPERTY LINE
 - WETLAND DELINEATION
 - WETLAND BUFFER ZONE
 - SHORELINE
 - 100-YEAR FLOODPLAIN LIMIT
 - TREE LINE / EDGE OF VEGETATION
 - EDGE OF PAVEMENT
 - CAPE COD BERM CURBING
 - GRANITE CURBING
 - GRAVEL/DIRT ROAD
 - STOCKADE FENCE
 - STONE WALL
 - WATER MAIN
 - WATER SERVICE
 - FIRE SERVICE
 - WATER VALVE
 - FIRE HYDRANT
 - FORCE MAIN
 - GRAVITY SEWER LINE
 - SEWER MANHOLE
 - GAS LINE
 - GAS SERVICE
 - GAS VALVE
 - BURIED POWER LINE
 - OVERHEAD POWER LINE
 - UTILITY POLE
 - GUY WIRE
 - ELECTRIC BOX
 - STORM DRAIN
 - UNDERDRAIN
 - ROOF DRAIN
 - FOUNDATION DRAIN
 - CATCH BASIN
 - DRAIN MANHOLE
 - DEEP SOIL OBSERVATION HOLE
 - SITE LUMINAIRE
 - SIGN

- ABBREVIATIONS**
- EL ELEVATION
 - INV INVERT
 - SF SQUARE FEET
 - AC ACRES
 - FT FEET
 - R RADIUS
 - DIA DIAMETER
 - BIT BITUMINOUS
 - CONC CONCRETE
 - L LENGTH
 - S SLOPE
 - HDPE HIGH DENSITY POLYETHYLENE
 - PVC POLYVINYL CHLORIDE
 - RCC REINFORCED CONCRETE PIPE
 - N/F NOW OR FORMERLY
 - VP VERNAL POOL
 - WF WETLAND FLAG
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - FG FINISH GRADE
 - BSMT BASEMENT
 - FF FINISH FLOOR

NOTE:
1. SEE TITLE SHEET C1.1 FOR EXISTING CONDITIONS NOTES AND PLAN REFERENCES.

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2	11/16/23	LT	NMP	FEMA ZONE AE UPDATE
1	9/20/23	LT	NMP	PEER REVIEW COMMENTS

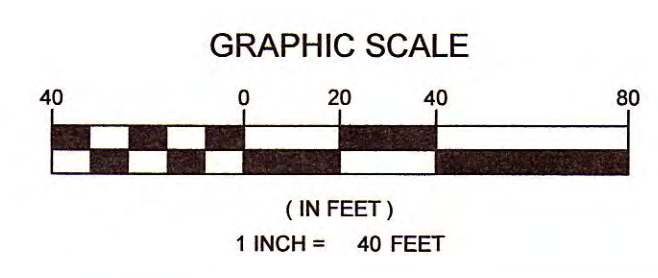
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40B RESIDENTIAL DEVELOPMENT
 EXISTING CONDITIONS PLAN

THE VILLAGE AT ROBIN LANE
 AT OLD MILL & AYER ROADS
 HARVARD, MA

PREPARED FOR:
 JUNO CONSTRUCTION, LLC
 92 MIDDLESEX ROAD, UNIT 3
 TYNGSBOROUGH, MA 01879



FIELD BY: AMB	DATE: JUNE 2023	JOB 211140	C2.1
CALC. BY: DSB			

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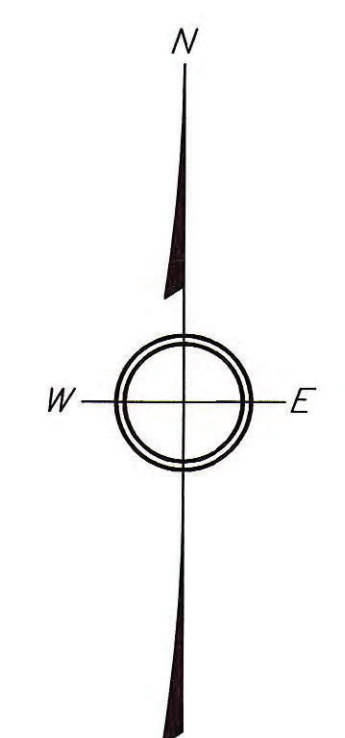
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The Village at Robin Lane - Sewer Rim & Invert Schedule

Building Unit [1]	FROM		TO		Pipe Size (in)	Pipe Type	Length (ft)	Slope (ft/ft)	From		TO		Pipe Size (in)	Pipe Type	Length (ft)	Slope (ft/ft)	Drop Wye Invert	
	TOP / Rim Elev	Invert	Structure Invert	Min. Tank Invert					Structure Invert	Structure Invert	Structure Invert							
1A & 1B	278.50	274.75	Tank in	274.51	276.76	4	PVC	12.0	0.020	Tank out	274.26	SMH-1	273.50	4	PVC	22.0	0.035	271.90
2A & 2B	279.50	275.75	Tank in	275.51	277.76	4	PVC	12.0	0.020	Tank out	275.26	SMH-1	273.50	4	PVC	43.0	0.041	271.90
3A & 3B	273.50	269.75	Tank in	269.51	271.76	4	PVC	12.0	0.020	Tank out	269.26	SMH-1 - SMH-3	268.50	4	PVC	24.5	0.031	266.71
4A & 4B	276.00	274.25	Tank in	274.01	276.26	4	PVC	12.0	0.020	Tank out	273.76	SMH-1 - SMH-3	270.92	4	PVC	62.5	0.054	-
5A & 5B	270.50	266.75	Tank in	266.51	268.76	4	PVC	12.0	0.020	Tank out	266.26	SMH-1 - SMH-3	265.50	4	PVC	24.5	0.031	262.27
6A & 6B	274.50	270.75	Tank in	270.51	272.76	4	PVC	12.0	0.020	Tank out	270.26	SMH-2 - SMH-3	269.50	4	PVC	28.0	0.027	267.32
7A & 7B	266.50	262.75	Tank in	262.51	264.76	4	PVC	12.0	0.020	Tank out	262.26	SMH-2 - SMH-3	261.47	4	PVC	39.3	0.020	-
8A & 8B	268.75	264.50	Tank in	264.26	266.51	4	PVC	12.0	0.020	Tank out	264.01	SMH-2 - SMH-3	263.50	4	PVC	22.0	0.023	261.59
9A & 9B	267.50	264.50	Tank in	264.26	266.51	4	PVC	12.0	0.020	Tank out	264.01	SMH-2 - SMH-3	263.08	4	PVC	54.6	0.017	-
10A & 10B	269.00	265.00	Tank in	264.76	267.01	4	PVC	12.0	0.020	Tank out	264.51	SMH-2 - SMH-3	263.27	4	PVC	63.4	0.027	-
11A & 11B	269.00	265.00	Tank in	264.76	267.01	4	PVC	12.0	0.020	Tank out	264.51	SMH-2	263.70	4	PVC	31.5	0.026	-
12A & 12B	270.00	266.00	Tank in	265.76	268.01	4	PVC	12.0	0.020	Tank out	265.51	SMH-2	263.70	4	PVC	54.8	0.033	-
SMH-1	275.90	271.80	SMH-3	260.12	-	6	PVC	271.3	0.043	-	-	-	-	-	-	-	-	
SMH-2	267.10	263.00	SMH-3	260.12	-	6	PVC	211.3	0.016	-	-	-	-	-	-	-	-	
SMH-3	266.00	260.00	Manhole Tank	250.42	-	6	PVC	42.3	0.014	-	-	-	-	-	-	-	-	

[1] Each dwelling unit shall have their own building sewer connection going into the septic tank for each residential duplex.
 [2] Septic tanks shall be 1,500-Gal tank rated for H-20 loading unless stated otherwise.

Abbreviations:
 SMH - Sewer Manhole; TOF - Top of Foundation;



N/F MNC & DAG
 UNRECD REV. TR.
 43130/396

N/F TOWN OF HARVARD CONSERVATION
 28153/214

PROPOSED IWPA
 RADIUS = 450.52'
 2,273 GPD (TYP. OF 3)

OLD MILL POND

PROPOSED ZONE 1
 RADIUS = 153.50'
 2,273 GPD (TYP. OF 3)

N/F TOWN OF HARVARD CONSERVATION-MAXANT
 11358/46776

N/F FOXGLOVE HOUSING ASSOC.
 14348/25

PROPOSED PRESBY SEPTIC LEACHING FIELD
 62 BEDROOMS
 6,820 GPD DESIGN FLOW
 (60-BDR + 2 BONUS)
 [SEE SITE DATA ON SHEET C1.0]
 [SEE PLAN REFERENCE NO. 4]

B.M. NO. 1
 MAG-NAIL IN UP#3
 EL. 268.02

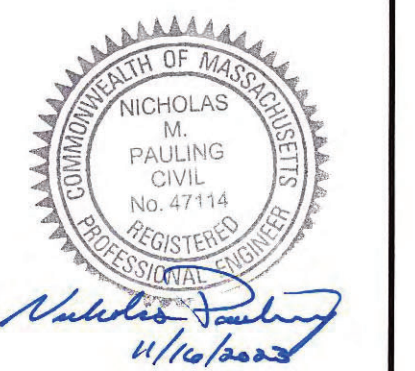
ELECTRICAL SERVICE CONNECTIONS SHALL BE COORDINATED WITH UTILITY'S OWNER FROM EXISTING UTILITY POLE

PROPOSED PRIVATE COMMON DRIVEWAY SIGN
 ACCESSIBLE CURB RAMP
 STOP SIGN
 PROPOSED GAZEBO
 EXISTING UTILITY POLE TO BE RELOCATED PER UTILITY'S OWNER REQUIREMENTS

PROPOSED 6-FT BITUMINOUS CONCRETE WALKWAY

SITE PLAN NOTE:
 1. PIPE ENCASUREMENT SHALL BE REQUIRED FOR WATER AND SEWER UTILITY CROSSINGS EXCEPT FOR WHERE WATER LINE CAN BE INSTALLED AT LEAST 18 INCHES OVER SEWER LINE. SEE PIPE ENCASUREMENT DETAIL ON SHEET C7.1.

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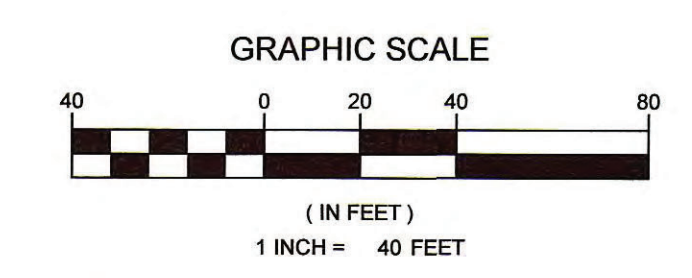


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40B RESIDENTIAL DEVELOPMENT
 SITE LAYOUT AND UTILITIES PLAN
 THE VILLAGE AT ROBIN LANE AT OLD MILL & AYER ROADS HARVARD, MA
 PREPARED FOR:
 JUNO CONSTRUCTION, LLC
 92 MIDDLESEX ROAD, UNIT 3
 TYNGSBOROUGH, MA 01879



DES. BY: LT	DATE: JUNE 2023	JOB 211140	C3.1
CHK. BY: NMP			

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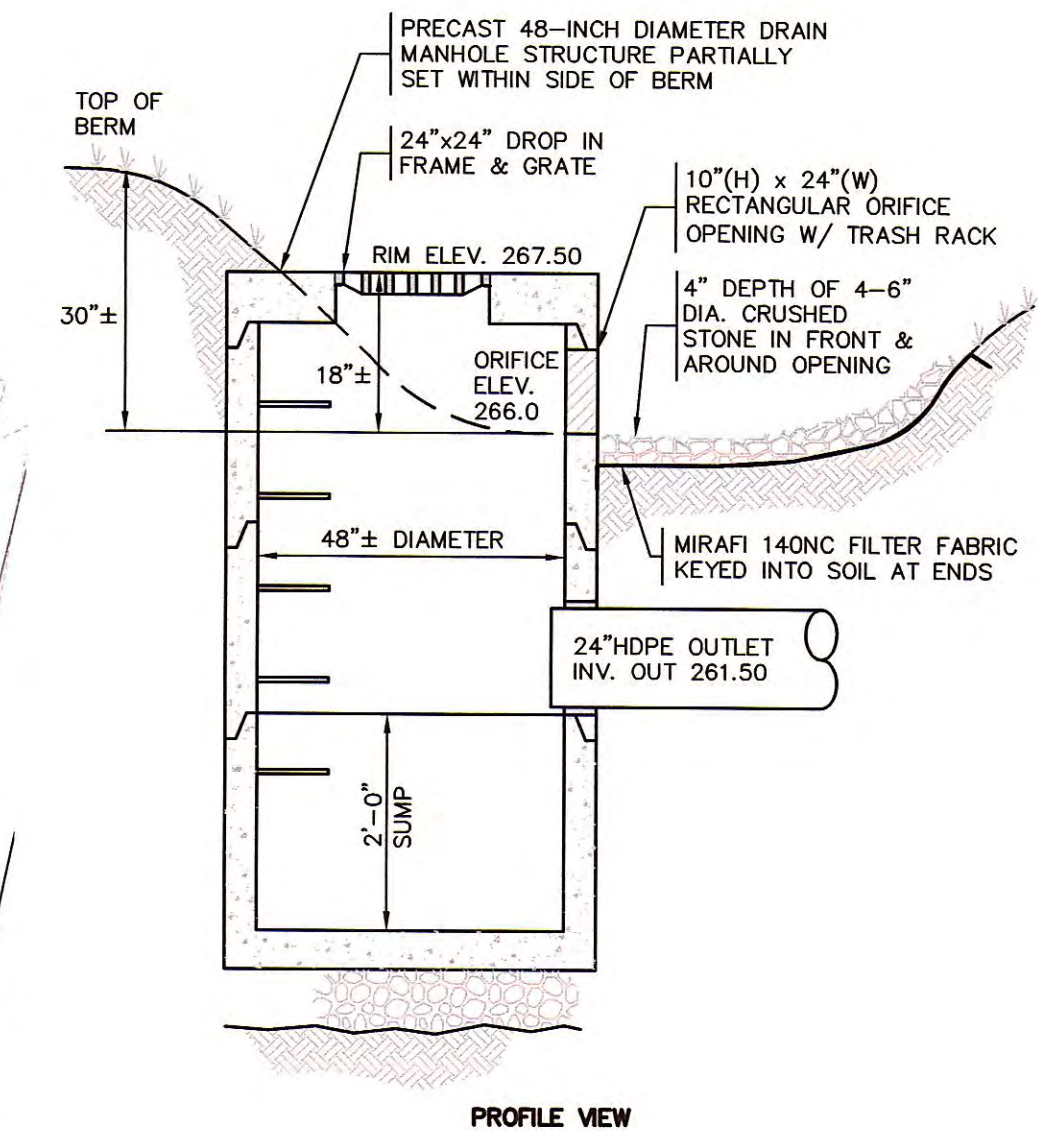
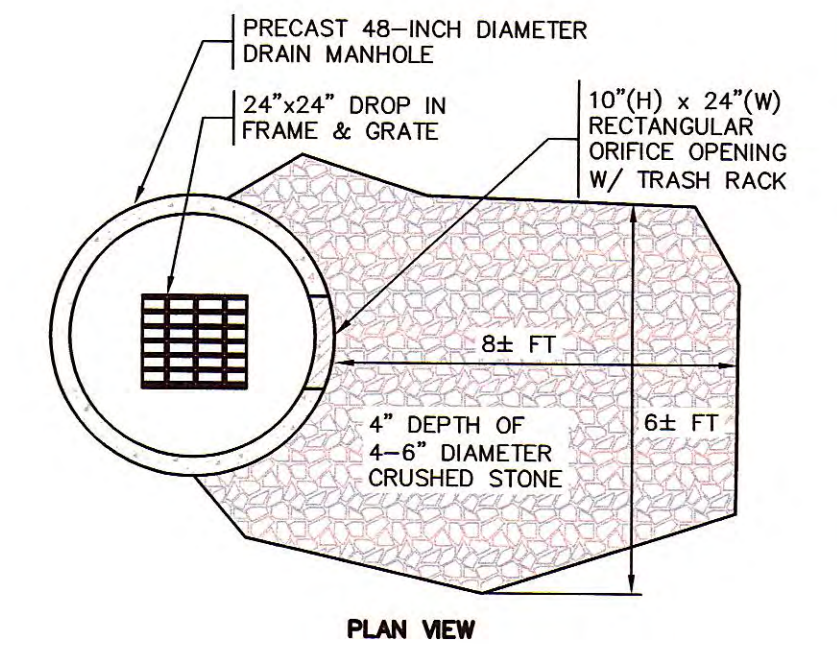
The Village at Robin Lane - Drainage Rim & Invert Schedule

Structure	FROM		TO		Pipe Size (in)	Pipe Type	Length (ft)	Slope (ft/ft)	Comments
	Rim	Invert	Structure	Invert					
CB-1 [1]	270.20	266.20	DMH-1	265.60	12	HDPE	18.0	0.033	Discharges into Infiltration Chambers (IC)
CB-2 [1]	270.20	266.20	DMH-1	265.60	12	HDPE	22.0	0.027	
DMH-1	269.50	265.50	DMH-4	260.40	12	HDPE	128.0	0.040	
DCB-3	266.70	262.30	IC	262.25	24	HDPE	4.0	0.013	Discharges into Infiltration Basin (IB)
IC	-	263.20	DMH-2	263.10	12	HDPE	4.0	0.025	
DMH-2	266.90	258.50	FES-1	255.50	12	HDPE	161.0	0.019	
DCB-4 [1]	264.40	260.40	DMH-3	260.20	15	HDPE	10.0	0.020	Discharges into Sediment Forebay
DCB-5 [1]	264.40	260.40	DMH-3	260.20	15	HDPE	16.0	0.012	
DMH-3	264.80	259.95	DMH-4	259.70	18	HDPE	24.0	0.010	
DMH-4	265.00	259.20	FES-2	258.10	24	HDPE	108.0	0.010	Drainage Diverter Structure
OCS-1	264.60	252.00	FES-3	250.00	12	HDPE	38.0	0.053	
DMH-5	267.50	261.50	DMH-6	258.60	24	HDPE	142.0	0.020	
DMH-6	268.50	258.50	FES-4	255.00	24	HDPE	139.0	0.025	

[1] Catch Basin shall be installed with Silt Prison Insert

Abbreviations:

CB - Catch Basin; DCB - Double Grate Catch Basin; DMH - Drain Manhole; FES - Flared End Section; OCS - Outlet Control Structure



