

**TOWN OF HARVARD  
ZONING BOARD OF APPEALS AGENDA  
WEDNESDAY, JANUARY 3, 2024 @ 7:00pm via ZOOM**

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Pursuant to Chapter 2 of the Acts of 2023, An Act Making Appropriations for the Fiscal Year 2023 to Provide for Supplementing Certain Existing Appropriations and for Certain Other Activities and Projects, and signed into law on March 29, 2023, this meeting will be conducted via remote participation. Interested individuals may participate by phone and/or online by following the link and phone number below.

UpperTH ProWebinar is inviting you to a scheduled Zoom meeting.

Topic: Zoning Board of Appeals

Time: Jan 3, 2024 07:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/88929480293?pwd=d0tpakZoSDBmVWhtb3ZMYUdxbVVmUT09>

Meeting ID: 889 2948 0293

Passcode: 171593

One tap mobile

+13052241968,,88929480293# US

+13092053325,,88929480293# US

Dial by your location

• +1 305 224 1968 US

• +1 309 205 3325 US

Meeting ID: 889 2948 0293

Find your local number: <https://us02web.zoom.us/u/kbTtNDtPse>

**Public Participation**

**7:00pm Continuation of Public Hearing of Special Permit Hearing – Latham at 200 Still River Road, §125-3B Non-conforming one- and two-family dwellings, and §135-25 Special rule applicable to one- and two-family dwellings.**

**7:10pm Public Hearing requesting a Special Permit for Steven and Kestrel Scherr – 104 Still River Road, §125—3(2) & 125-46 to alter and enlarge a lawful, non-conforming existing structure.**

**7:20pm Continuation of Public Hearing of COMPREHENSIVE Permit Hearing – JUNO Construction LLC at Old Mill Road, for a proposed 40-B development**

**8:10pm Public Hearing requesting a Special Permit for Andrew Zaikis, (on behalf of the owner) at 164 Prospect Hill Road, §125-3B and 125-46 to replacement pergola non-conforming existing structure.**

**New Business:**

- a) Approve Minutes
- b) Approve Invoice (none this month)
- c) Craftsman Village: As build review
- d) Executive Session – Pending Litigation with Fairway Partners, LLC and others  
re: Trail Ridge Comprehensive Permit Project Infrastructure Security
- e) Discuss future ZBA meeting date conflicts in Feb. 2024 & July 2024

**NEXT SCHEDULED MEETING: TUESDAY, FEBRUARY 6, 2024**

**AS**

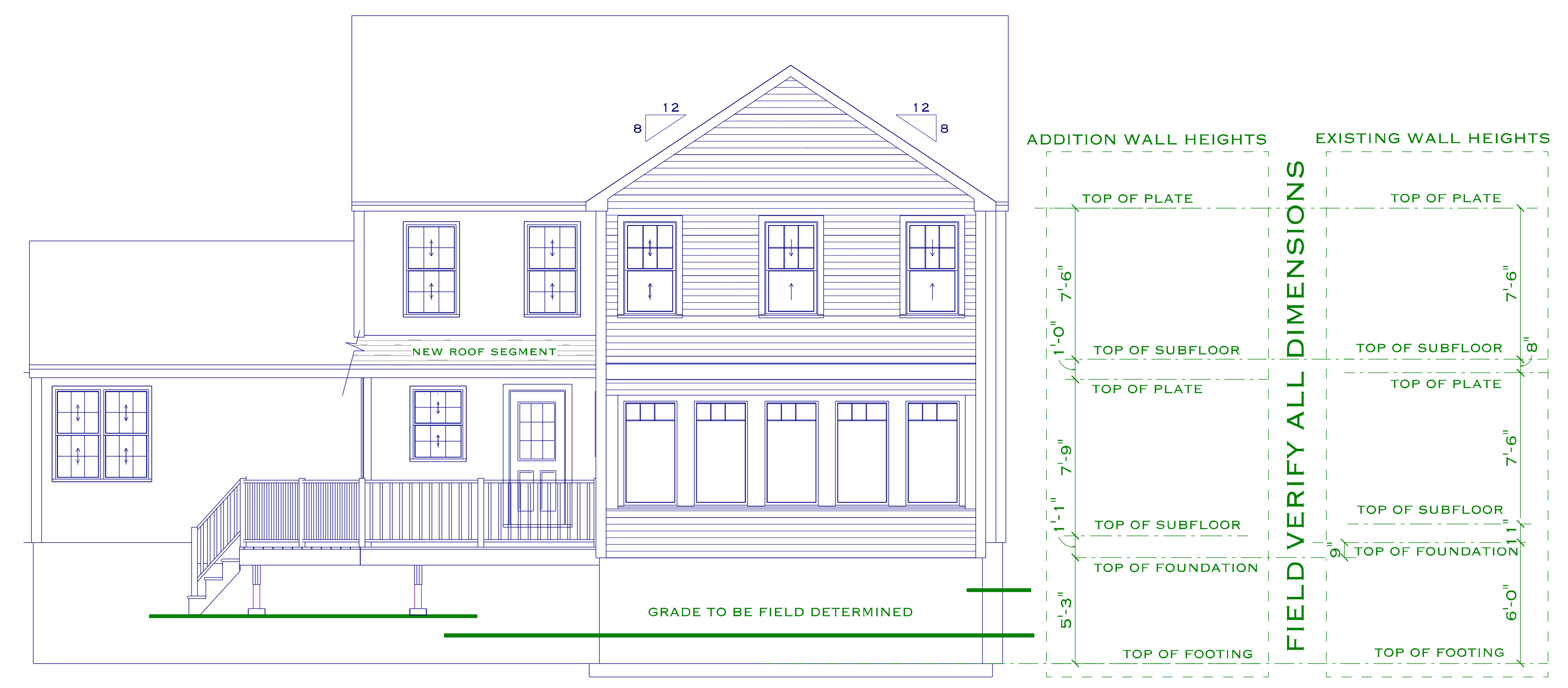
The listing of matters are those reasonably anticipated by the chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may be brought up for discussion to the extent permitted by law, also.