PROFILE VIEW
DRAINAGE DIVERTER STRUCTURE (DMH-5)
TYPICAL CROSS SECTION
NOT TO SCALE

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Nicholas M. Paullin
 NICHOLAS M. PAULLIN
 CIVIL
 No. 47114
 REGISTERED

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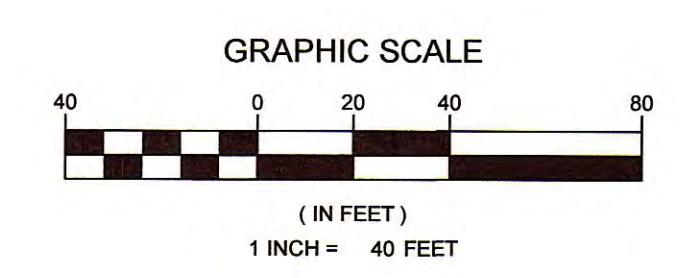
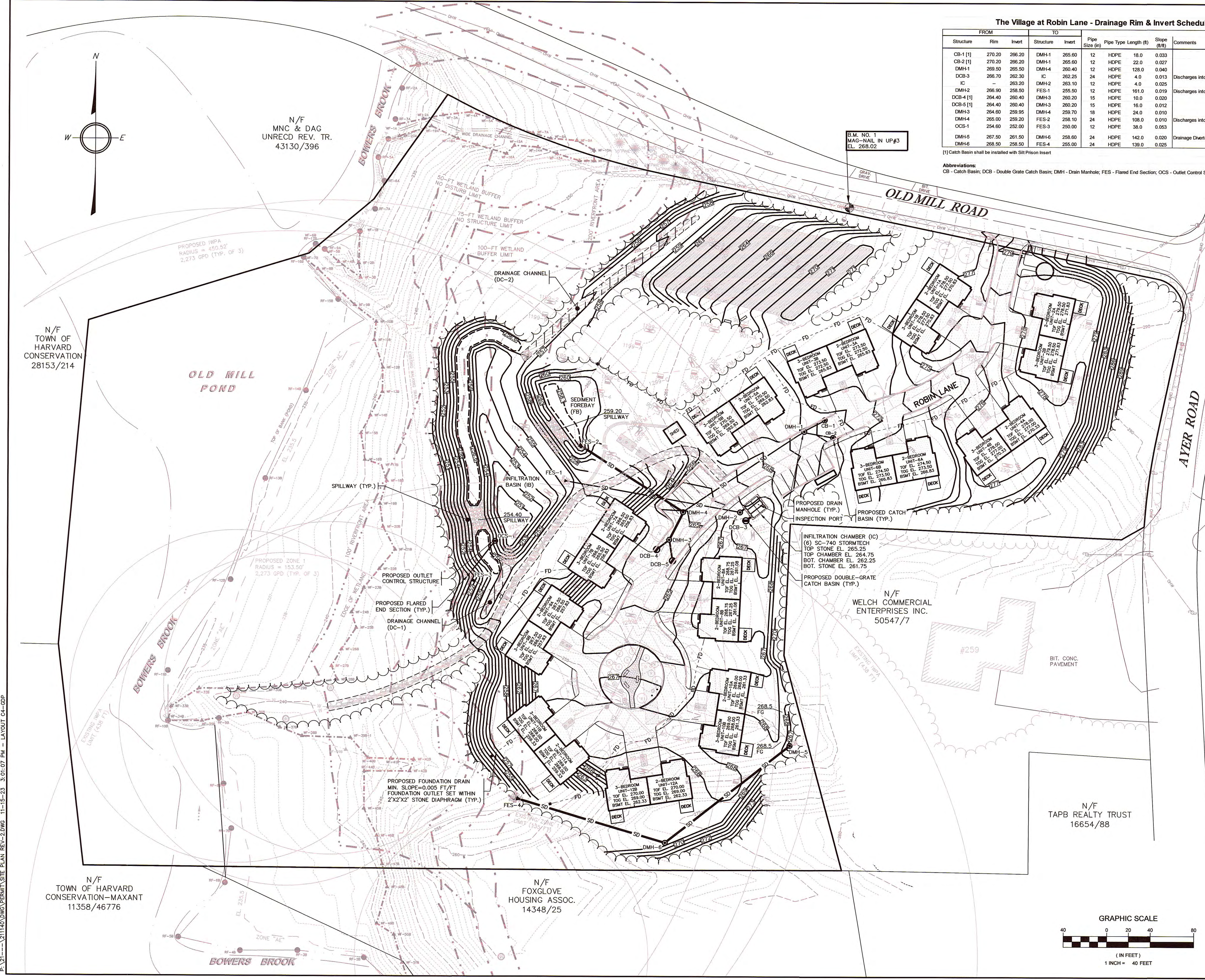
40B RESIDENTIAL DEVELOPMENT

GRADING, DRAINAGE AND PAVING PLAN

THE VILLAGE AT ROBIN LANE AT OLD MILL & AYER ROADS HARVARD, MA

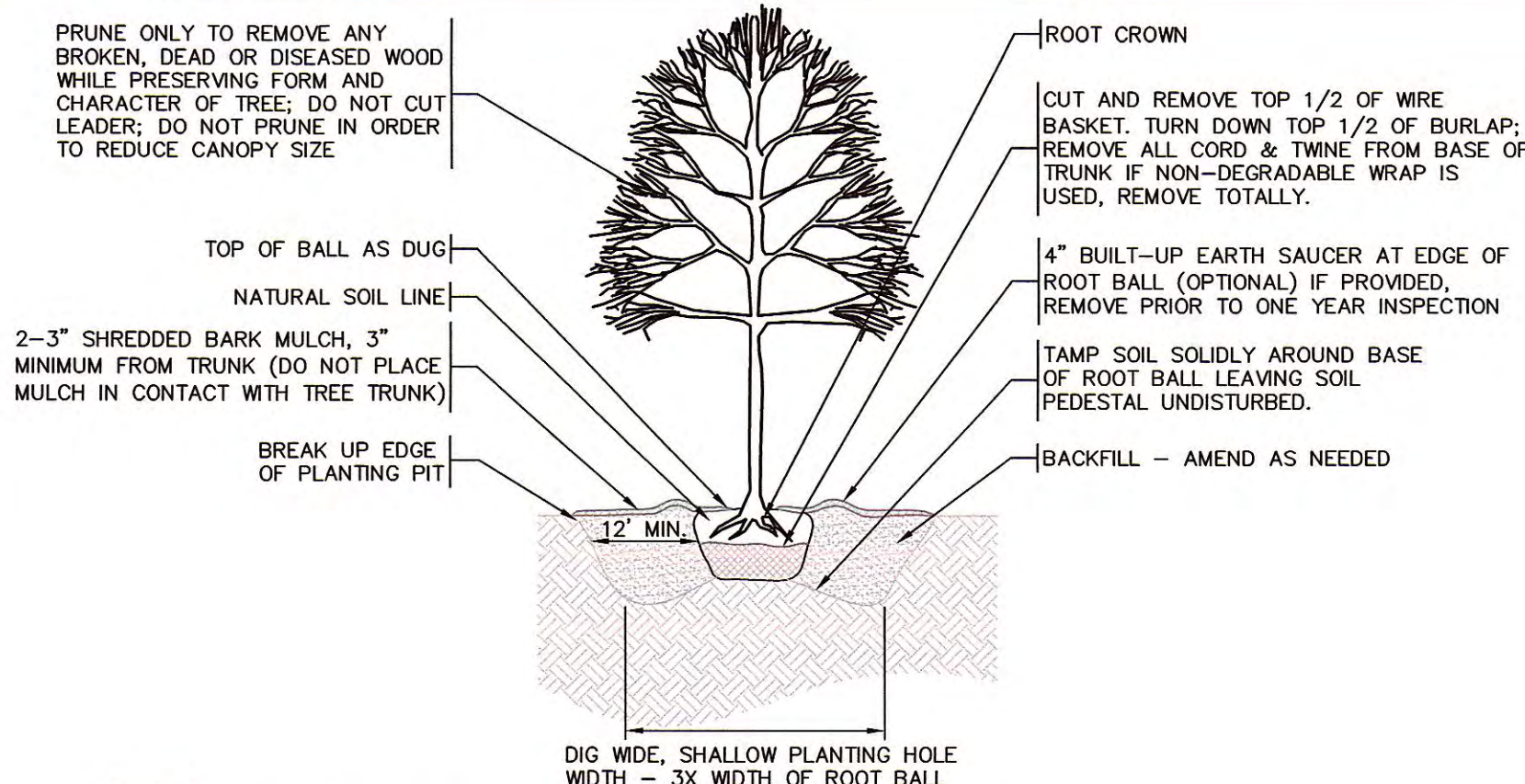
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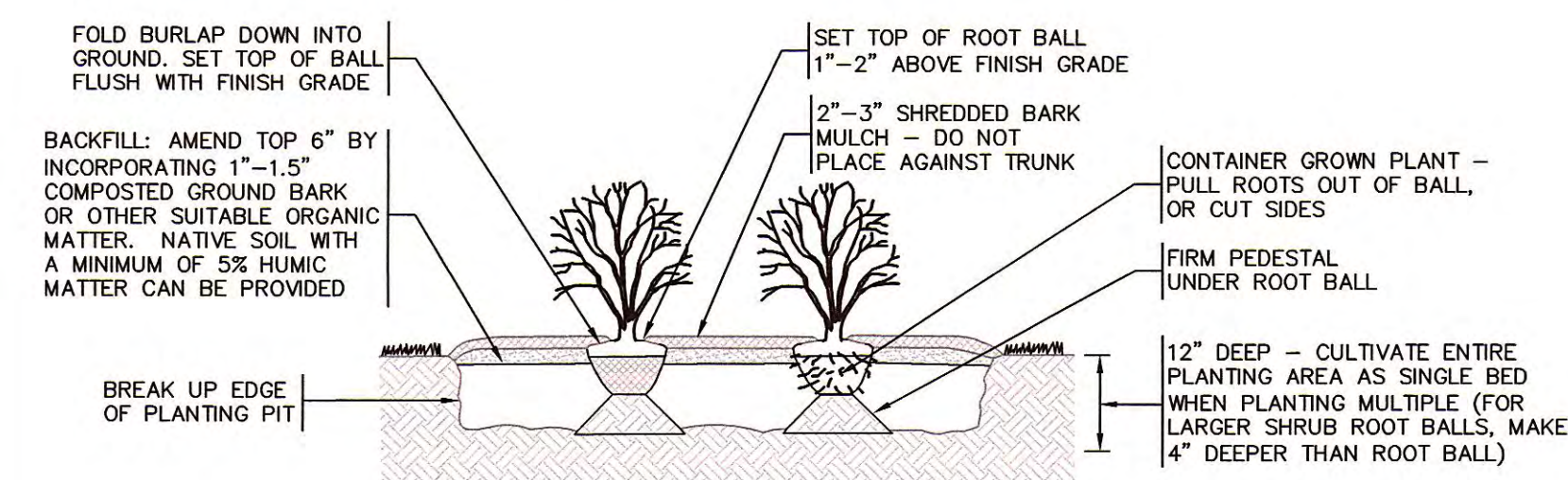
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- NOTES:**
- CONTRACTOR TO VERIFY THAT ADEQUATE DRAINAGE EXISTS PRIOR TO PLANTING.
 - DO NOT WRAP TRUNK OF TREE.
 - STAKING OF TREES IS NOT RECOMMENDED, EXCEPT ON WINDY SITES OR FOR LARGE EVERGREEN TREES. IF STAKING IS DONE, FLEXIBLE STRAPS - NOT HOSE AND WIRE - SHOULD BE USED AND MUST BE REMOVED AT APPROPRIATE TIME.
 - ALL TREES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.).
 - TREES WITH ROOT FLARE COVERED BY MORE THAN 1.5\"/>

TREE PLANTING
TYPICAL CROSS SECTION
NOT TO SCALE



- NOTES:**
- ALL SHRUBS MUST CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.).
 - SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED.
 - SHEET PREPARATION OF BEDS IS HIGHLY PREFERRED TO INDIVIDUALLY DUG HOLES.

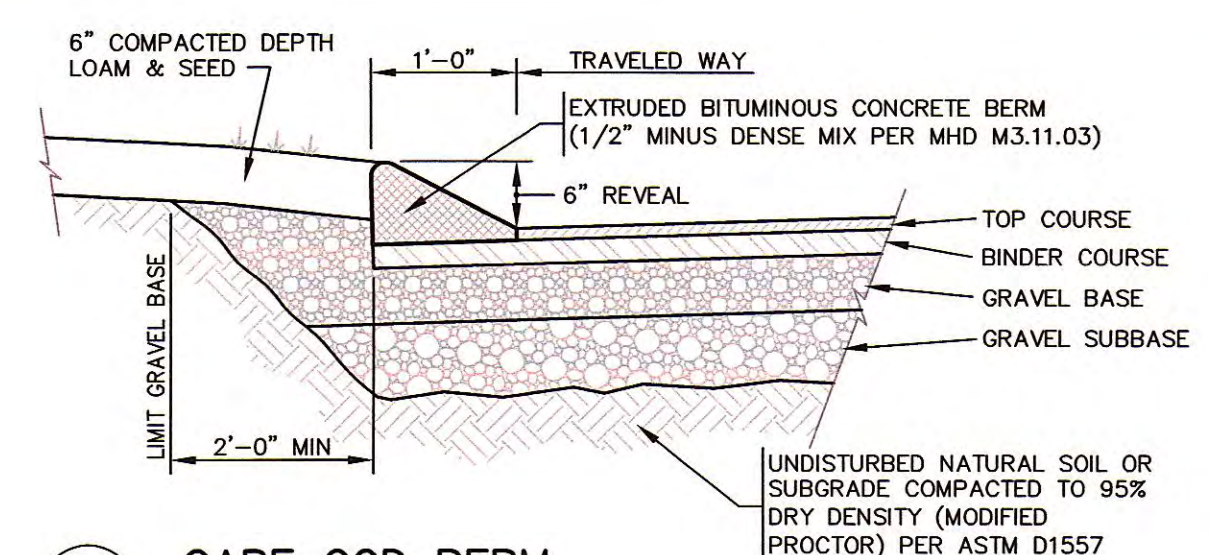
SHRUB PLANTING
TYPICAL CROSS SECTION
NOT TO SCALE

Plant List

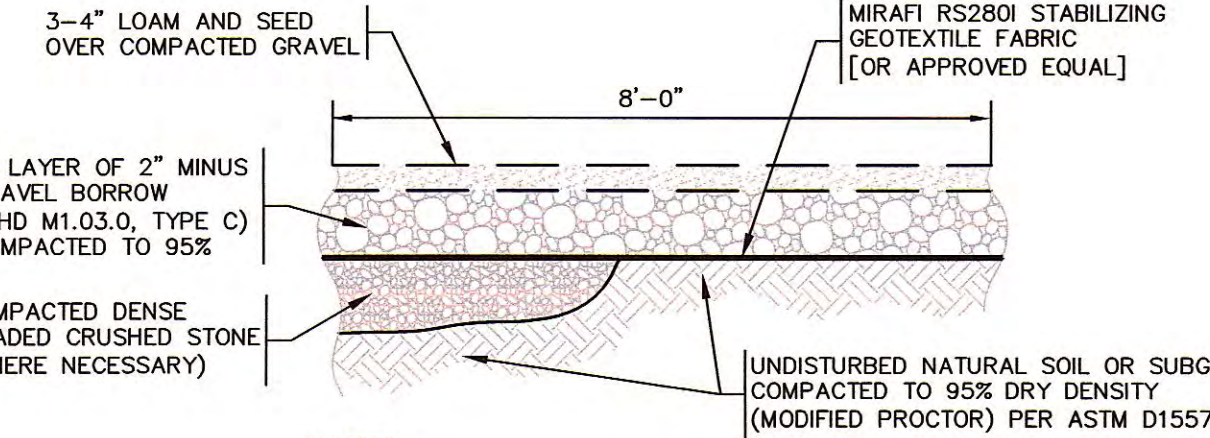
Symbol	No.	Botanical Name	Common Name	Size
Ar	4	Acer rubrum 'October Glory'	October Glory Red Maple	1 1/2\"/>

Shrubs / Grasses

No.	Botanical Name	Common Name	Size
Vd	Viburnum dentatum Autumn Jazz	Arrowwood Viburnum Autumn Jazz	2\"/>

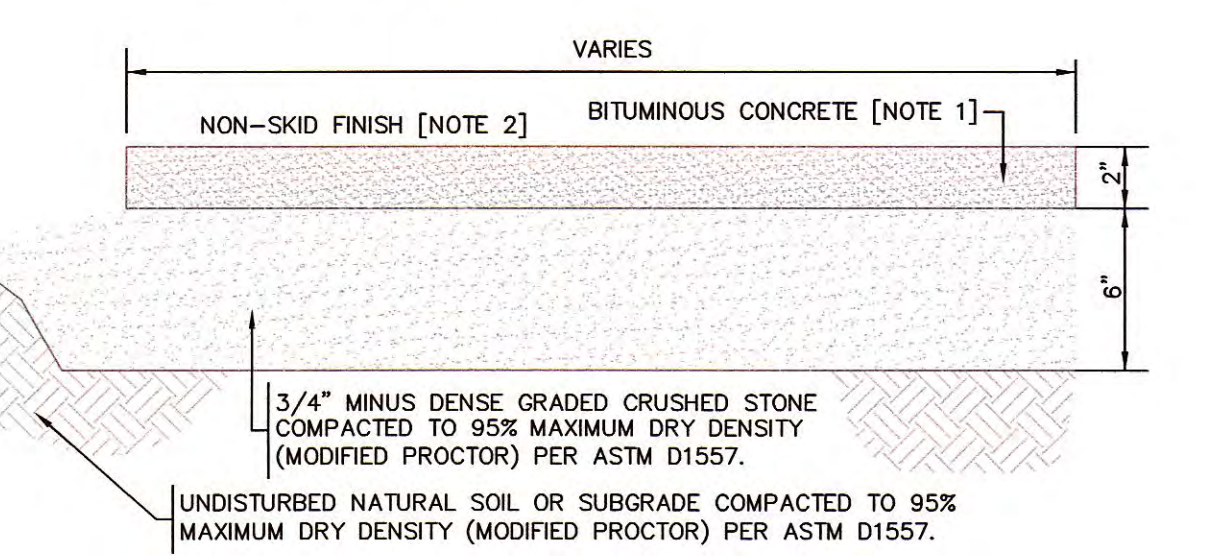


CAPE COD BERM
TYPICAL CROSS SECTION
NOT TO SCALE



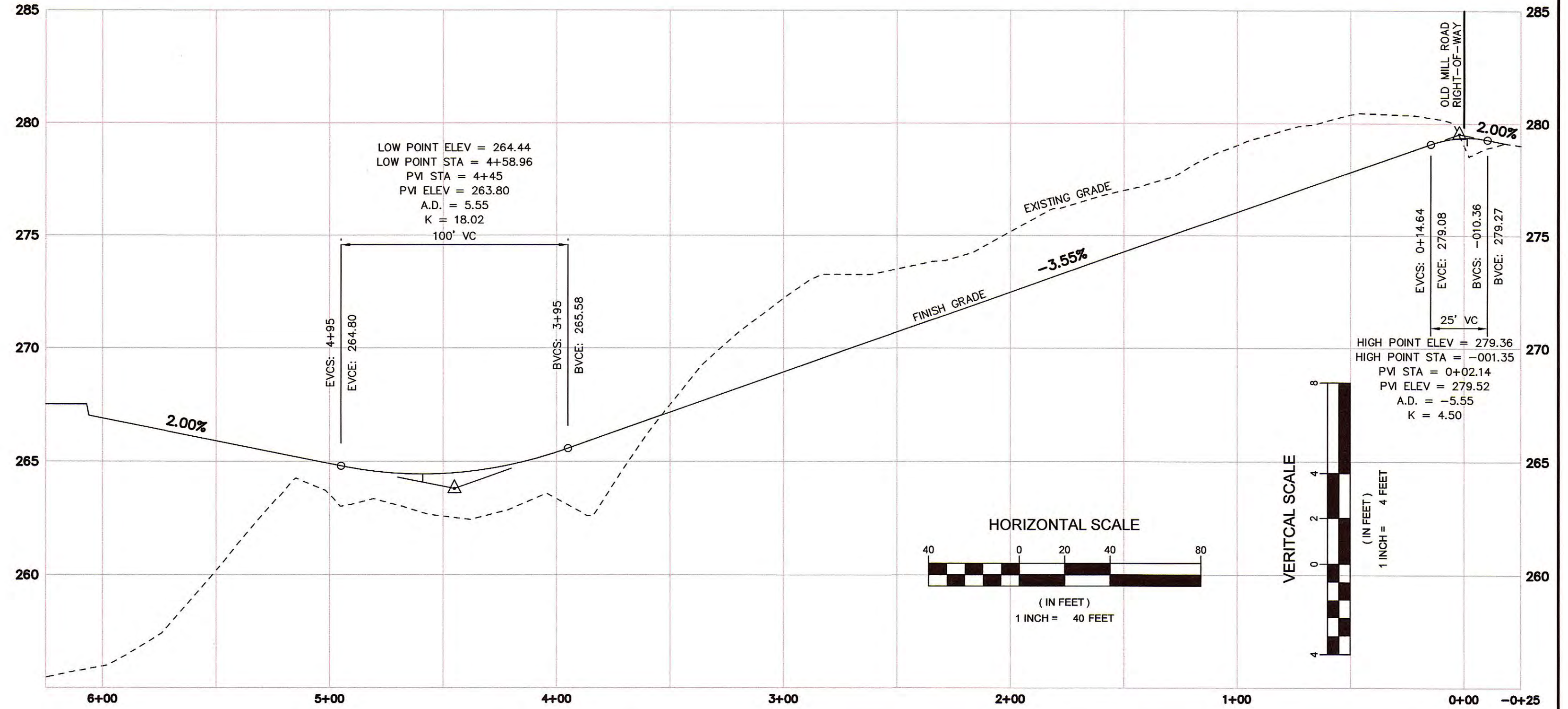
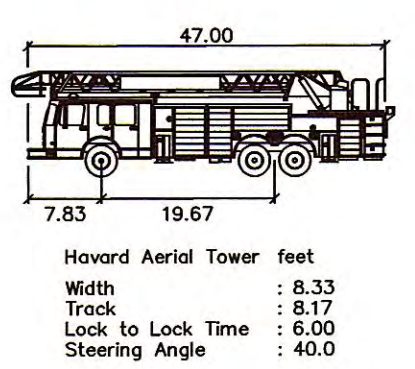
- NOTES:**
- UNSATURABLE MATERIAL IN THE SUBGRADE SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SUBSTITUTE MATERIAL: 3/4\"/>

MAINTENANCE ACCESS WAY
TYPICAL CROSS SECTION
NOT TO SCALE

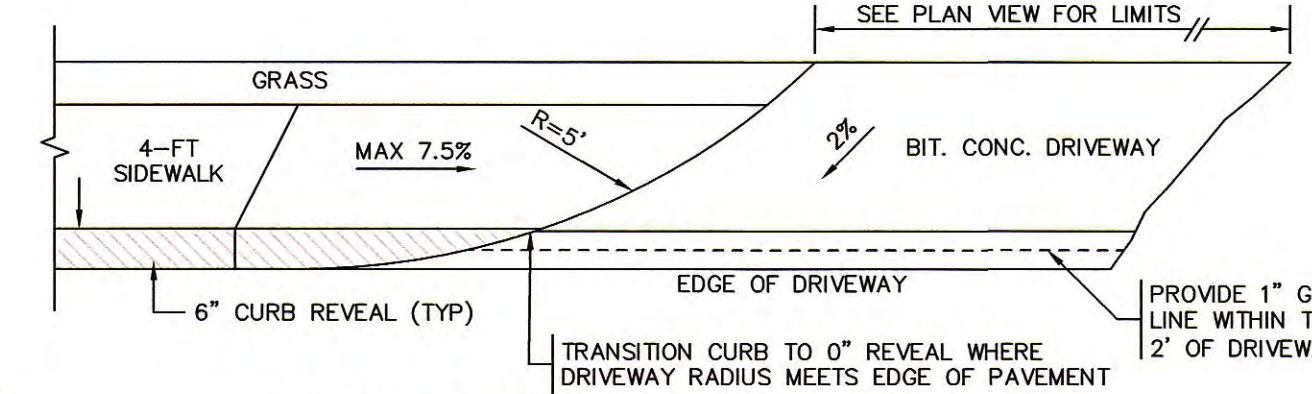


- NOTES:**
- MHD M3.11.03 CLASS 1, TYPE I-1 BITUMINOUS CONCRETE, 1/2\"/>

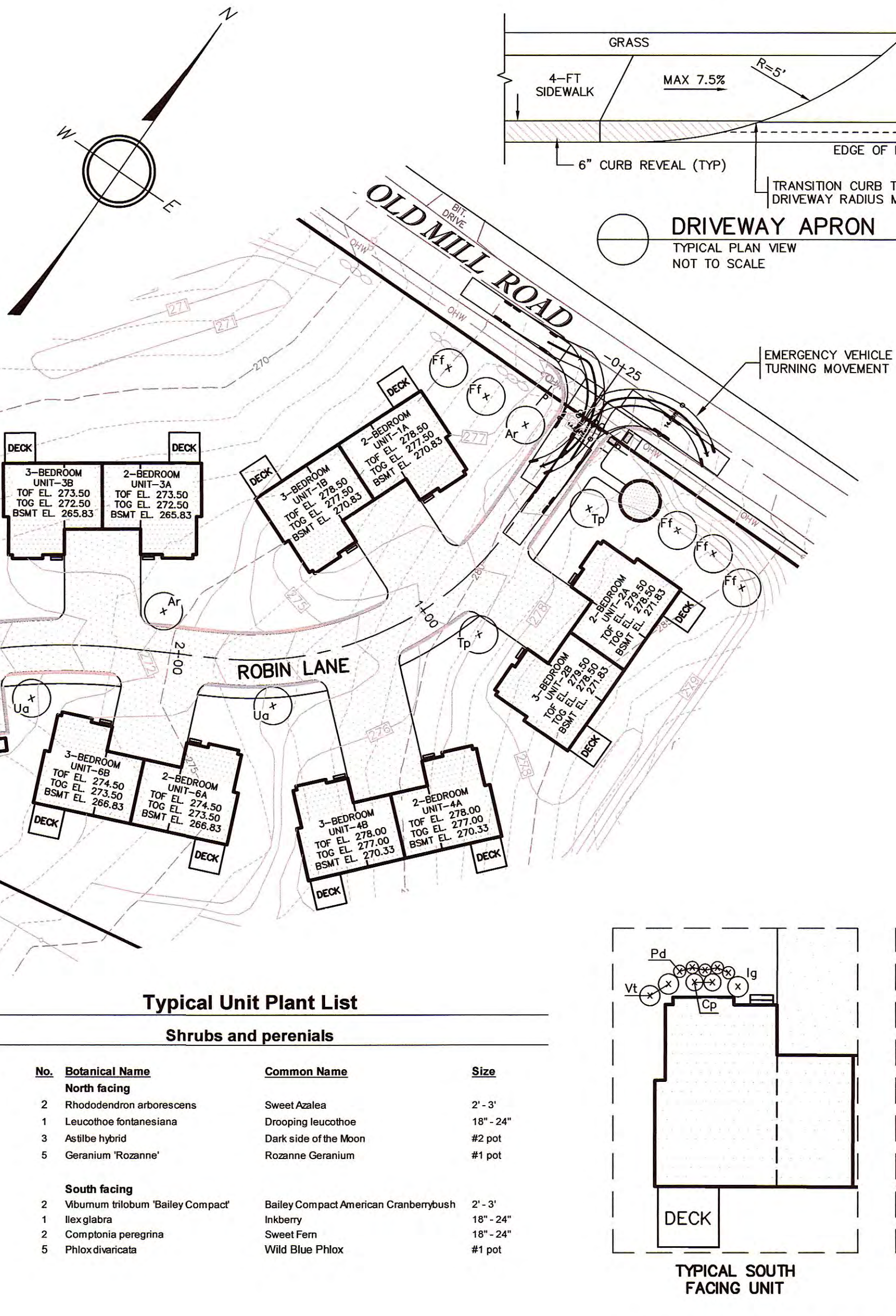
BITUMINOUS CONCRETE WALK
TYPICAL CROSS SECTION
NOT TO SCALE



DRIVEWAY PROFILE - ROBIN LANE
TYPICAL PLAN VIEW
NOT TO SCALE

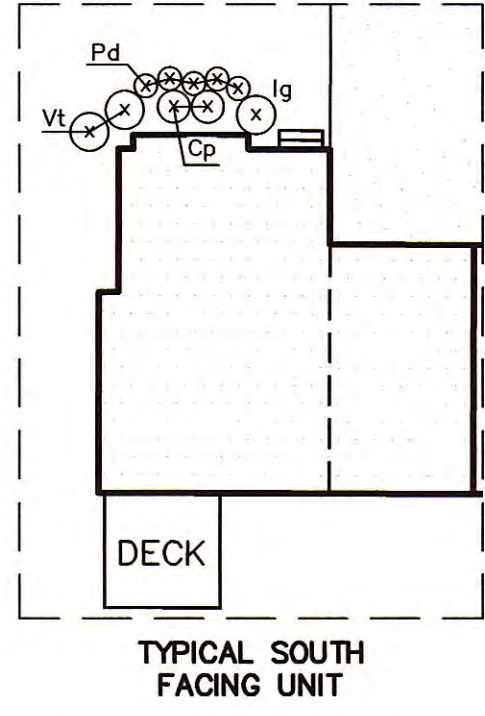


DRIVEWAY APRON
TYPICAL PLAN VIEW
NOT TO SCALE

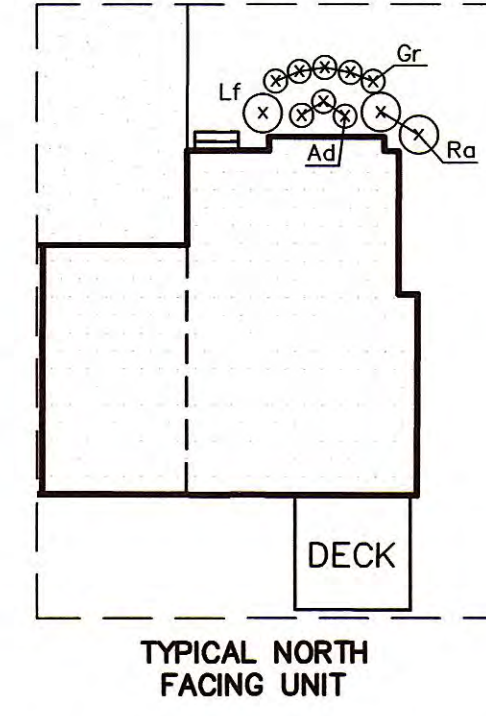


Typical Unit Plant List

Symbol	No.	Botanical Name	Common Name	Size
North facing				
Ra	2	Rhododendron arborescens	Sweet Azalea	2\"/>

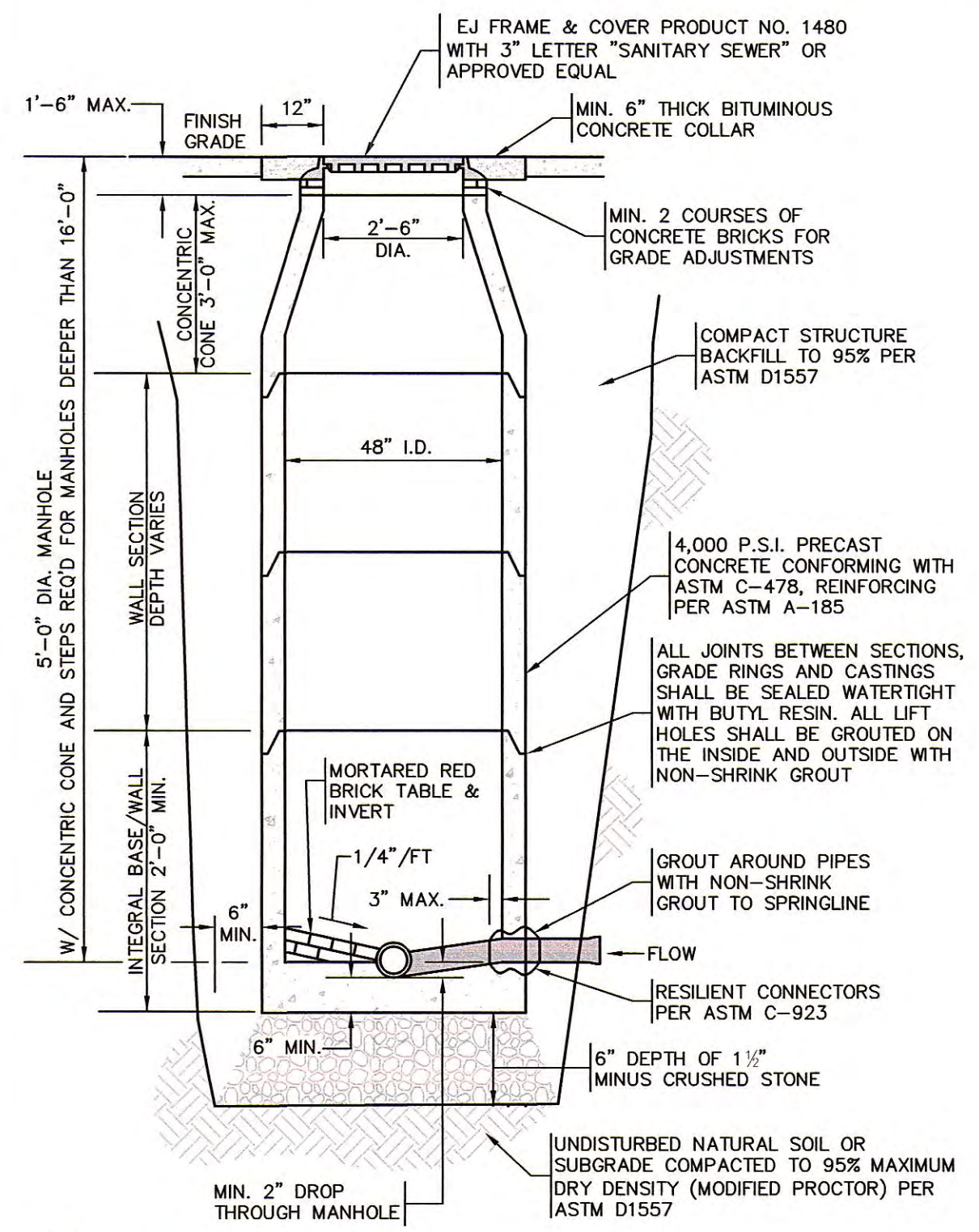


TYPICAL SOUTH FACING UNIT



TYPICAL NORTH FACING UNIT

TYPICAL PLANTING FOR DWELLING UNIT
NOT TO SCALE



SEWER MANHOLE
TYPICAL CROSS SECTION
NOT TO SCALE

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 PERMIT CONSTRUCTION RECORD

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NO.	DATE	BY	APP.	REVISION DESCRIPTION
2	11/16/23	LT	NMP	PEER REVIEW COMMENTS
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40B RESIDENTIAL DEVELOPMENT