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

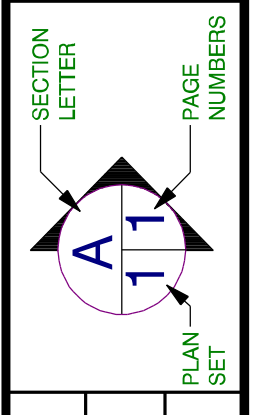


**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

DRAWING ID: DM23-3-23  
DRAWING MODEL:



SCALE: 1/4" = 1'-0"  
DRAWN BY: DJM  
DATE: Friday, December 22, 2023

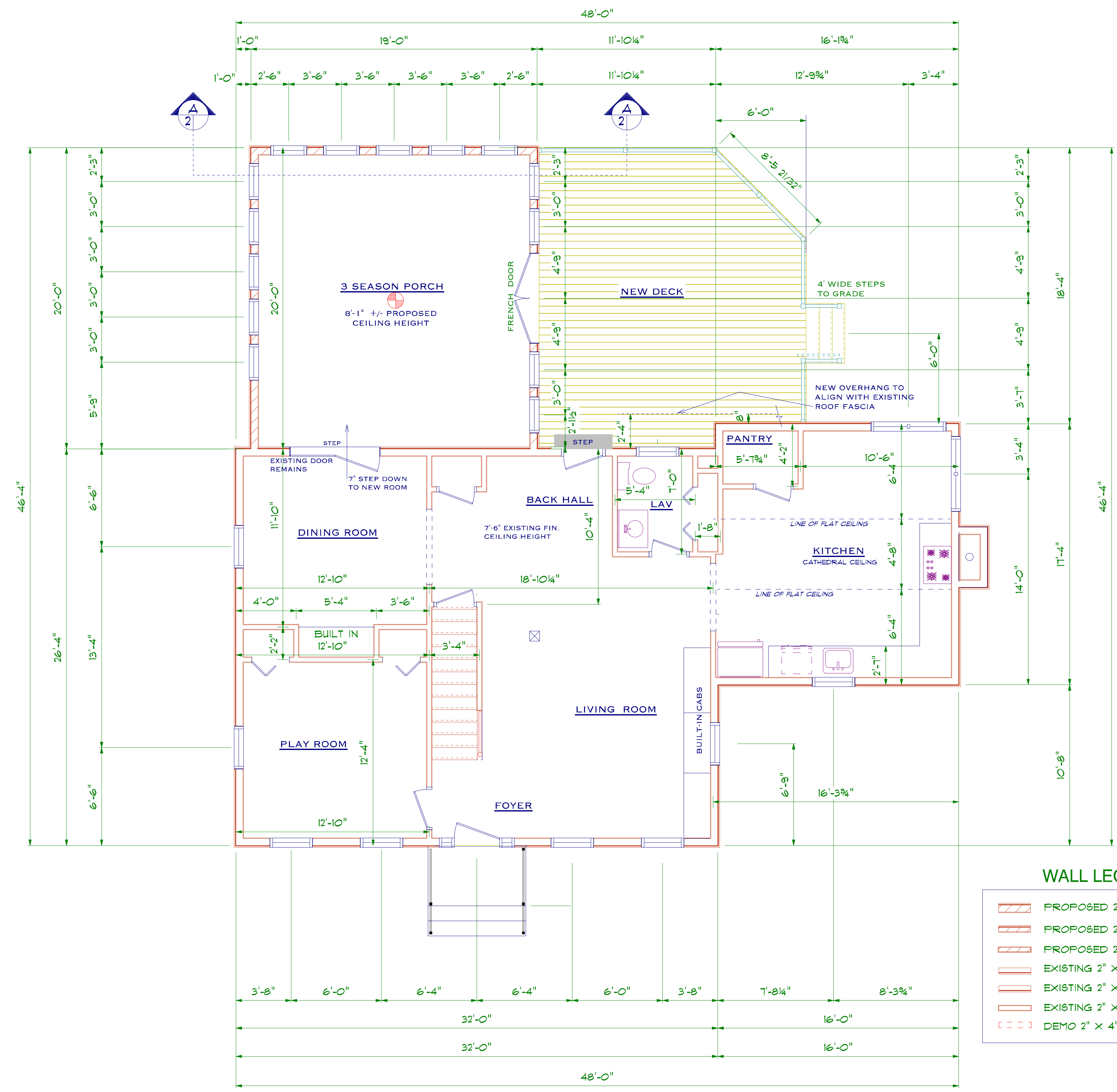
**LATHAM RESIDENCE**  
200 STILL RIVER ROAD  
HARVARD MA.

**INTEGRITY DESIGN INC.**  
488 GREAT ROAD ACTON MA 01720  
PHONE: 978-337-8378  
EMAIL: DAN.MELE@INTEGRITYBUILDING.COM



ELEVATIONS



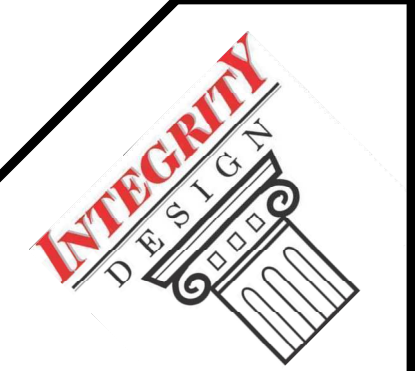


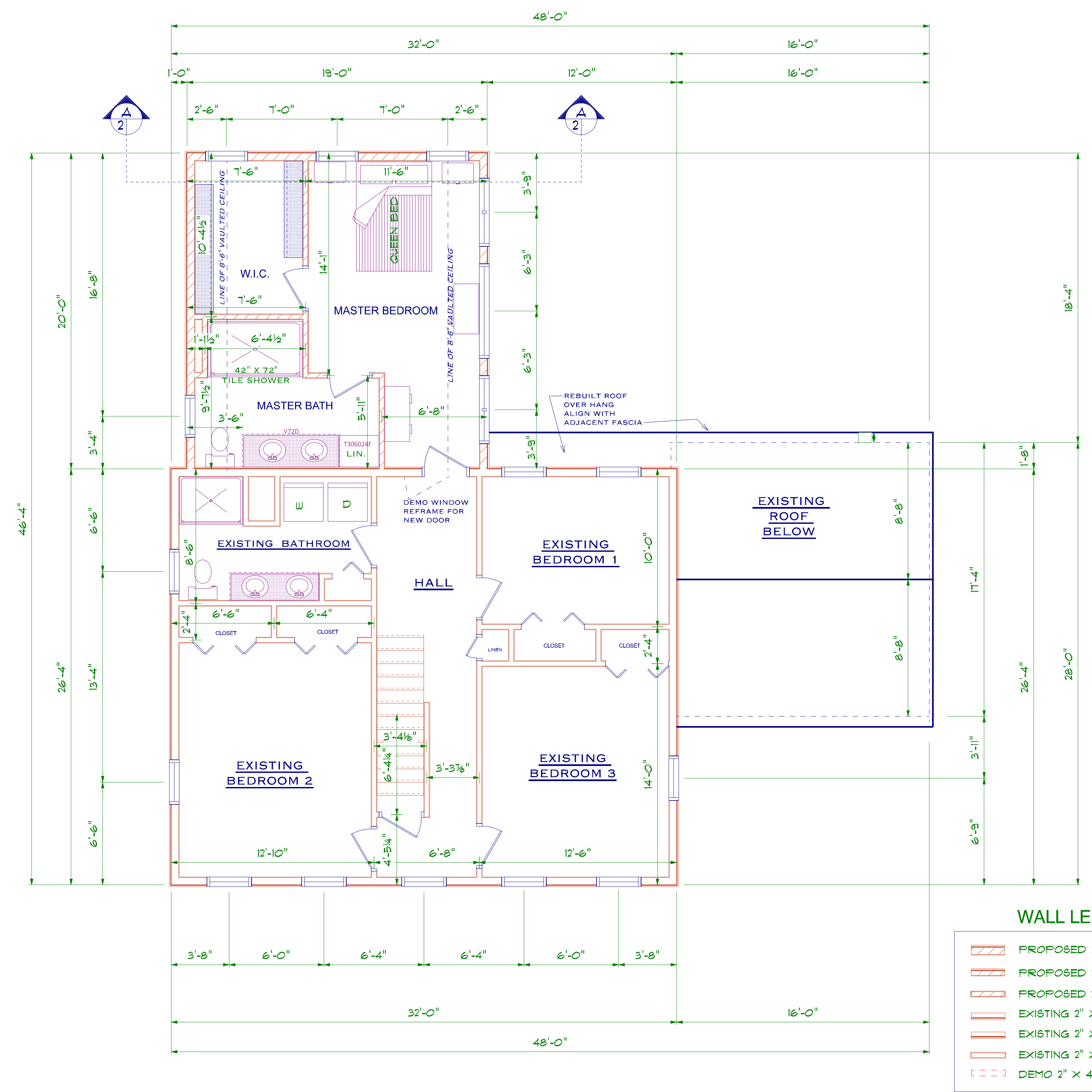
**WALL LEGEND**

	PROPOSED 2" x 6" EXT. WALL
	PROPOSED 2" x 4" EXT. WALL
	PROPOSED 2" x 4" WALL INT.
	EXISTING 2" x 4" WALL
	EXISTING 2" x 6" WALL
	EXISTING 2" x 4" WALL INT.
	DEMO 2" x 4" WALL

- HD HEAT DETECTOR**  
- \* GARAGE ONLY - HARD WIRED WITH BATTERY STAND BY POWER
- CO CARBON MONOXIDE DETECTOR**  
PER MA. STATE CODE 827 CMR 31.00  
-U.L. Listed Detectors Only  
-Carbon Monoxide Alarm Protection shall be located in each level of each dwelling unit including habitable portions of basements, cellars and attics, but not including crawl spaces. The installation of said unit shall be located in accordance with the manufacturer's instructions.  
-At a minimum, the alarm shall be located outside of any bedroom, but shall not exceed 10 ft. as measured in any direction from any bedroom door.
- CP COMBO SMOKE/C.O. DETECTORS**  
-Combination Smoke/CO units must have separate audible and visual alarms for smoke & CO. Each unit must display a distinctive alphanumeric message (digital or embossed) distinguishing between smoke & CO.
- SD SMOKE DETECTOR**  
-ALL UNITS HARD WIRED, INTERCONNECTED WITH BATTERY STAND BY POWER  
-ONE EACH IN ALL BEDROOMS  
-IN THE IMMEDIATE VICINITY OF BEDROOMS  
-NEAR THE BASE OF ALL STAIRS WHERE SUCH STAIRS LEAD TO ANOTHER OCCUPIED FLOOR.  
-ONE EACH MIN PER 1200 SQ' OF PART THERE OF.  
-ALL DETECTORS TO BE PHOTO ELECTRIC TYPE
- EF EXHAUST FAN**  
ALL BATHROOMS AND KITCHENS TO BE EQUIPPED WITH AN EXHAUST FAN TO COMPLY WITH 180 CMR 6506  
BATHROOM 50 CFM - OPERATED INTERMITTENTLY OR 20 CFM CONTINUOUS  
KITCHEN 100 CFM - OPERATED INTERMITTENTLY OR 25 CFM CONTINUOUS
- ALL FLUSH FRAMED BEAMS REQUIRE JOIST HANGERS FOR ANY ATTACHED JOISTS**
- ALL BEARING WALL HEADERS LONGER THAN 5'-0" REQUIRE DBL. JACK STUDS - MIN.**
- EXTERIOR HEADERS TO BE (3) 2" x 10" UNLESS OTHERWISE NOTED
- ALL FRAMING MATERIAL UNLESS OTHERWISE NOTED TO BE STAMPED S.F.F. K.D. #2 OR BETTER
- ALL EXTERIOR WALLS TO BE 2" x 6" STUDS @ 16" O.C.
- EXTERIOR WINDOW DIMENSIONS ARE ROUGH OPENINGS IF GIVEN. INTERIOR AND EXTERIOR DOORS ARE DOOR SIZES
- DO NOT SCALE DRAWING USE WRITTEN NUMBERS
- ALL INTERIOR PASSAGE OPENINGS ARE TO BE CASSED OPENINGS UNLESS OTHERWISE NOTED
- INTERIOR DOOR SYLES T.B.D. (JELD-WEN PRO-CORE SUGGESTED FOR SOUND CONTROL)
- ...Opening between the garage and residence shall be equipped with solid wood doors not less than 1-3/8 inches (35 mm) in thickness, solid or honeycomb-core steel doors not less than 1-3/8 inches (35 mm) thick, or 20 minute fire-rated doors, equipped with a selfclosing device. PER 2015 IRC R302.5.
- The contractor shall verify all structural components and verify all elevations & dimensions in the field. Once construction has begun, Integrity Design will not assume any liability for omissions, changes or errors of any type.
- BUILDER RESPONSIBLE TO COMPLY WITH ALL STATE & LOCAL BUILDING CODES
- The state of MA. building code now consists of The International Residential Code for One & Two-family dwellings (IRC 2015 addition) along with amendments directly given by the state of MA.