DRIVEWAY PROFILE & EMERGENCY VEHICLE TURNING MOVEMENT

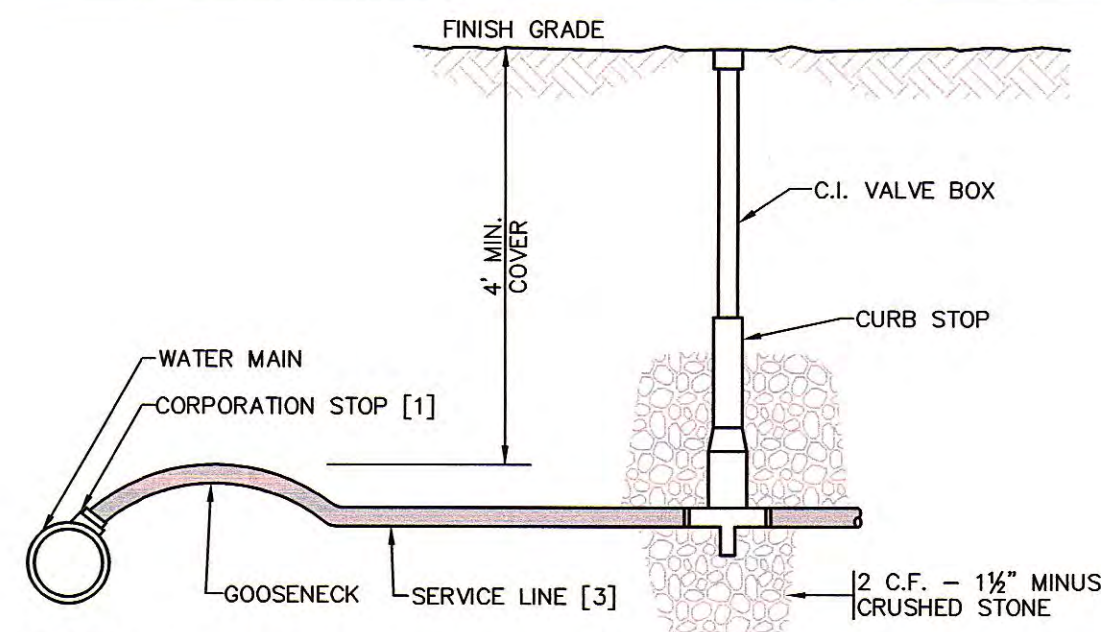
THE VILLAGE AT ROBIN LANE AT OLD MILL & AYER ROADS HARVARD, MA

PREPARED FOR:
JUNO CONSTRUCTION, LLC
92 MIDDLESEX ROAD, UNIT 3
TYNGBOROUGH, MA 01879

DES. BY: LT	DATE: JUNE 2023	JOB 211140	C5.1
CHK. BY: NMP			

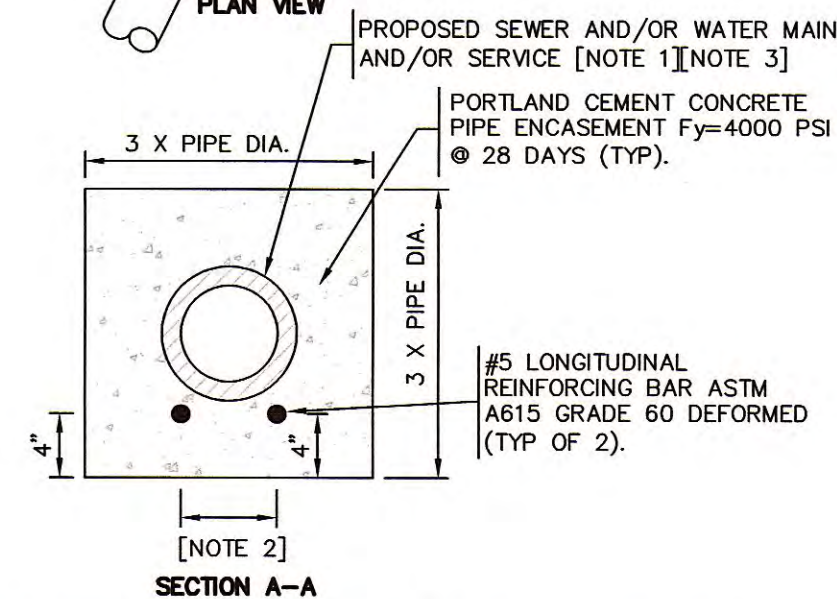
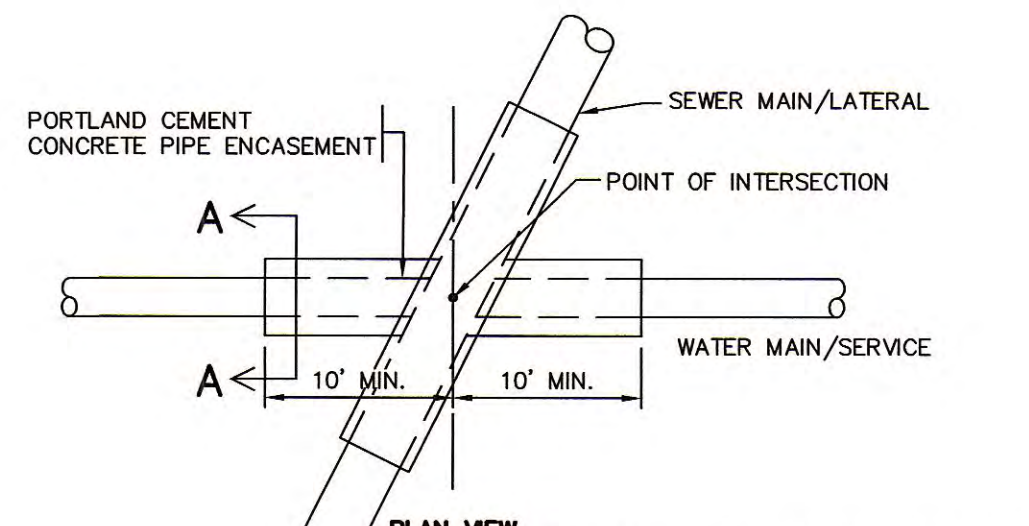
P:\211140\DWG\PERMIT SITE PLAN REV-2.DWG 11-16-23 12:22:30 PM - LAYOUT C5-PROF

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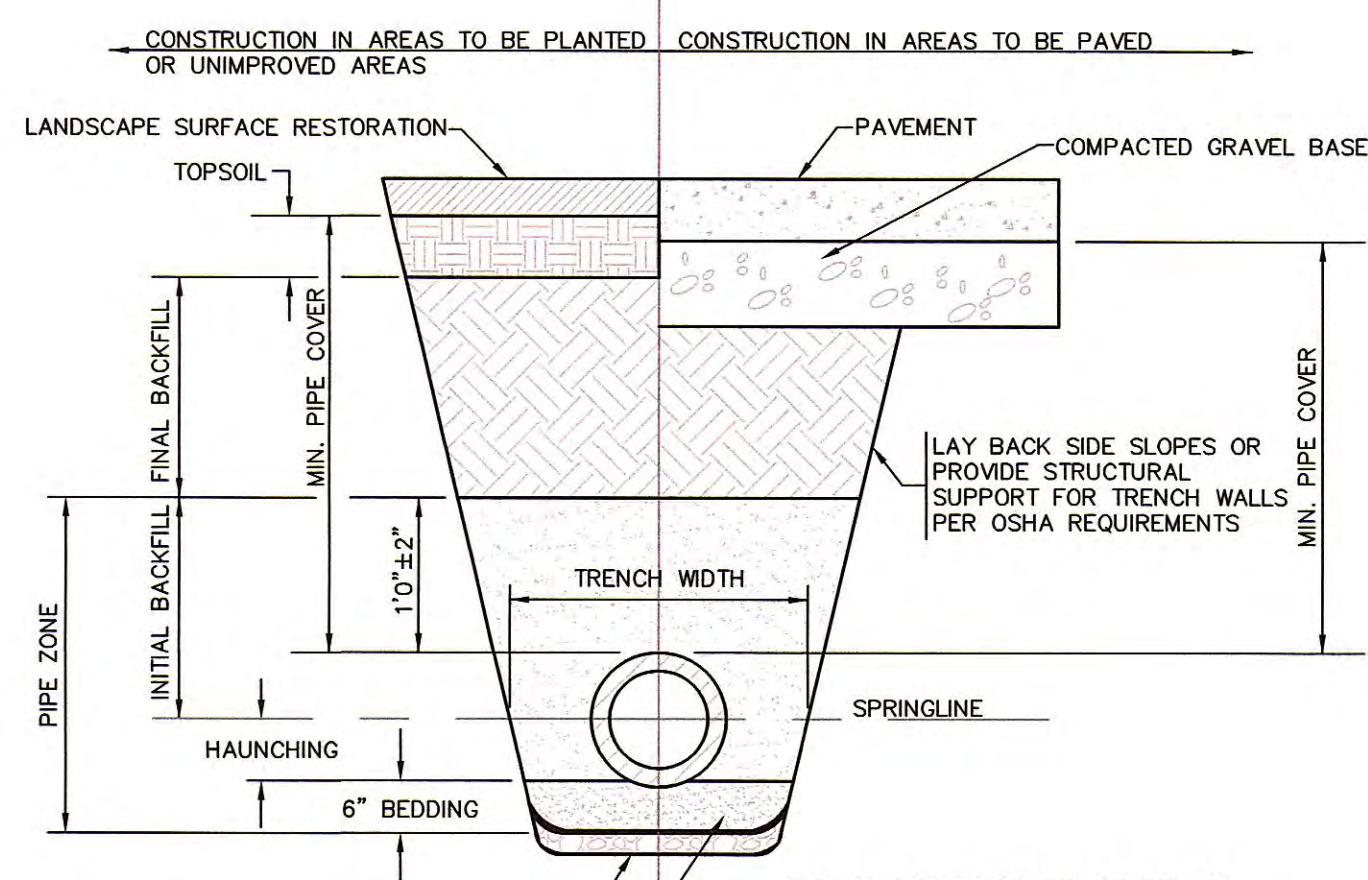
NOTES:
 [1] WATER SERVICES LARGER THAN 1" ARE TO BE RESTRAINED TO MAIN WITH APPROVED SADDLE.
 [2] COORDINATE BUILDING CONNECTION WITH PLUMBING DRAWINGS.
 [3] ALL MATERIALS PER MUNICIPAL STANDARDS.

WATER SERVICE
 TYPICAL CROSS SECTION
 NOT TO SCALE



NOTES:
 [1] CONCRETE PIPE ENCASEMENT TO EXTEND 10 FT ALONG SEWER LINE AND WATER LINE FROM POINT OF INTERSECTION.
 [2] DISTANCE EQUAL TO PIPE DIAMETER.
 [3] CONCRETE PIPE ENCASEMENT REQUIRED WHENEVER PROPOSED SEWER MAIN/LATERAL IS WITHIN 10' OF PROPOSED WATER MAIN/SERVICE.

PIPE ENCASEMENT
 NOT TO SCALE



FOUNDATION STABILIZATION WHEN REQUIRED BY ENGINEER. OTHERWISE, PLACE BEDDING ON UNDISTURBED NATURAL SOIL.
 SHAPE BEDDING BY HAND TO FIT BOTTOM OF PIPE. INSTALL PIPE ON STABLE BEDDING WITH UNIFORM BEARING UNDER FULL LENGTH OF PIPE BARREL.

TRENCH WIDTH:
 [1] MINIMUM WIDTH OF TRENCH MEASURED AT SPRINGLINE OF PIPE, INCLUDING ANY NECESSARY SHEATHING:

PIPE I.D.	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

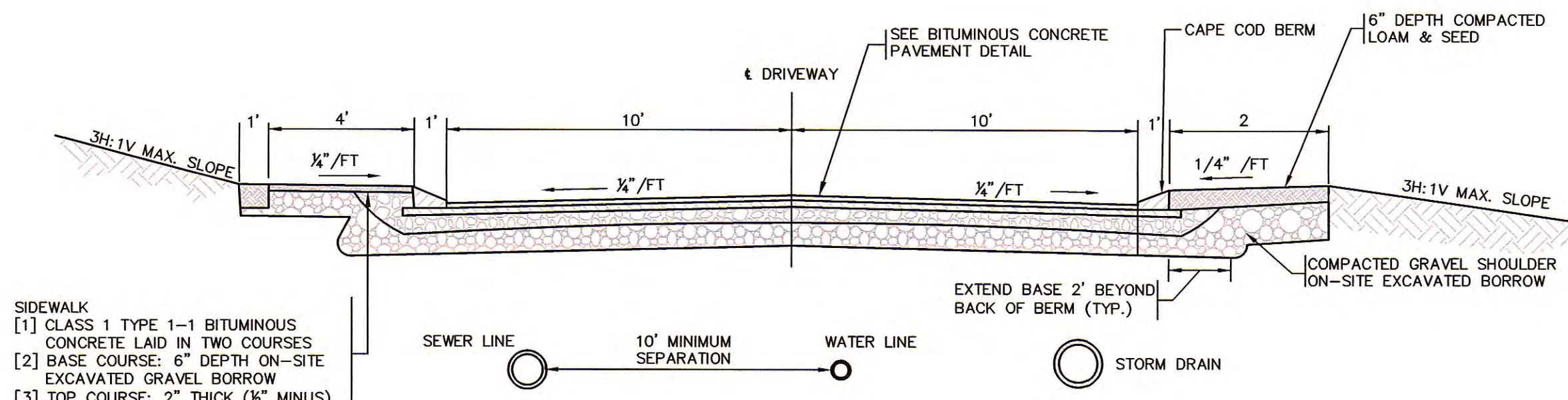
MINIMUM PIPE COVER:
 [1] MINIMUM SOIL COVER OVER TOP OF PIPE:

PIPE MATERIAL	HDP, PVC	RC, DI
WATER	5' - 0"	5' - 0"
SEWER	4' - 0"	4' - 0"
DRAIN	2' - 0"	1' - 0"

MATERIAL KEY NOTES (SEE TABLE BELOW):
 [1] PLACE 2" MINUS CRUSHED STONE.
 [2] PLACE 1/2" MINUS SAND BORROW (MHD M1.04.1), AT OPTIMUM MOISTURE IN HORIZONTAL 8" DEEP LAYERS, COMPACT TO 95% PER ASTM D-1557 MODIFIED PROCTOR METHOD.
 [3] IN PLANTED OR UNIMPROVED AREAS, USE 2-INCH MINUS ON-SITE EXCAVATED MATERIAL, COMPACT TO 80% PER ASTM D-1557. IN PAVED AREAS, OBTAIN ENGINEER'S APPROVAL OF 2-INCH MINUS ON-SITE EXCAVATED MATERIALS.

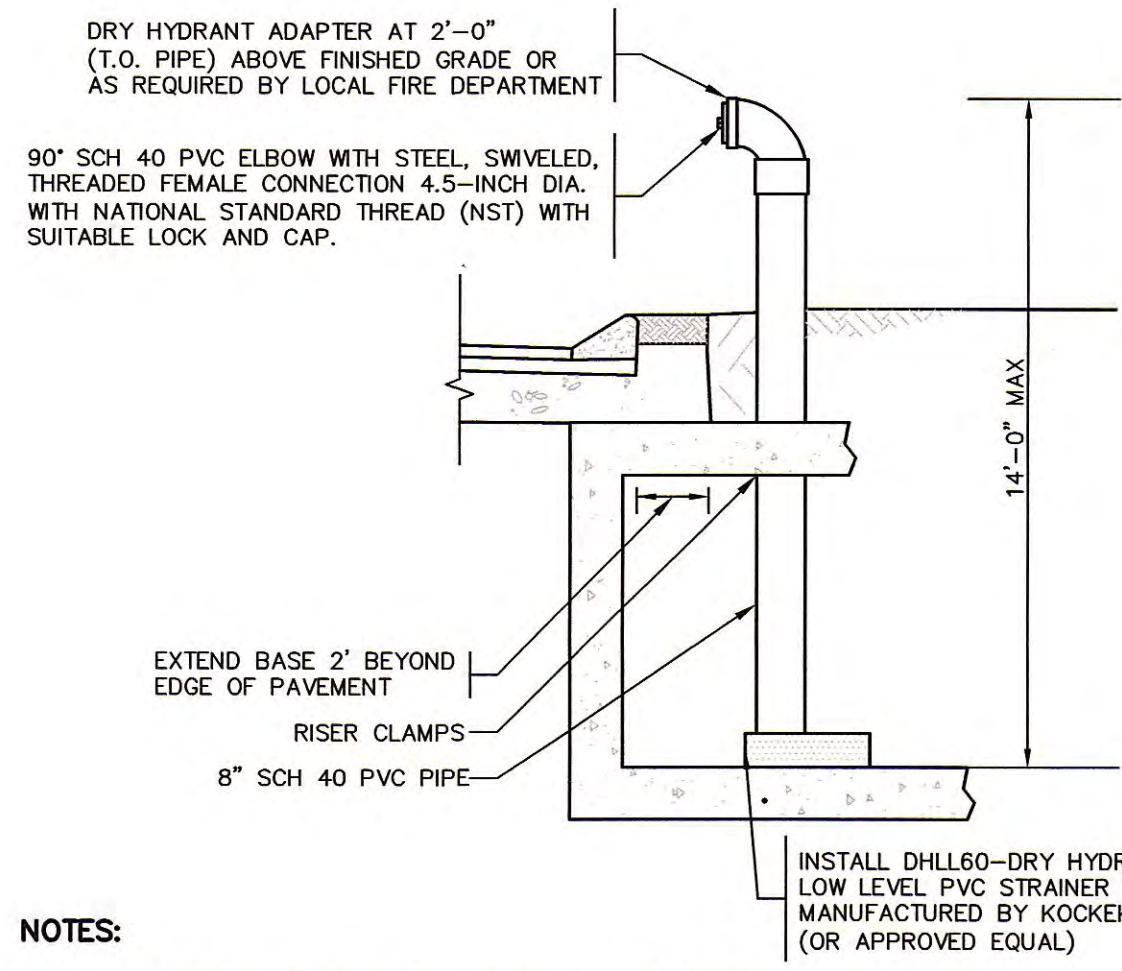
FOUNDATION, BEDDING AND BACKFILL MATERIALS	HDP, PVC	RC, DI
PIPE MATERIAL	[NOTE 1]	[NOTE 1]
FOUNDATION STABILIZATION	[NOTE 2]	[NOTE 2]
BEDDING	[NOTE 2]	[NOTE 2]
HAUNCHING	[NOTE 2]	[NOTE 2]
INITIAL BACKFILL	[NOTE 2]	[NOTE 2]
FINAL BACKFILL	[NOTE 3]	[NOTE 3]

PIPE TRENCH
 TYPICAL CROSS SECTION
 NOT TO SCALE



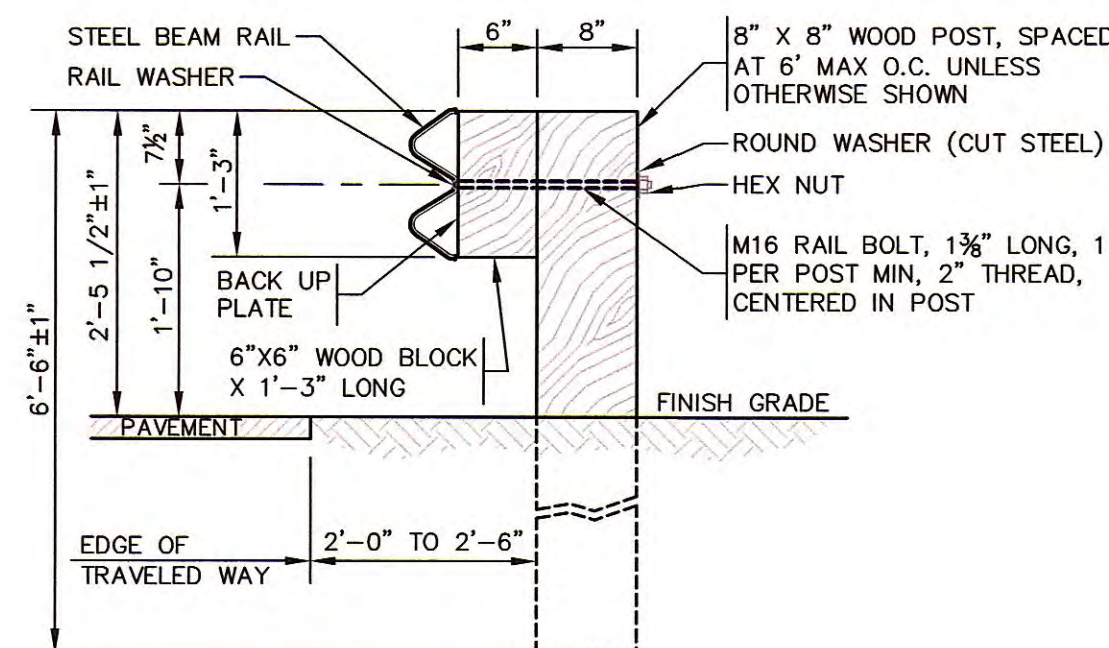
SIDEWALK
 [1] CLASS 1 TYPE 1-1 BITUMINOUS CONCRETE LAID IN TWO COURSES
 [2] BASE COURSE: 6" DEPTH ON-SITE EXCAVATED GRAVEL BORROW
 [3] TOP COURSE: 2" THICK (1/2" MINUS)