**EXISTING & PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

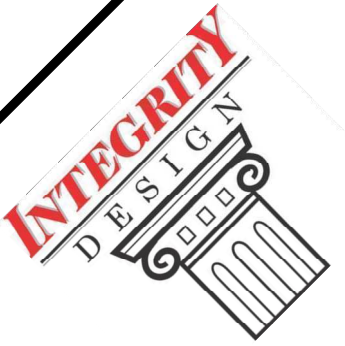




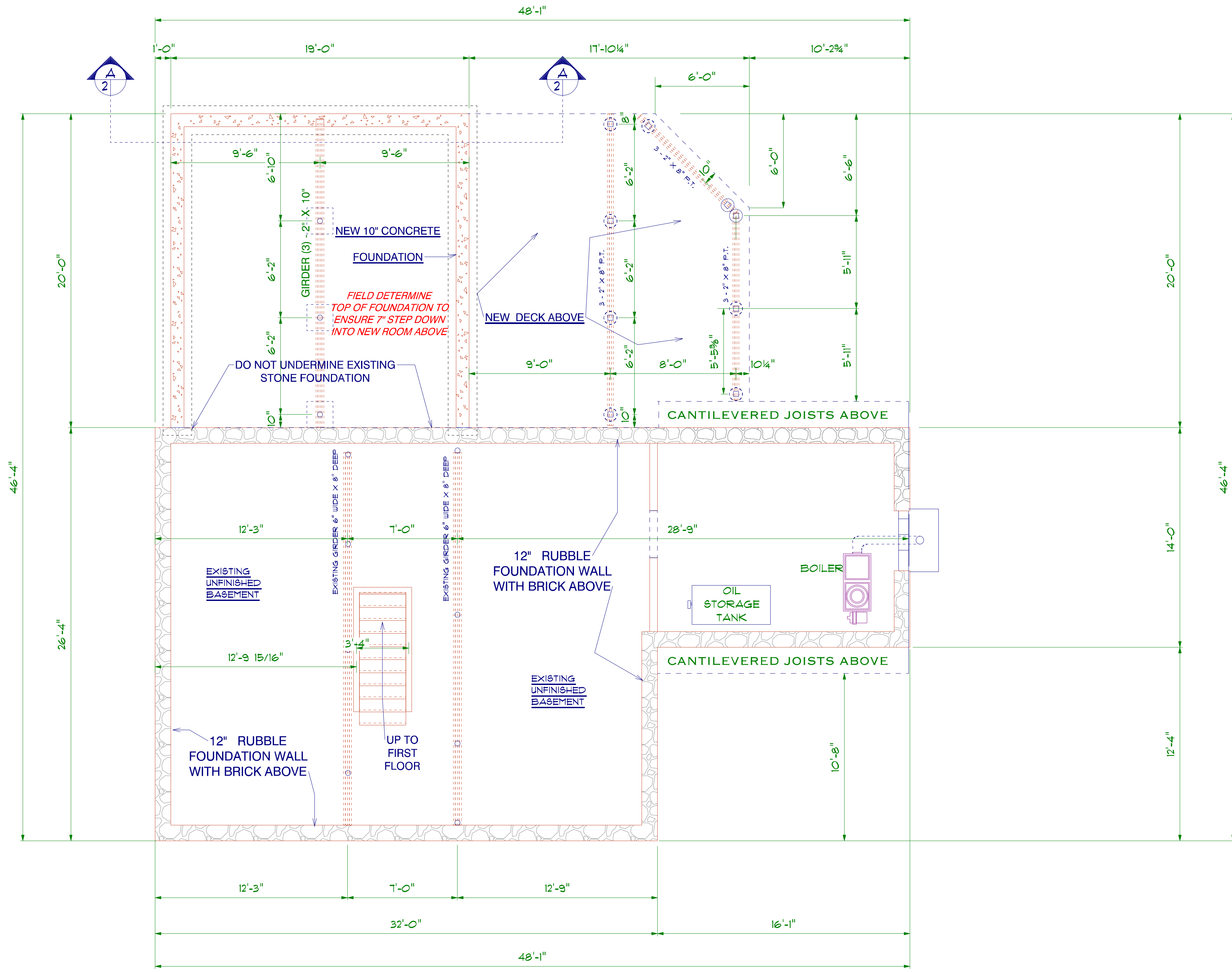
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	EXISTING 2" X 4" WALL INT.
	DEMO 2" X 4" WALL

**LATHAM EXISTING & PROPOSED SECOND FLOOR B**  
SCALE: 1/4" = 1'-0"







# EXISTING AND PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- HD HEAT DETECTOR**  
- GARAGE ONLY - HARD WIRED WITH BATTERY STAND BY POWER
- CO CARBON MONOXIDE DETECTOR**  
PER MA. STATE CODE 521 CMR 31.00  
-U.L. Listed Detectors Only  
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BUILDER RESPONSIBLE TO COMPLY WITH ALL STATE & LOCAL BUILDING CODES

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DRAWING ID: DM23-3-23  
DRAWING MODEL: BASEMENT PLAN

SECTION LETTER: A  
PAGE NUMBER: 11  
PLAN SET

SCALE: 1/4" = 1'-0"  
DRAWN BY: DJM  
DATE: Friday, December 22, 2023

**LATHAM RESIDENCE**  
200 STILL RIVER ROAD  
HARVARD MA.

**INTEGRITY DESIGN INC.**  
488 GREAT ROAD ACTON, MA 01720  
PHONE: 978-337-8378  
EMAIL: DAN.MELE@INTEGRITYBUILDING.COM



2015 IRC PRESCRIPTIVE INSULATION AND FENESTRATION REQUIREMENTS

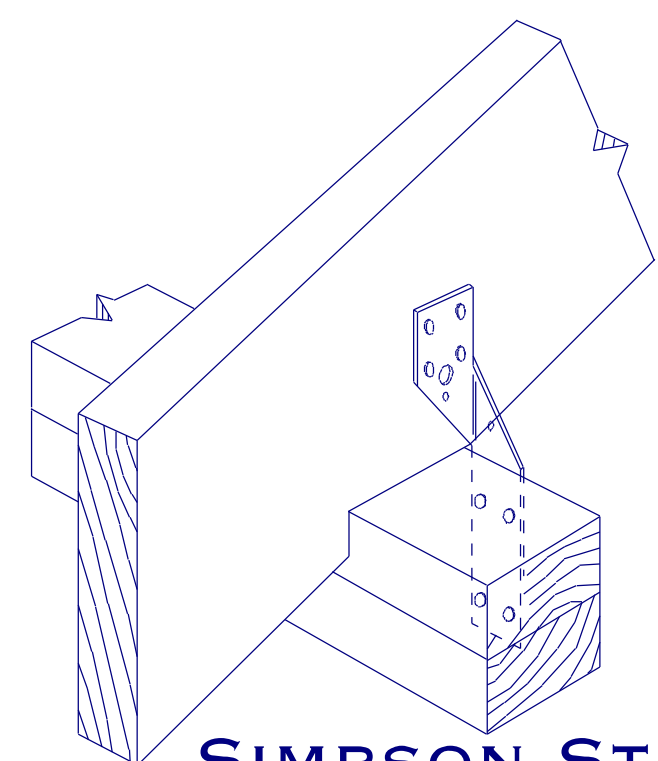
FOR CLIMATE ZONE 5

R-49 IN CEILING, R-30 IN FLOOR SYSTEM AND R-20 IN WALLS

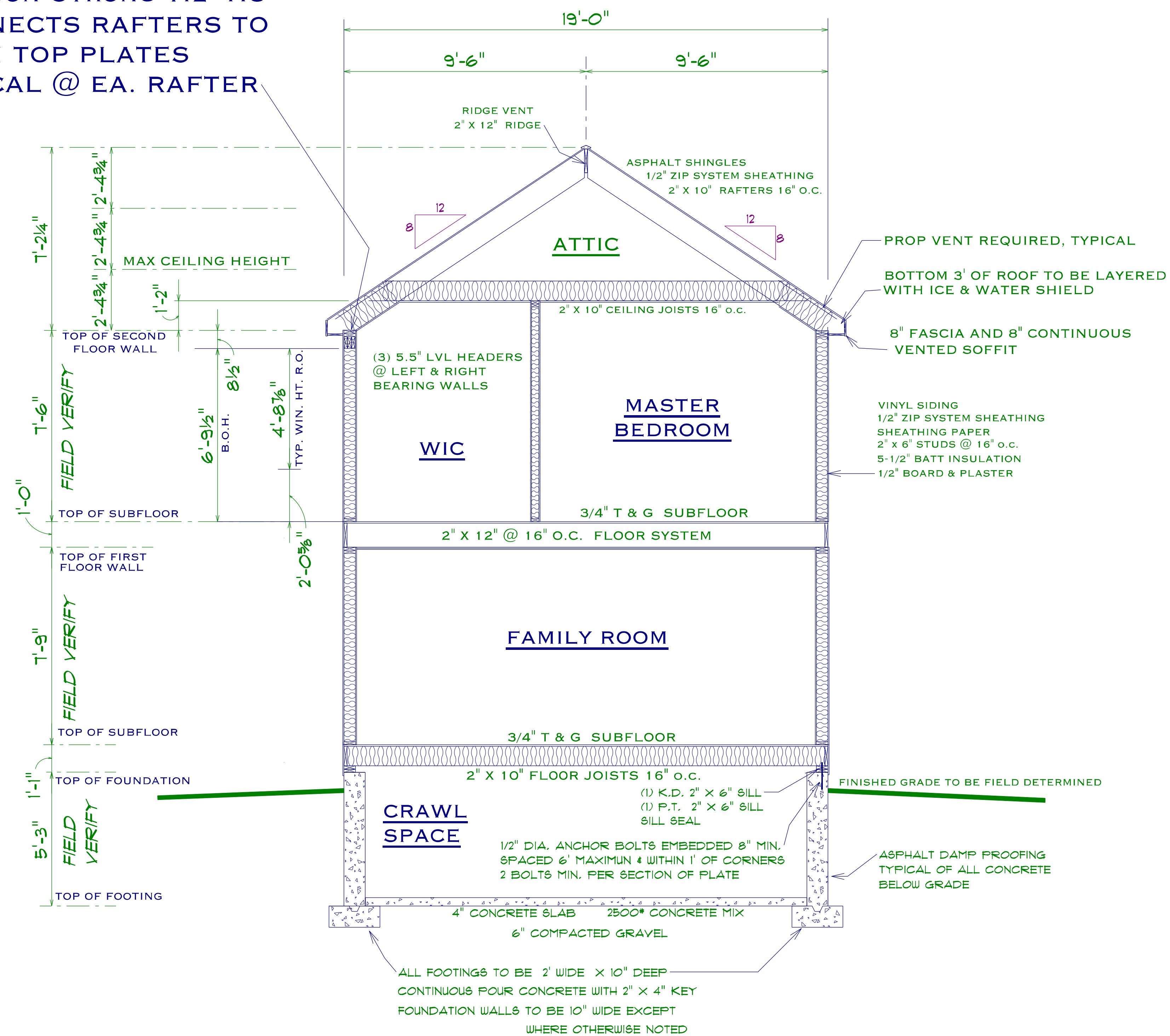
NEW WINDOW AND DOOR UNITS TO HAVE U-FACTORS LESS THAN OR EQUAL TO .3

SKYLIGHTS LESS THAN OR EQUAL TO .55 U-FACTOR

FROM IRC TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT  
\* THE .30 U-FACTOR REQUIREMENT IS SPECIFIC IN THE MA. AMENDMENTS



SIMPSON STRONG-TIE H8  
CONNECTS RAFTERS TO  
BOTH TOP PLATES  
TYPICAL @ EA. RAFTER



FAMILY ROOM CROSS SECTION

SCALE: 3/8" = 1'-0"

## TOWN OF HARVARD ZONING BOARD OF APPEALS APPLICATION FOR A HEARING

Please review the Board of Appeals' Regulations, Chapter 135, The Code of the Town of Harvard, prior to filling out this Application for Hearing. This application, along with the appropriate documents and filing fee, must be filed in the office of the Town Clerk.

Name of Applicant: Steven M and Kestrel H Scherr

Mailing Address: 104 Still River Rd, Harvard, MA 01451

Telephone Number: 845-797-2679 Email Address: stevenscherr@gmail.com

Applicant is (check one):  Owner  Tenant  Licensee  Prospective Buyer

Location of Property: 104 Still River Rd., Harvard Assessors Map 16 Parcel: 26

Registry of Deeds: Book Number 64289 Page Number 381 Certificate Number \_\_\_\_\_

Owner's Name: Same Tel. No.: 978-772-1590

(If different than Applicant)

Owner's Address: Same

Representative: Goldsmith, Prest & Ringwall, Inc. Tel. No.: \_\_\_\_\_

Application (which includes required plans and abutters list) is for:

- |   |                                 |
|---|---------------------------------|
| <input type="checkbox"/> Variance (16 copies)                                 | Fee: \$150.00 + \$6.00/ abutter |
| <input checked="" type="checkbox"/> Special Permit (16 copies)                | Fee: \$200.00 + \$6.00/abutter  |
| <input type="checkbox"/> Modification/Extension (16 copies)                   | Fee: \$100.00 + \$6.00/abutter  |
| <input type="checkbox"/> Failure to Enforce Administrative Appeal (16 copies) | Fee: \$130.00                   |
| <input type="checkbox"/> Other Administrative Appeals (16 copies)             | Fee: \$175.00                   |
| <input type="checkbox"/> Comprehensive Permit (20 copies)                     | Fee: 500.00/unit                |