DRIVEWAY - ROBIN LANE
 TYPICAL CROSS SECTION
 NOT TO SCALE



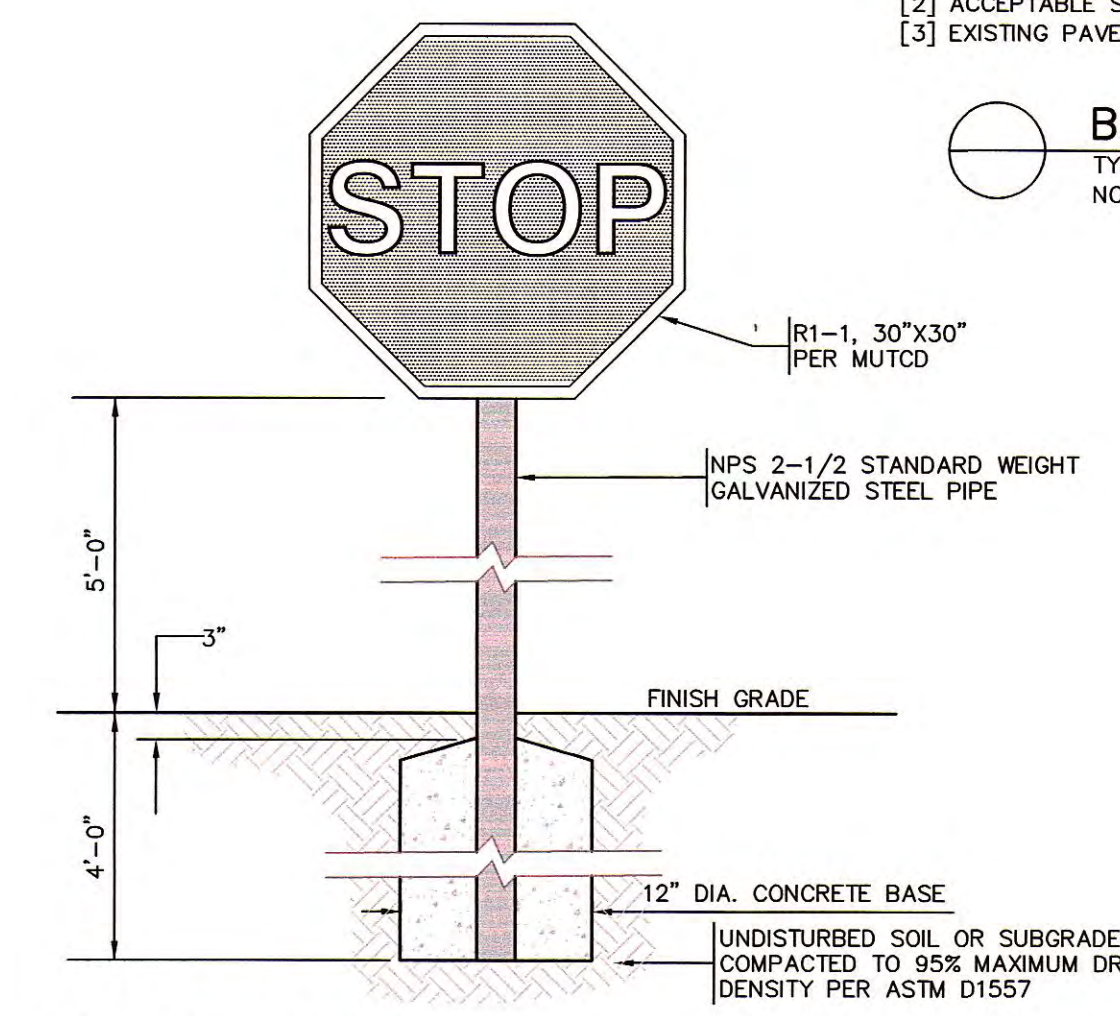
NOTES:
 [1] ALL ABOVE TANK SUCTION PIPING SHALL BE SLOPED 0.5% TOWARDS THE TANK

DRY HYDRANT
 TYPICAL CROSS SECTION
 NOT TO SCALE



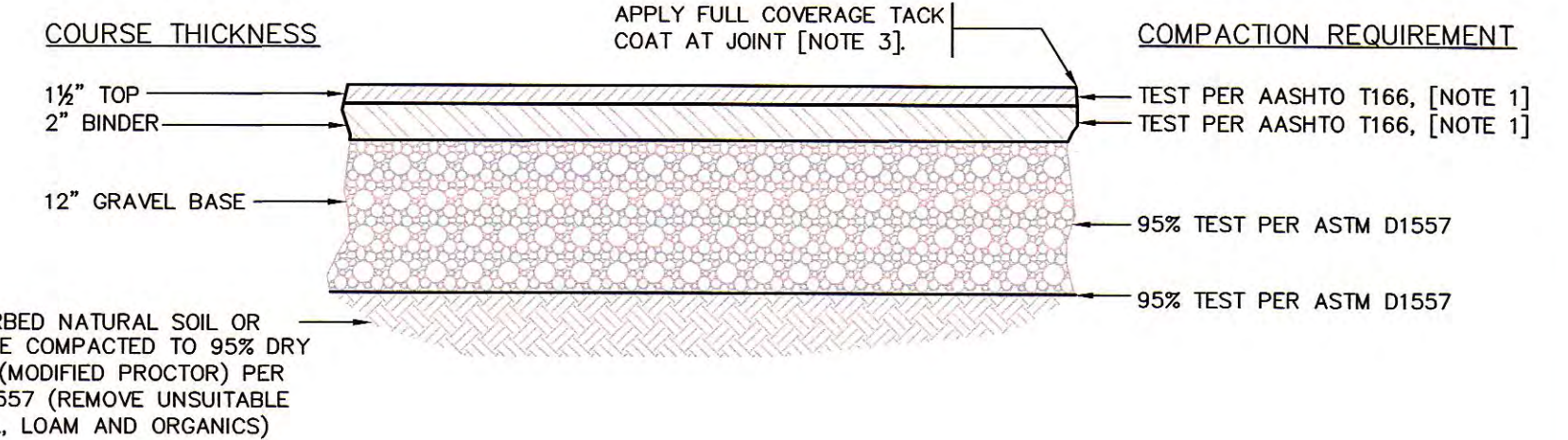
NOTES:
 [1] ALL NUTS, BOLTS & WASHERS ARE TO BE HIGH STRENGTH GALVANIZED STEEL.
 [2] ALL SPLICES ARE TO BE MADE AT POST.
 [3] BACK-UP PLATE IS TO BE PLACED BEHIND RAIL ELEMENTS AT NON SPLICE LOCATIONS (INTERMEDIATE POSTS).
 [4] WOOD AND WOOD TREATMENT SHALL COMPLY WITH MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATIONS AND STANDARDS.
 [5] TERMINAL SECTIONS SHALL BE IN ACCORDANCE WITH MASSACHUSETTS HIGHWAY DEPARTMENT SPECIFICATIONS AND STANDARDS.

STEEL RAIL GUARDRAIL
 TYPICAL CROSS SECTION
 NOT TO SCALE



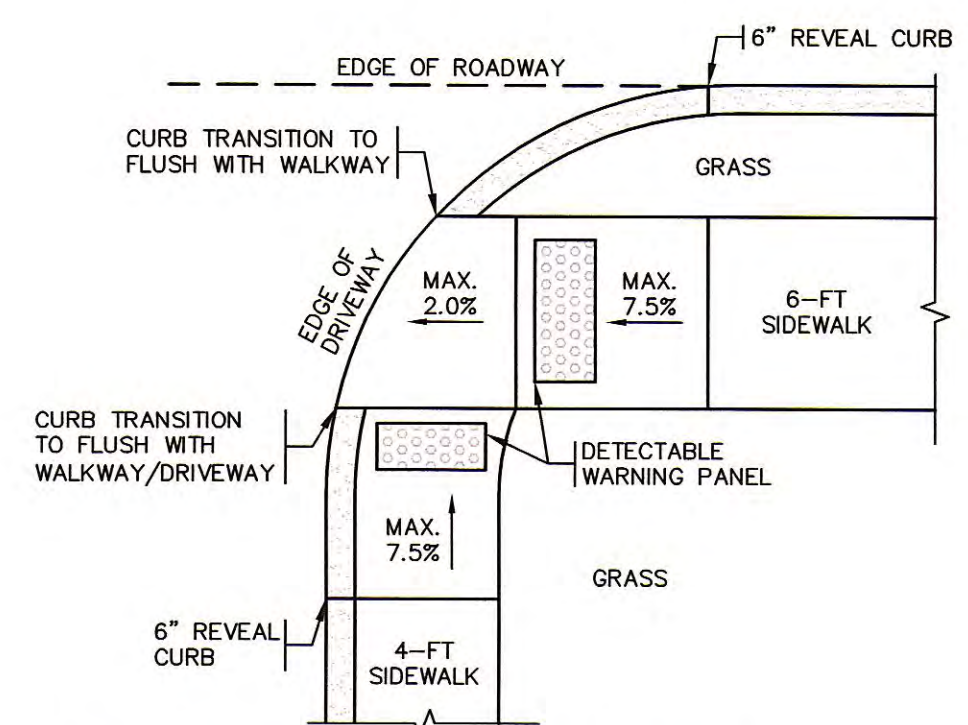
STOP SIGN
 NOT TO SCALE

BITUMINOUS CONCRETE PAVEMENT
 TYPICAL CROSS SECTION
 NOT TO SCALE

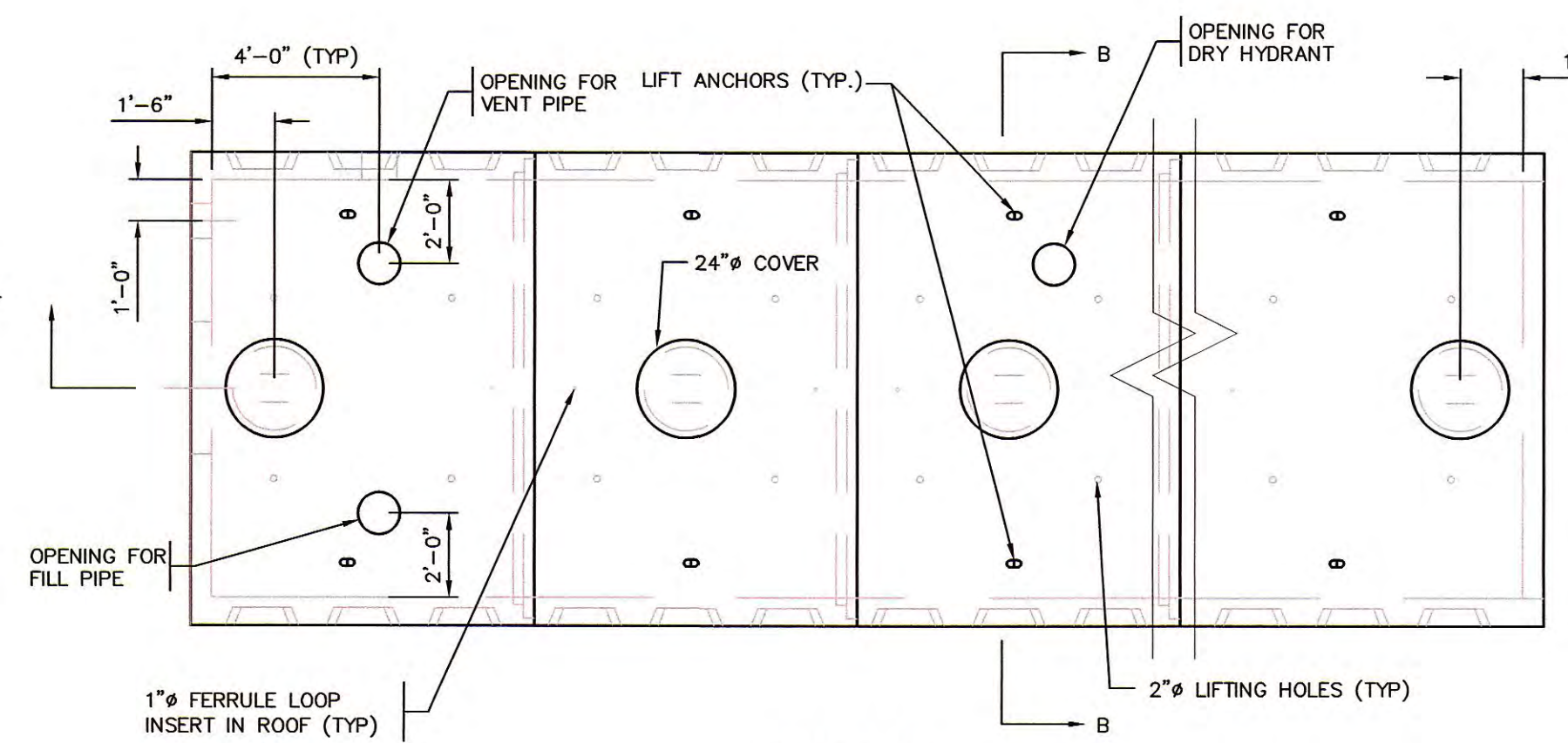


COURSE	MATERIAL	SPECIFICATION PER MASS HIGHWAY DEPARTMENT (MHD)	MAX AGG. SIZE (INCH)
TOP	BITUMINOUS CONCRETE	M3.11.03 CLASS 1, TYPE I-1	1/2
BINDER	BITUMINOUS CONCRETE	M3.11.03 CLASS 1, TYPE I-1	3/4
BASE	GRAVEL BORROW [2]	M1.03.0 TYPE B	3
UNSUITABLE SUBGRADE	ORDINARY BORROW	ON-SITE EXCAVATED MATERIAL	12

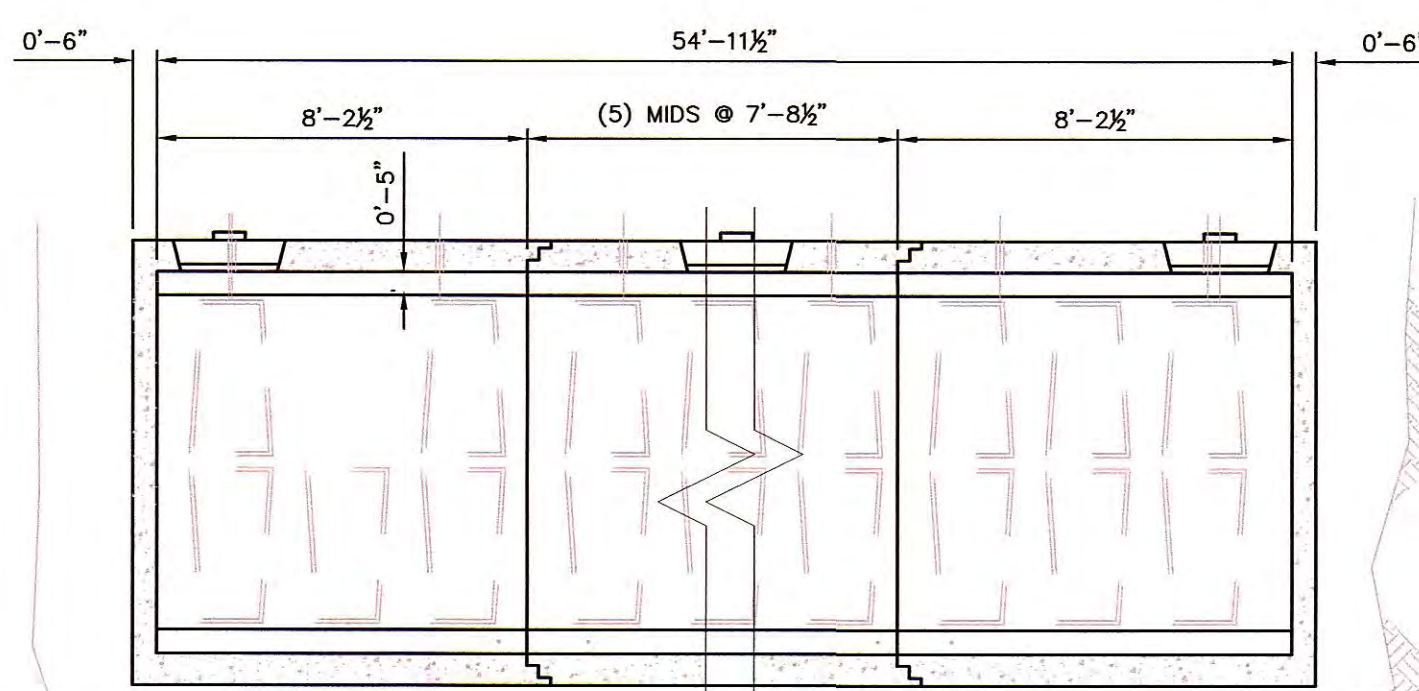
NOTES:
 [1] COMPACT TO TEST AVERAGE OF 95% NO TEST LOWER THAN 93%.
 [2] ACCEPTABLE SUBSTITUTE MATERIAL: 3/4" MINUS DENSE GRADED CRUSHED STONE.
 [3] EXISTING PAVEMENT SHALL BE SAW CUT VERTICALLY AT FINAL JOINT LOCATIONS.



ACCESSIBLE CURB RAMP
 TYPICAL PLAN VIEW
 NOT TO SCALE



PLAN VIEW
 NOTE: THIS TANK IS NOT FOR USE IN A POTABLE WATER SYSTEM.

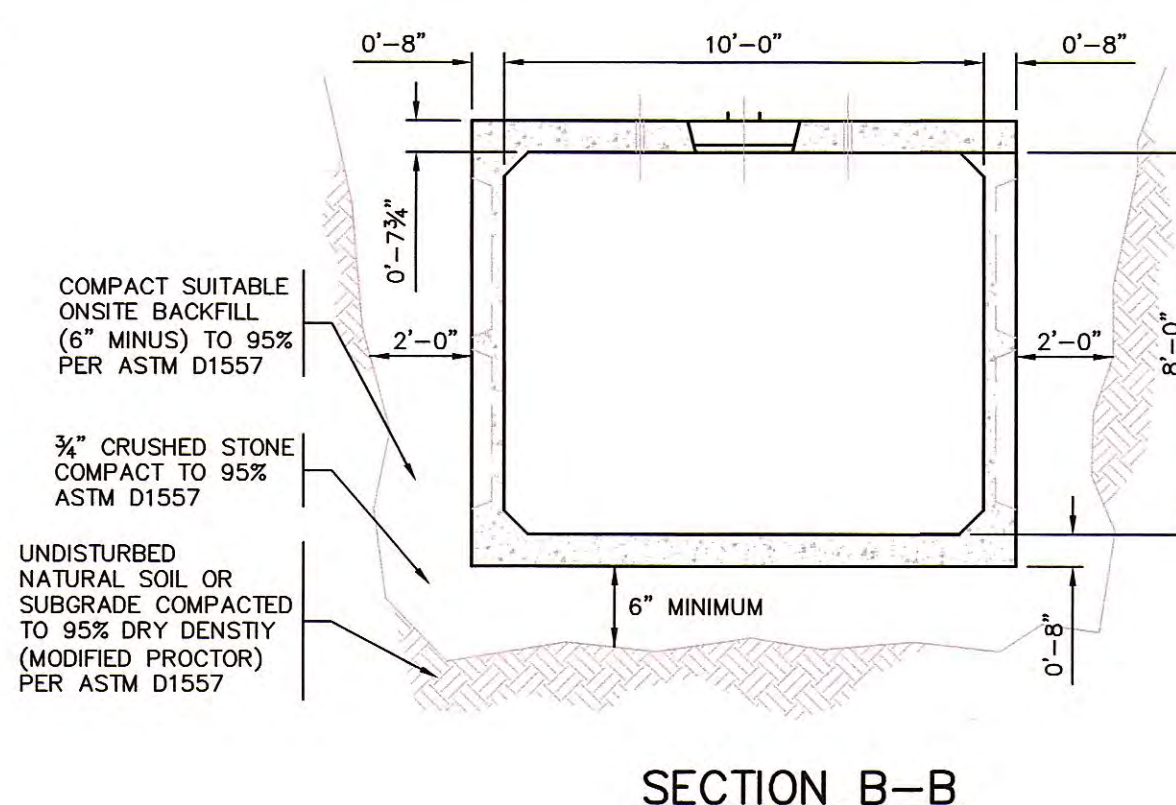


SECTION A-A

INSTALLATION NOTES:
 1. A MANUFACTURER'S REPRESENTATIVE SHALL INSPECT THE BASE PAD PRIOR TO INSTALLATION AND SHALL INSPECT BACKFILL MATERIALS AND APPROVE PROCEDURES.
 2. SUITABLE ON-SITE MATERIAL FOR BACKFILL SHALL CONSIST OF A MINERAL MATERIAL FREE FROM CINDERS, ASHES, ORGANIC MATERIAL, LOAM, WOOD, TRASH, AND OTHER OBJECTIONABLE MATERIALS. IT SHALL HAVE NO STONE LARGER THAN 6" IN ITS GREATEST DIMENSION.
 3. LEAKAGE TESTING SHALL BE IN ACCORDANCE WITH NFPA22 CHAPTER 18.
 4. FIRE CISTERN SHALL BE RATED FOR H-20 LOADING.

FIRE CISTERN
 NOT TO SCALE

TYPICAL JOINT DETAIL
 SCALE 1/2" = 1'-0"



SECTION B-B

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NICHOLAS M. PAULING
 CIVIL ENGINEER
 No. 47514
 REGISTERED

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1	9/20/23	LT	NMP	PEER REVIEW COMMENTS

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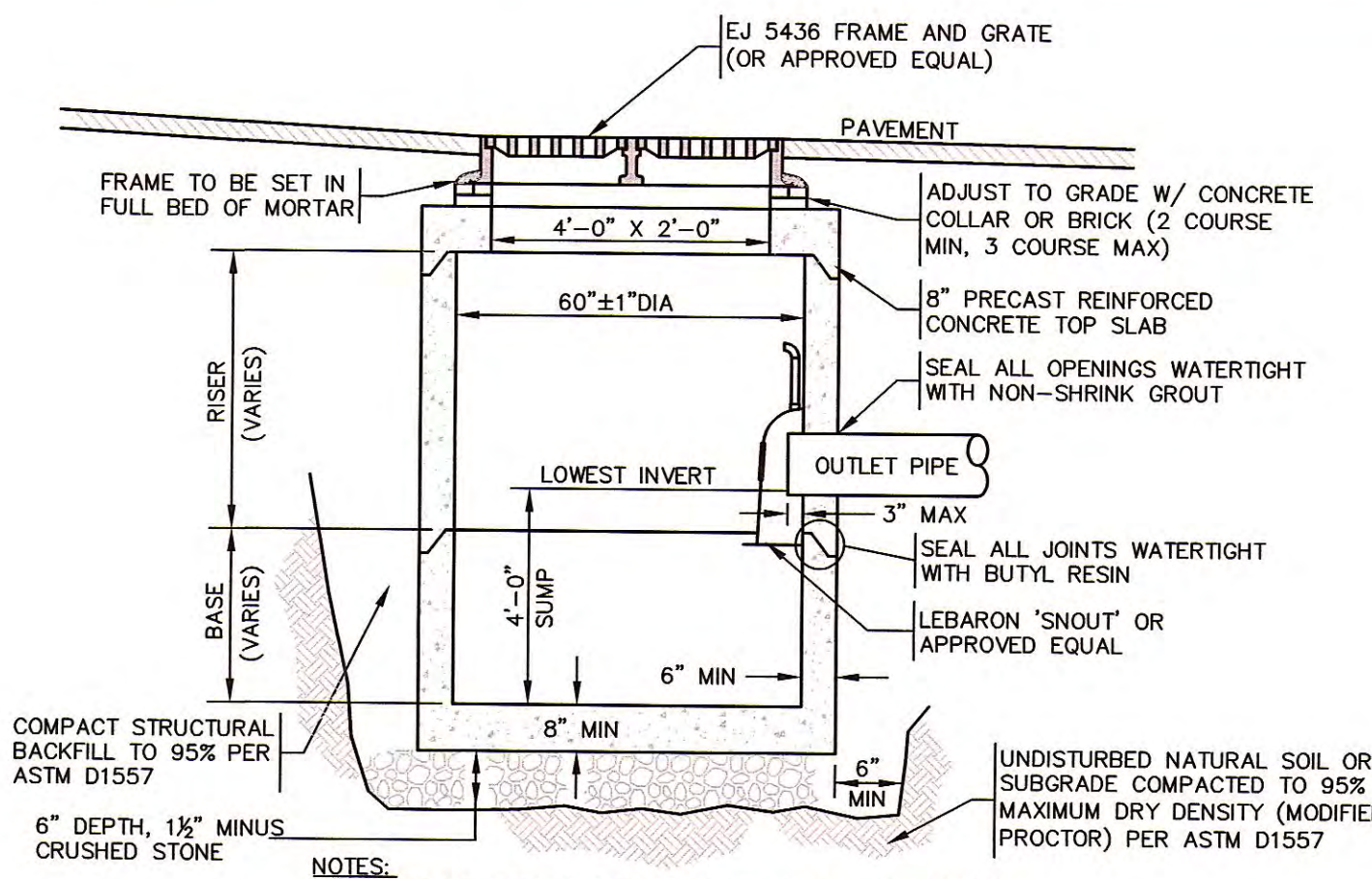
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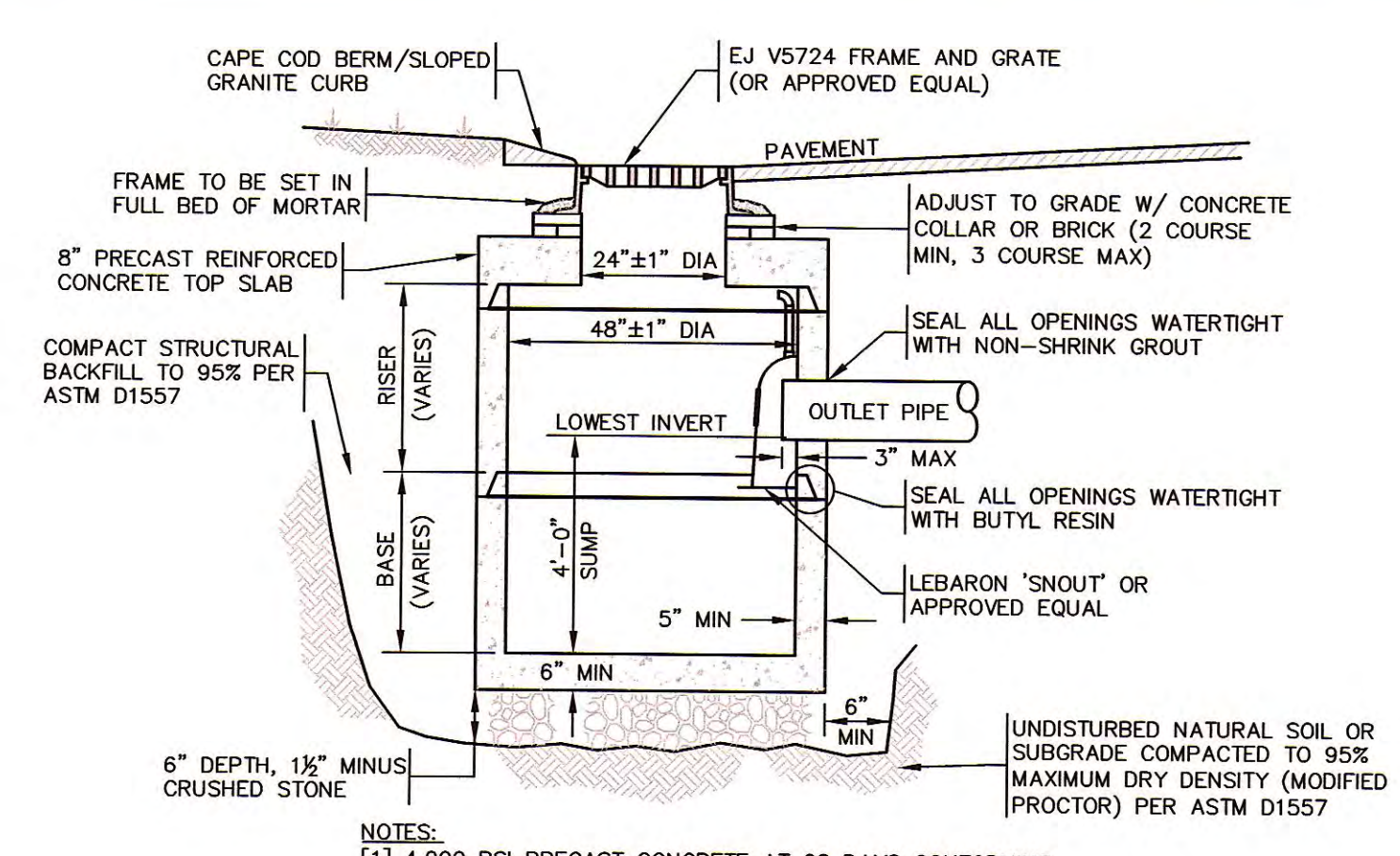
THE VILLAGE AT ROBIN LANE
 AT OLD MILL & AYER ROADS
 HARVARD, MA

PREPARED FOR:
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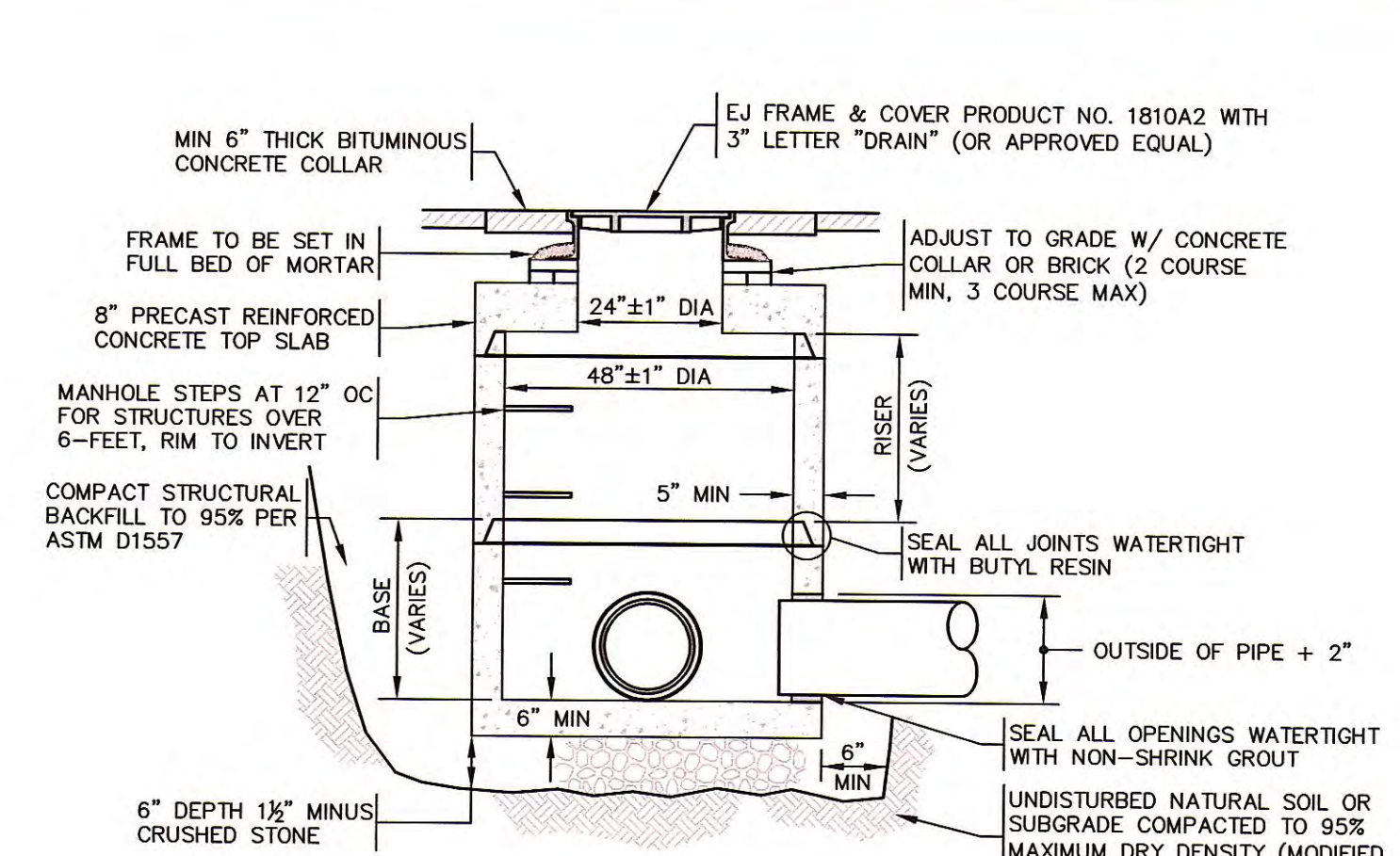
DES. BY: LT	DATE: JUNE 2023	JOB 211140	C7.1
CHK. BY: NMP			