Specific Bylaw section (s) being applied for: Section 125-3(2) & 125-46

Nature of Application and Justification of Request: See attached Nature & Justification

The undersigned certifies that he/she has read and examined this application and the Harvard Zoning Board of Appeals Rules and Regulations, Chapter 135 of the Code of the Town of Harvard, and that the proposed project is accurately represented in the statements made in the application.

The applicant will be required to pay a local newspaper of general circulation for the current cost of advertising the hearing. The applicant will be billed directly from the newspaper for the cost of the advertised hearing or all advertising must be paid for in full prior to submittal to the newspaper.

I hereby request a hearing before the Board of Appeals with reference to the above application.

 11/29/2023  
Property Owner's Signature (REQUIRED) Date

 11/29/2023  
Property Owner's Signature (REQUIRED) Date

\_\_\_\_\_  
Applicant's Signature (if different from owner) Date







November 30, 2023

Harvard Zoning Board of Appeals  
13 Ayer Road  
Harvard, MA 01451

RE: Special Permit Request Nature & Justification  
Steven M & Kestrel H Scherr  
104 Still River Road  
Harvard, MA

Dear Board Members:

On behalf of the proponent, Steven & Kestrel Scherr, and in accordance with Sections 125-46 and 125-3B and specifically subsection 125-3B(2) of the Harvard Zoning Bylaws, GPR submits herewith an application for a special permit to alter and enlarge a lawful, non-conforming existing structure. Pursuant to the zoning enclosed are the application and supporting documentation.

The subject property contains 6.07± acres near the corner of Still River Road and Madigan Lane as shown on the attached Building Permit Plan and Harvard Assessor Map 16 parcel 26. The property is zoned AR and is serviced by a private well and septic system. According to Harvard Assessor records the house was built in 1940, before the adoption of the Harvard Protective Bylaw and therefore a lawful non-conforming house and lot pursuant to Section 125-3A.

The proponents desire to construct an addition at greater setbacks than the existing structure, yet still within the current front yard setback. Such an addition would have been permitted at the time of the non-conformity. The existing structure is 79 feet from the centerline of Still River Road and 19.6 feet from the east (right) side lot line. The proposed addition will be 85 feet at its closet point from the centerline of Still River Road.

The existing house and outbuilding have a gross floor area of 2,048 SF. The proposed addition will have a gross floor area of 1,307.5 SF. Said addition is larger than 20% of the existing structures prior to becoming a non-conforming structure. Said addition is less non-conforming than the existing, therefore would have been permitted prior to becoming non-conforming. It is our opinion the completed structure will not be substantially more detrimental to the neighborhood than the existing non-conformity. We have attached a summary of the existing and proposed structure as well as the "floor area ratio" pursuant to Section 125-30(B).