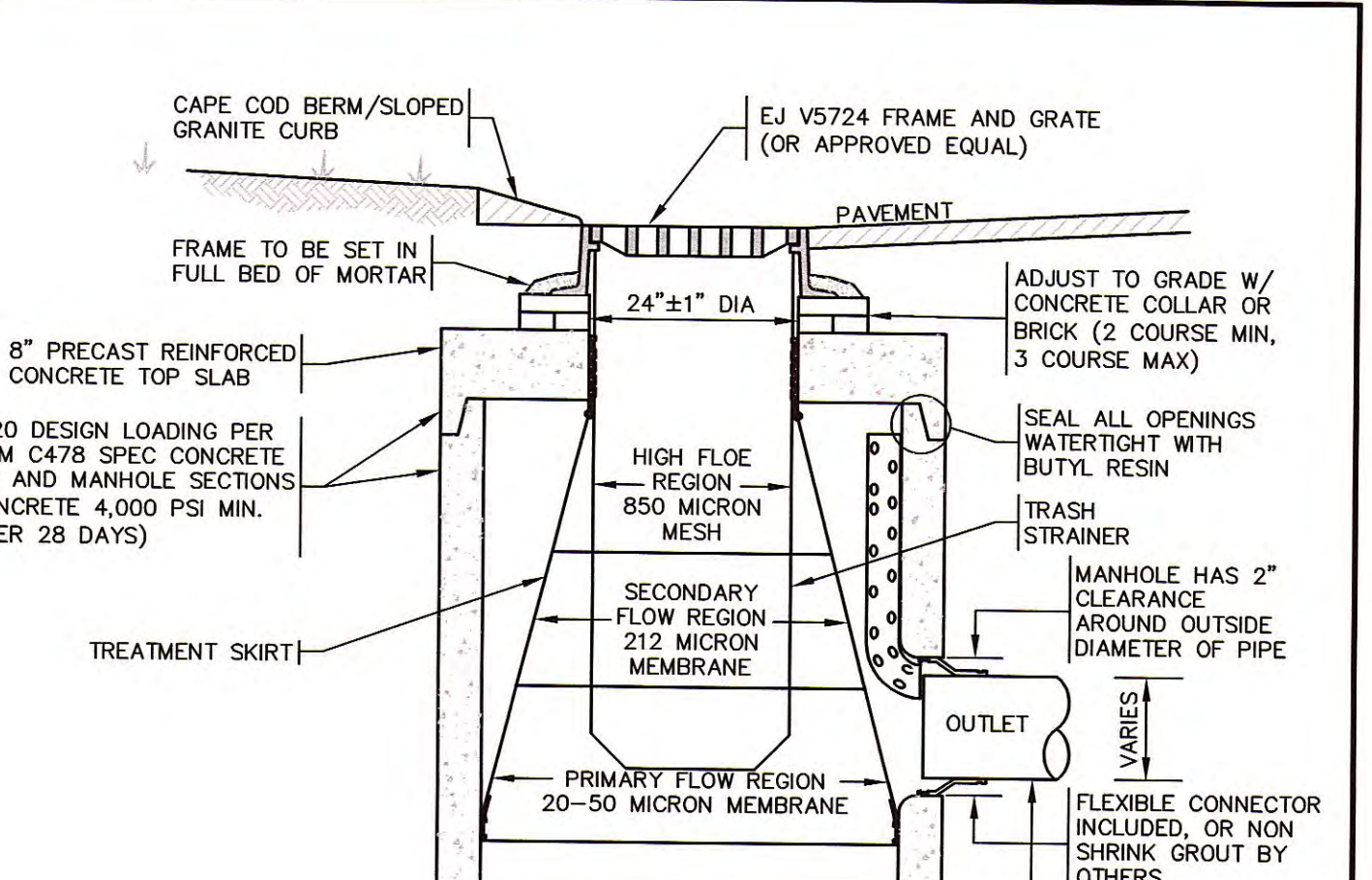
DOUBLE GRATE CATCH BASIN
TYPICAL CROSS SECTION
NOT TO SCALE



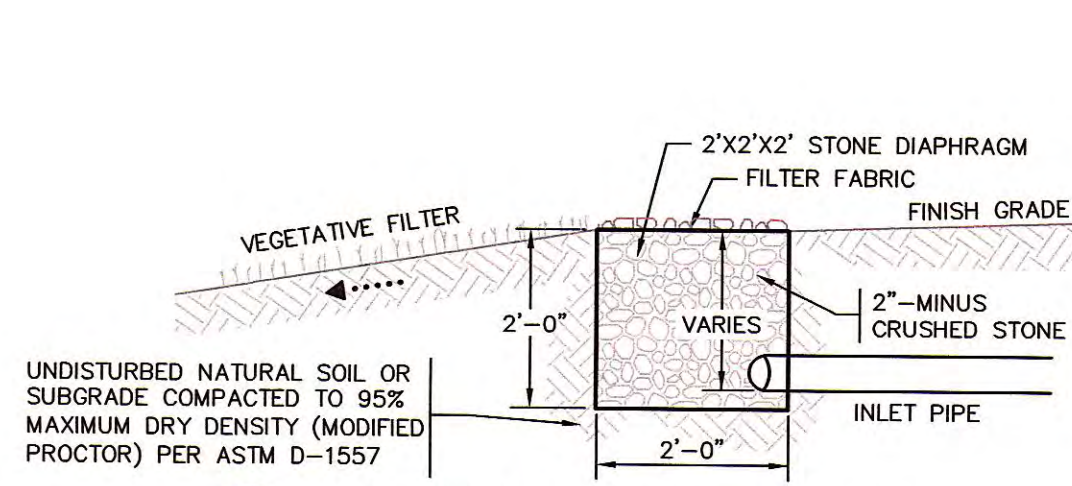
CATCH BASIN
TYPICAL CROSS SECTION
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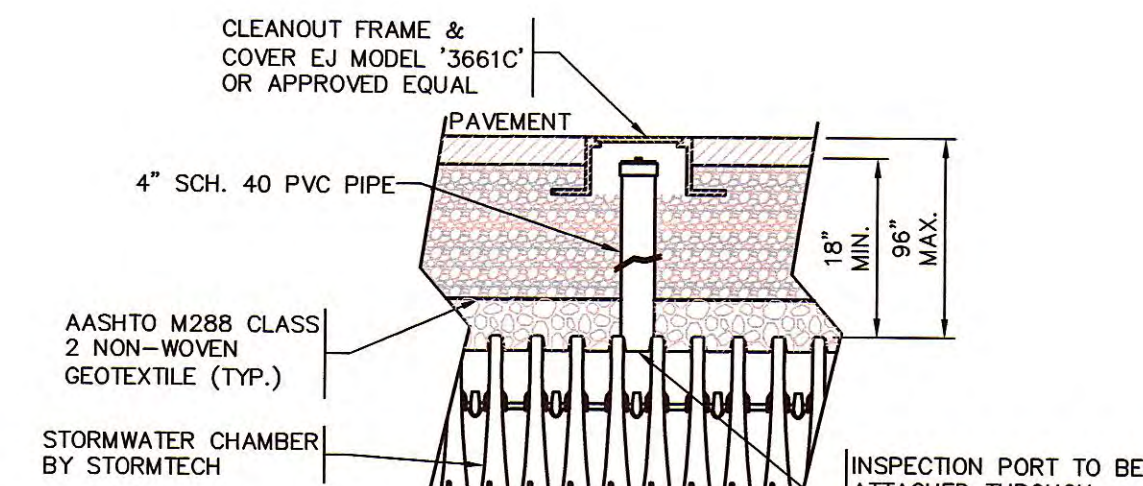
DRAIN MANHOLE
TYPICAL CROSS SECTION
NOT TO SCALE