---

**Goldsmith, Prest & Ringwall, Inc.**

The proposed addition at 104 Still River Road will not result in a substantial increase of volume or rate of surface water runoff to neighboring properties and street and will not result in substantial danger of pollution or contamination of the groundwater supply, a groundwater absorption area, a well, pond, stream, water course, W-district, or inland wetland. If approved this project will be in harmony with the general purpose and intent of the Bylaw and the purposes as outlined in Section 125-1.

On behalf of the proponents, Steven & Kestrel Scherr, GPR respectfully request the ZBA schedule a hearing for the review of the special permit request at your January 2024 meeting. Should the Board require additional copies or documentation please contact our office.

Sincerely,

A handwritten signature in blue ink, appearing to read "B. D. Ringwall" with a stylized flourish at the end.

Bruce D. Ringwall, Pres.

Copy to:       Rose Miranda, Town Clerk  
                  Steven & Kestrel Scherr  
                  GPR file 231029

**Special Permit Request §125-3B(2)**  
**Steven & Kestrel Scherr**  
**104 Still River Road**  
**Harvard, MA**

Square Footages (Gross Floor Area)

Existing House

Basement	844 SF
First Floor	844 SF
Second Floor	360 SF
Total Existing House	2,048 SF

Existing Guest Cottage

First Floor	450 SF
Total Guest Cottage	450 SF

Existing House & Guest Cottage 2,498 SF

Proposed Addition

Basement	477.5 SF
First Floor	520 SF
Second Floor	310 SF
Total Addition	1,307.5 SF

Total Existing House and Addition 3,355 SF

Total Existing House, Addition and Guest House 3,805.5 SF

Section 125-30B: Floor area ratio shall not be greater than 10% of the lot area or 8,000 SF whichever is larger.

$$264,409 \pm \text{ SF} \times 10\% = 26,440 \text{ SF}$$
$$26,440 \text{ SF} > 8,000 \text{ SF}$$

$$3,805.5 \text{ SF} < 26,440 \text{ SF}$$





November 30, 2023

**Subject: 104 Still River Road  
Harvard, Ma 01451  
Map 16 Parcel 26**

To Whom It May Concern:

I hereby authorize Goldsmith, Prest & Ringwall, Inc., 39 Main Street, Suite 301, Ayer, MA, 978.772.1590, to act as my agent in administrative and civil engineering matters pertaining to the proposed residential addition at the subject site. This authorization covers the execution of application forms, presentation of plans and designs, and communication with involved parties.

Respectfully,



Steven M Scherr  
104 Still River Road  
Harvard, Ma 01451

Copy: Goldsmith, Prest & Ringwall, Inc.  
File 231029



# Worcester South District Registry of Deeds Electronically Recorded Document

This is the first page of the document – Do not remove

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## Recording Information

Document Number : 10061  
Document Type : DEED  
Recorded Date : January 22, 2021  
Recorded Time : 11:36:08 AM  
  
Recorded Book and Page : 64289 / 381  
Number of Pages(including cover sheet) : 4  
Receipt Number : 1303049  
Recording Fee (including excise) : \$2,799.80

\*\*\*\*\*  
MASSACHUSETTS EXCISE TAX  
Worcester District ROD #20 001  
Date: 01/22/2021 11:36 AM  
Ctrl# 219444 07382 Doc# 00010061  
Fee: \$2,644.80 Cons: \$580,000.00  
\*\*\*\*\*

Worcester South District Registry of Deeds  
Kathryn A. Toomey, Register  
90 Front St  
Worcester, MA 01608  
(508) 798-7717

3

QUITCLAIM DEED

We, BRUCE H. GALLAGHER AND JOYCE GALLAGHER (formerly known as Joyce Vassallo) husband and wife, of Harvard, Massachusetts

for consideration paid of Five Hundred Eighty Thousand and 00/100 (\$580,000.00) Dollars

grant to STEVEN M. SCHERR AND KESTREL H. SCHERR, husband and wife, as tenants by the entirety now of 104 Still River Road, Harvard, Massachusetts

*with quitclaim covenants*

The land in said Harvard, with the buildings thereon, situated about one mile west of the Center of Harvard, and bounded and described as follows:

BEGINNING on the road leading from Harvard to Lancaster at an iron pin set in the ground at the west side of the drive leading to the house, which point is approximately three hundred seven (307) feet, more or less, westerly from the corner of the stone wall near the intersection of the road formerly known as the Old Still River Road and now called Madigan Lane, with the Still River Road, and known as Route 110.

THENCE northerly ninety (90) feet, more or less, to an iron pin.

THENCE turning and running in a westerly direction on thirty-six (36) feet, more or less, to an iron pin;

THENCE turning and running northerly, one hundred seven (107) feet, more or less, to an iron pin by the side of Madigan Lane;

THENCE by the stone wall and the side of Madigan Lane in a general northwesterly direction to land now or formerly of one Madigan;

THENCE by said Madigan's land in a southerly direction and following said stone wall to a corner;

THENCE turning and running in a westerly direction across the brook and by said stone wall in a westerly and northwesterly direction and by land now or formerly of said Madigan to a corner;

104 Still River Road, Harvard, Massachusetts

THENCE turning and running by said wall in a southwesterly direction by said wall to the said Still River Road and known as Route 110, to the northerly side thereof;

THENCE by said northerly side of Still River Road in a general easterly direction by the curve of the road to the place of beginning.

Being the same premises conveyed to Walter R. Smith and Katharine T. Smith, husband and wife, as tenants by the entirety by deed of Henry E. Tufts, dated July 5, 1940, recorded with Worcester District Deeds, Book 2789, Page 170, with the exception of the portion thereof conveyed by said Walter R. Smith and Katharine T. Smith to the Town of Harvard by deed dated July 2, 1974, recorded with Worcester District Deeds, Book 5531, Page 84, which exception is further shown as Lot 1 on a plan entitled "Land in Harvard, Massachusetts, surveyed for Harvard Conservation Commission" by Charles A. Perkins, Co. Inc., recorded with Worcester District Deeds, Plan Book 399, Plan 39.