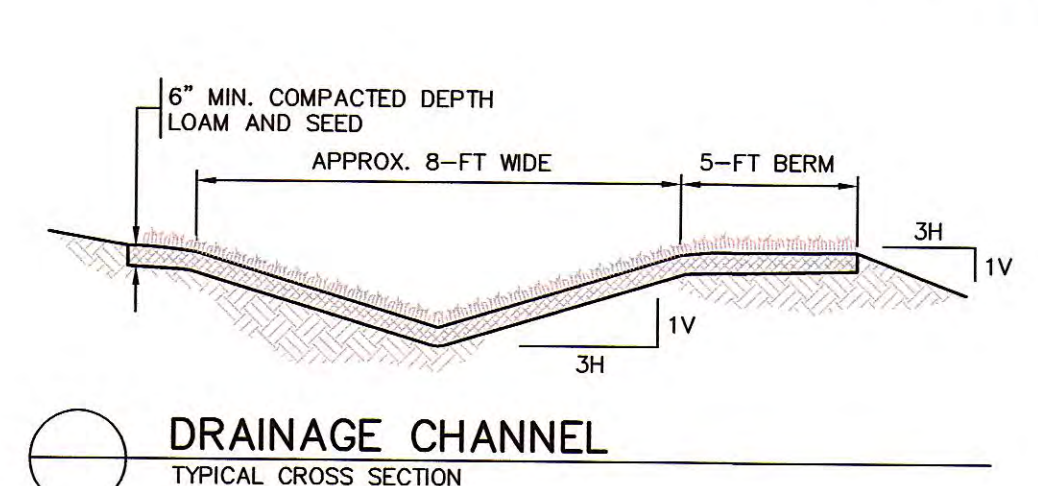
SILT PRISON CATCH BASIN
TYPICAL CROSS SECTION
NOT TO SCALE



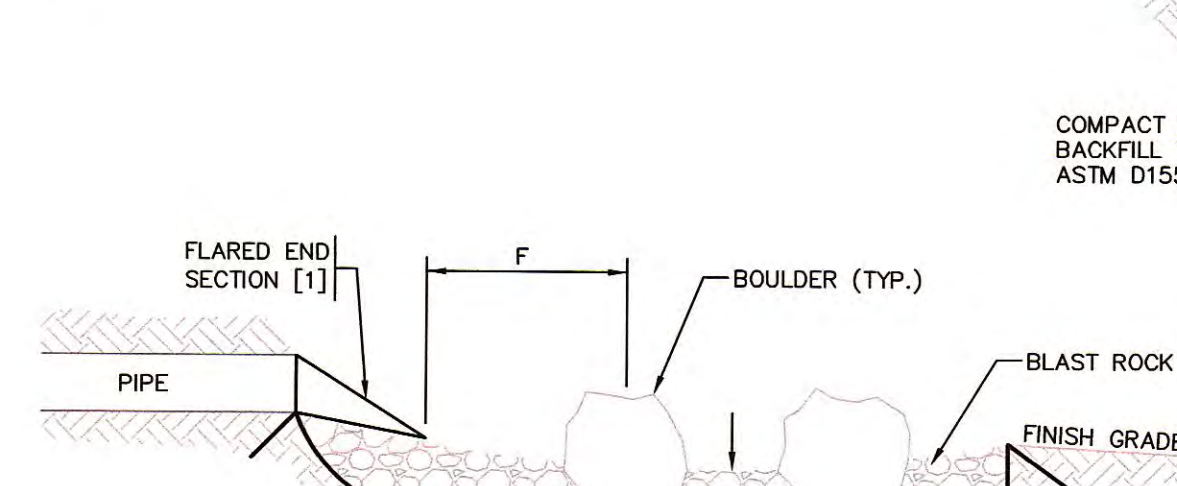
2'X2'X2' STONE DIAPHRAGM
TYPICAL CROSS SECTION
NOT TO SCALE



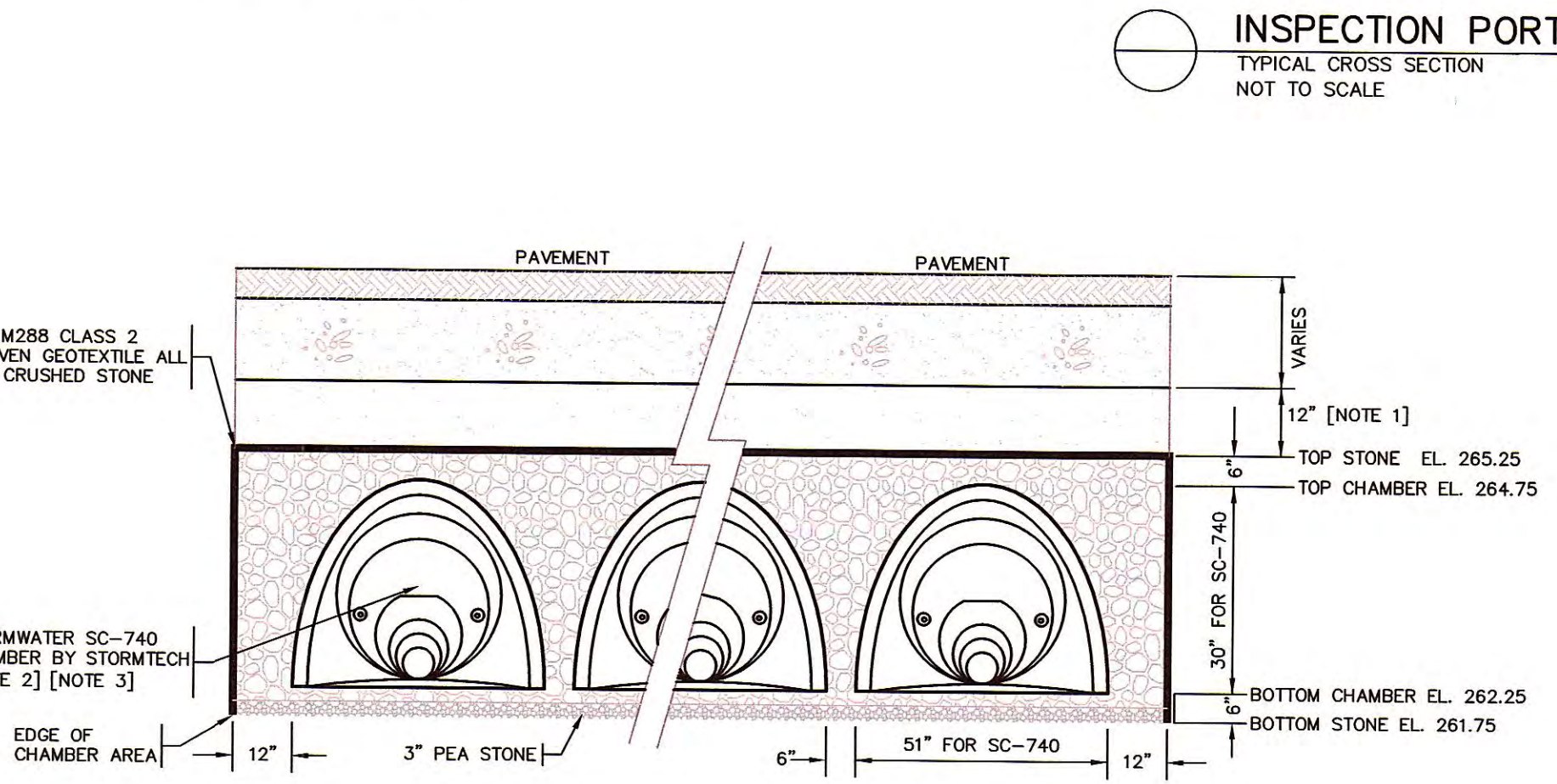
INSPECTION PORT
TYPICAL CROSS SECTION
NOT TO SCALE



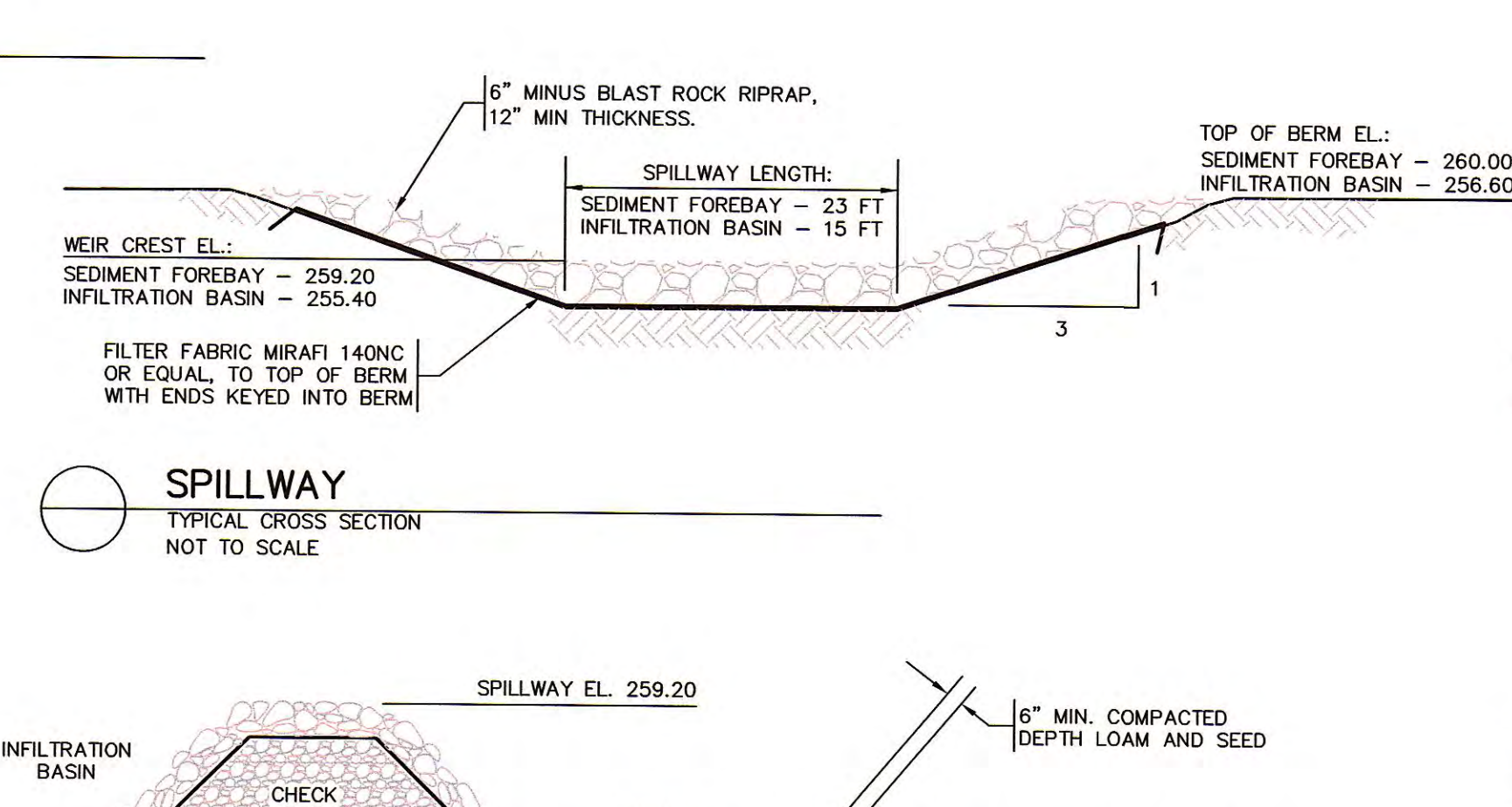
DRAINAGE CHANNEL
TYPICAL CROSS SECTION
NOT TO SCALE



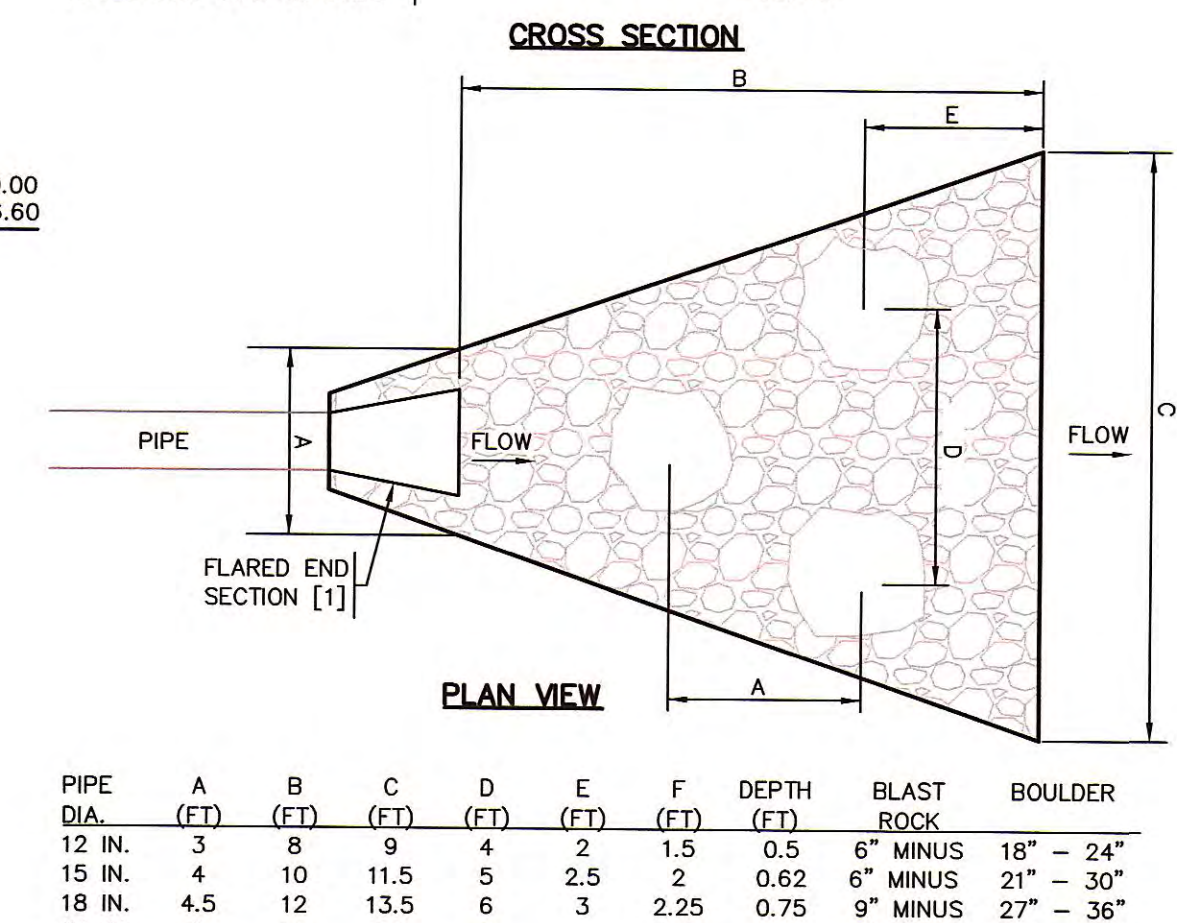
FLARED END SECTION
TYPICAL CROSS SECTION
NOT TO SCALE



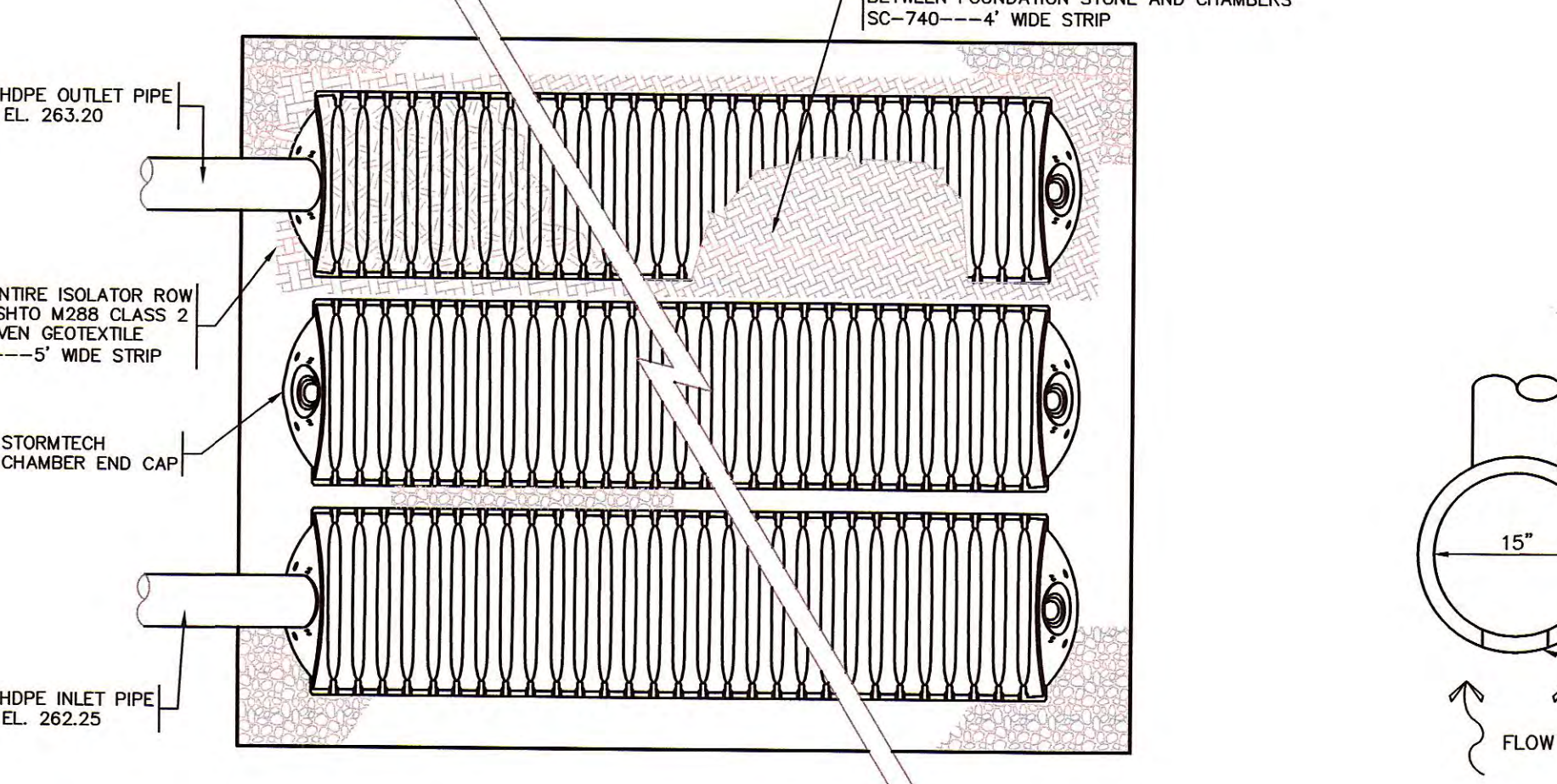
INFILTRATION CHAMBER (IC)
TYPICAL CROSS SECTION
NOT TO SCALE



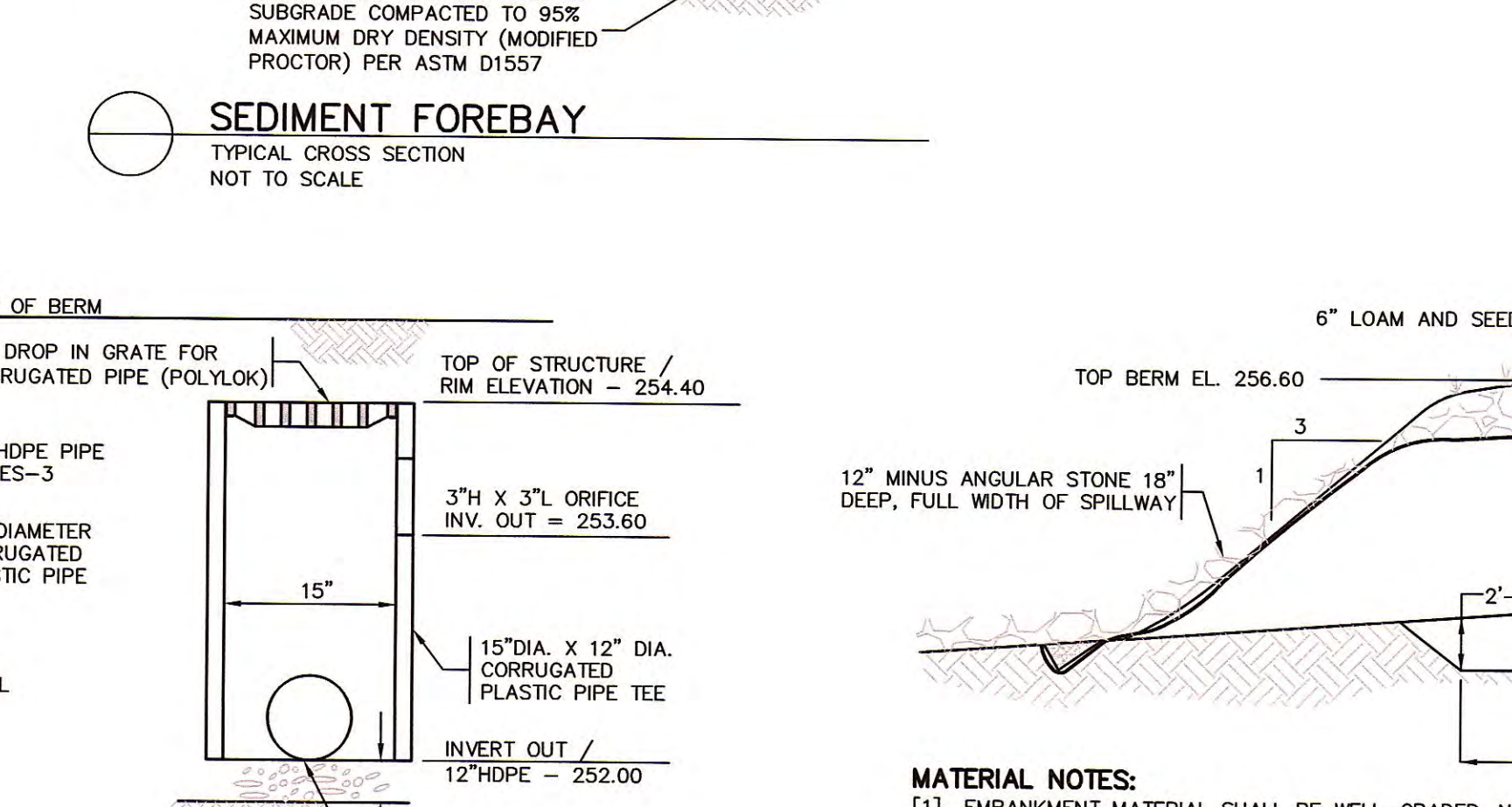
SPILLWAY
TYPICAL CROSS SECTION
NOT TO SCALE



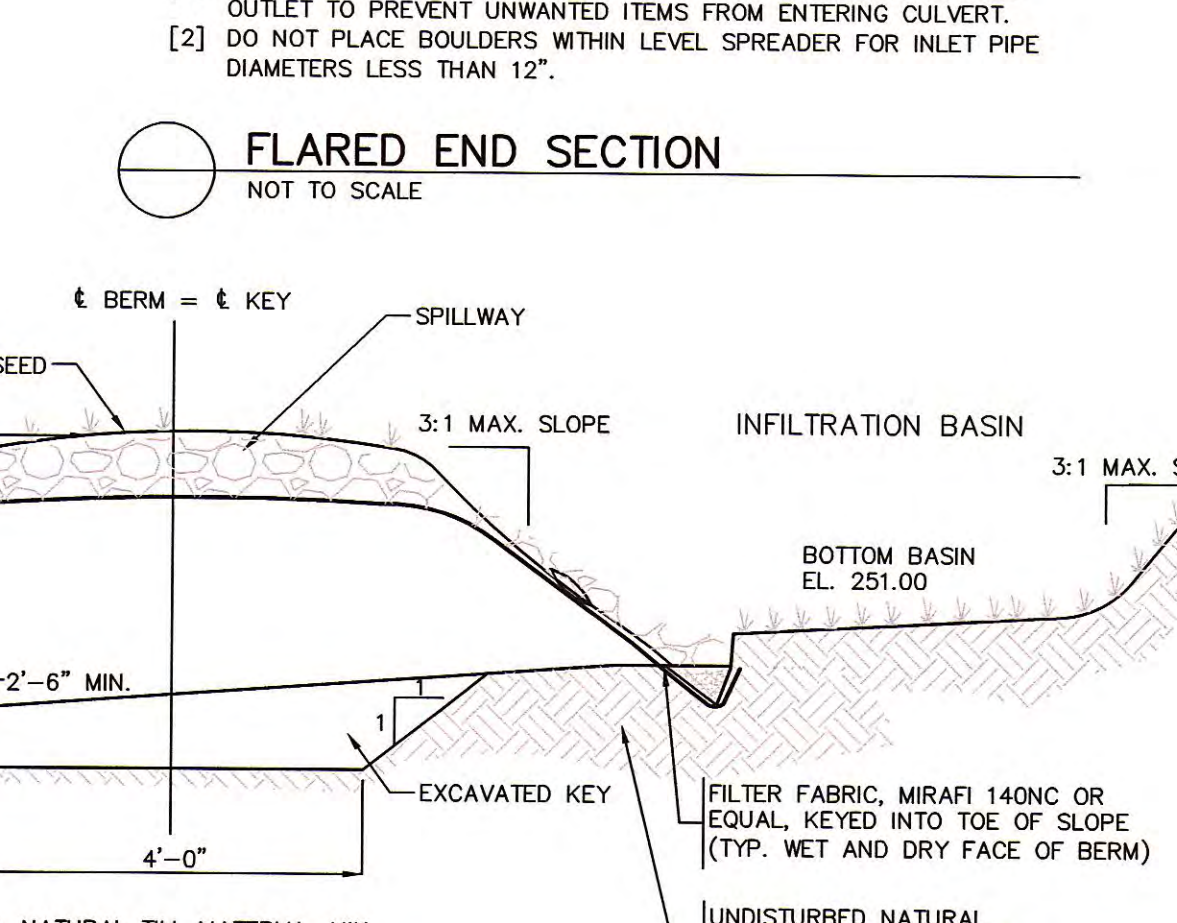
FLARED END SECTION
NOT TO SCALE



OUTLET CONTROL STRUCTURE
TYPICAL CROSS SECTION
NOT TO SCALE



SEDIMENT FOREBAY
TYPICAL CROSS SECTION
NOT TO SCALE



INFILTRATION BASIN (IB)
TYPICAL CROSS SECTION
NOT TO SCALE

NOTES:
[1] GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES, COMPACT IN 6" LIFTS TO MINIMUM 95% STANDARD PROCTOR DENSITY.
[2] SEE STORMTECH CHAMBER SYSTEMS DESIGN MANUAL FOR MANUFACTURERS SPECIFICATIONS AND MATERIAL SPECIFICATIONS.
[3] CONFIGURATION SHOWN MAY NOT BE ACCURATE, SEE SITE PLAN.
[4] ALL CHAMBERS MAY NOT BE SHOWN, SEE SITE PLAN FOR NUMBER AND CONFIGURATION.

NOTES:
[1] EMBANKMENT MATERIAL SHALL BE WELL-GRADED, NATURAL TILL MATERIAL, MIN. 30% PASSING NO. 200 SIEVE, UNIFIED CLASSIFICATION SC, ML, OR CL WITH 10% CERTIFIED CLAY CONTENT. NO STONE LARGER THAN 6" LARGEST DIMENSION. GRADATION ANALYSIS OF BACKFILL MUST BE SUBMITTED FOR APPROVAL BY ENGINEER. ENGINEER SHALL APPROVE MATERIAL PRIOR TO PLACEMENT.
[2] PLACE MATERIAL IN 12" LIFTS AND MECHANICALLY COMPACT TO 95% (MODIFIED PROCTOR).
[3] PLACE MATERIAL AT OR WITHIN 1% OF OPTIMUM MOISTURE.

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40B RESIDENTIAL DEVELOPMENT

CONSTRUCTION DETAILS

THE VILLAGE AT ROBIN LANE AT OLD MILL & AYER ROADS HARVARD, MA

PREPARED FOR:
JUNO CONSTRUCTION, LLC
92 MIDDLESEX ROAD, UNIT 3
TYNGSBOROUGH, MA 01879

DES. BY: LT	DATE: JUNE 2023	JOB 211140	C7.2
CHK. BY: NMP			

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**OFFICE OF THE
HARVARD BUILDING DEPARTMENT**

13 Ayer Road, Harvard, Massachusetts 01451
(978) 456-4100

www.harvard-ma.gov



January 29, 2024

To: HARVARD ZONING BOARD OF APPEALS

RE: Craftsman Village completion

Dear Members of the Board,

This letter is to service as notice that the project at Craftsman Village has met the criteria for completion with the building department.

We are currently holding the final Certificate of Occupancy (CO) for the unit at 3 Cortland Lane until the board is satisfied that the terms of the Comprehensive Permit have been met. Upon direction from this board, we are prepared to release the last remaining CO.

Respectfully,

A handwritten signature in black ink, appearing to read "Jeffrey Hayes".

Jeffrey Hayes
Building Commissioner
Town of Harvard
13 Ayer Road
Harvard, MA 01451
978-456-4100 x425
jhayes@harvard-ma.gov

January 12, 2024
5779

Harvard Zoning Board of Appeals
c/o Christopher Tracey, Chair
13 Ayer Road
Harvard, MA 01451

VIA EMAIL

RE: As-Built Review
“Craftsman Village Harvard”
361 Ayer Road, Harvard MA

Dear Members of the Board:

Dillis & Roy Civil Design Group, Inc. (CDG) has received the As-built plans and supporting letter for Craftsman Village. We have reviewed the plans and supporting documents for accuracy with respect to visible site features.

The following documents were received by CDG:

1. Letter dated November 30, 2023 prepared by Hannigan Engineering, Inc
2. As-Built Plan dated November 29, 2023 prepared by Hannigan Engineering, Inc.

DR conducted a site visit on January 3, 2024 with Frank O’Connor (Town Planner), Liz Allard (Conservation Agent), and Chris Anderson (Hannigan Engineering). The plans by Hannigan accurately represent the As-Built Condition for the project site. There are several items however that should be addressed by the Applicant during the next growing season, which are listed below:

- Provide stone drip edges around units without gutters of sufficient width to prevent erosion around the units;
- Regrade and hydroseed trailer area on south side of Cortland Lane;
- Regrade and hydroseed grassed area along south side of Cortland Lane to provide positive, stable drainage to existing DCB-3;
- Provide additional rip-rap reinforcement at 24-inch flared end structure discharge from DMH-6;
- Restore grassed slope with hydroseed behind Units 15 through 17;
- Hydroseed disturbed area in existing rain garden and supplement existing plantings to meet planting requirements of originally permitted Rain Garden Cross-Section (Detail 1 Plan C-6).

Based on our review, it is our opinion that the work depicted on the As-built plan has been constructed in general conformance with the approved plans for the project, and that the above noted items can be easily addressed during the next growing season. We trust this meets your needs at this time. If you have any questions or require any additional information, please do not hesitate to contact me.

Regards,

DILLIS & ROY
CIVIL DESIGN GROUP, INC.

A handwritten signature in black ink, appearing to read "Francis McPartlan". The signature is fluid and cursive, with a long horizontal stroke extending from the end.

Francis McPartlan, PE (MA)
Senior Civil Engineer

Craftsman Village Close Out

Andrew Perry <aperry@harvard-ma.gov>

Tue 1/30/2024 8:58 AM

To: Vittoria Konstantinidis <vkonstantinidis@harvard-ma.gov>; Frank O'Connor <FOConnor@harvard-ma.gov>

Cc: Richard Sicard <rsicard@harvard-ma.gov>; Jeff Hayes <jhayes@harvard-ma.gov>; Mark O' Hagan <mark@craftsmanvillagehomes.com>; Sotir Papalilo <sotir@westondevgroup.com>

Good Morning Vittoria,

Can you please pass along to the ZBA; The Fire Department has conducted all inspections of the project known as Craftsman Village with no issues found or pending. Please let us know if you need anything else or have any questions.

Thank you,
LT. Perry

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All fire prevention permits are now online; please visit permits.harvardfire.com to apply.

Lieutenant Andrew Perry, EMT-P

Fire Prevention Officer & Training Officer

Harvard Fire Department

Cell: 978-501-2730 / Office: 978-456-3648 (Option #2)

13 Ayer Road, Harvard, MA 01451

"Be better tomorrow than you are today"