The premises are conveyed to the benefit of the right to use the adjoining driveway and subject to the exceptions and reservations relating to the spring and maintenance of a pipe line for the purposes of taking water therefrom as set forth in the above-mentioned deed in so far as the same are now in force and applicable.

The premises have the benefit of an easement for the maintenance of a sanitary disposal system on the property belonging to another as contained in a grant of easement dated November 4, 1983, recorded in Worcester District Deeds, Book 7995, Page 98.

For grantors' title see deed dated March 1, 2004 from Angela S. Gewecke to the grantors and recorded with the Worcester District Registry of Deeds in Book 32960, Page 121.

The buildings and improvements presently existing and hereafter constructed on the property situated at 104 Still River Road, Harvard, Worcester County, Massachusetts, shall not use the outbuilding for habitation and the property will be used for single family use only per the Harvard Board of Health regulations, until such time as approval is obtained from the said Harvard Board of Health for expansion of the septic system capacity in order to meet the design flow requirements under Title 5 (310 CMR 15.290 et seq) for additional uses. See Deed Restriction dated November 4, 2019 recorded with the Worcester District Deeds in Book 61365, Page 43.

We, Bruce H. Gallagher and Joyce Gallagher, hereby release our Rights of Homestead with respect to the above-mentioned real estate, if any, as set forth in M.G.L Chapter 188 and state under the pains and penalties of perjury that there are no other persons entitled to any homestead rights other than those executing this deed.



Witness our hands and seals this Jan 6, 2021.

*B. H. Gallagher*

Bruce H. Gallagher

*Joyce Gallagher*

Joyce Gallagher, formerly known as  
Joyce Vassallo

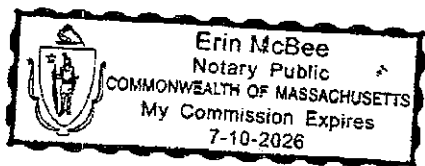
COMMONWEALTH OF MASSACHUSETTS

Worcester, ss.

On this 10<sup>th</sup> day of January, 2021, before me, the undersigned notary public, personally appeared Bruce H. Gallagher and Joyce Gallagher (formerly known as Joyce Vassallo) proved to me through satisfactory evidence of identification, which were Massachusetts driver's licenses, to be the persons whose names are signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.

*Erin McBee*

Notary Public: Erin McBee  
My Commission Expires: July 10, 2026



CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT	
SCHERR, STEVEN M. & KESTREL H.		2 Rolling	5 Well 6 Septic	3 Med Traffic 6 Paved 1 Two Way	3 Rural	Description RESIDNTL RES LAND RES OB	Assessed 212,400 315,400 4,600
104 STILL RIVER RD		SUPPLEMENTAL DATA		Assoc Pid#		Assessed 532,400	
HARVARD MA 01451		1250160002600000		M_191484_916591		Total 532,400	

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	VI	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)	
SCHERR, STEVEN M. & KESTREL H.	64289	381	01-22-2021	Q	I	580,000	00	Year	Code
GALLAGHER, BRUCE H & VASSALLO, JOYC	32960	0121	03-02-2004	Q	I	450,500	00	2022	1090
GEWECKE, ANGELA S	19048	0213	08-01-1997	U	I	248,000	00	167,100	1090
APTHORPE, ROBERT E II & ROSEMARY SMITH, WALTER R	7817	0249	07-01-1983	U	I	0	0	323,400	1090
	2789	0170	08-06-1940	U	I	0	0	4,400	1090
Total		0.00						Total	494,900
Total		0.00						Total	473,900

EXEMPTIONS		OTHER ASSESSMENTS	
Year	Code	Description	Amount

ASSESSING NEIGHBORHOOD		NOTES	
Nbhd	Nbhd Name	Tracing	Batch
1			

BUILDING PERMIT RECORD		VISIT / CHANGE HISTORY	
Permit Id	Issue Date	Type	Description
B-20-314	11-24-2020	RP	Repair
B-20-147	08-26-2020	PH	PORCH
16-218	10-17-2016	DK	DECK
04-224	12-20-2004	DE	Demolish
04-202	11-22-2004	DE	Demolish
04-027	03-15-2004	RM	Renovations

LAND LINE VALUATION SECTION		BUILDING PERMIT RECORD		VISIT / CHANGE HISTORY	
Permit Id	Issue Date	Type	Description	Date	Purpose/Result
B-20-314	11-24-2020	RP	Repair	06-20-2018	Maintenance/Buid Permt
B-20-147	08-26-2020	PH	PORCH	12-06-2016	Cyclical Insp
16-218	10-17-2016	DK	DECK	06-27-2011	Maintenance/Buid Permt
04-224	12-20-2004	DE	Demolish	05-20-2010	Maintenance/Buid Permt
04-202	11-22-2004	DE	Demolish	07-09-2009	Maintenance/Buid Permt
04-027	03-15-2004	RM	Renovations	07-26-2007	Maintenance/Buid Permt
				07-11-2006	Maintenance/Buid Permt

ASSESSING NEIGHBORHOOD		NOTES	
Nbhd	Nbhd Name	Tracing	Batch
1			

APPRaised VALUE SUMMARY	
Appraised Bldg. Value (Card)	212,400
Appraised Xf (B) Value (Bldg)	0
Appraised Ob (B) Value (Bldg)	4,600
Appraised Land Value (Bldg)	315,400
Special Land Value	0
Total Appraised Parcel Value	532,400

As of January 1, 2022

PLAN B399 P39 LOT 1

EXT=MULTI-HS

PERMIT FOR HOUSE TO BE TORN DOWN- 2 HOUS

ES STILL ON PROPERTY

6/20/2018 NO SIGN OF DECK.

VISION

HARVARD, MA

125

TOTAL CARD LAND UNITS		PARCEL TOTAL LAND AREA		TOTAL LAND VALUE	
5.92	AC	5.92	AC	315,400	315,400



CONSTRUCTION DETAIL		CONSTRUCTION DETAIL (CONTINUED)								
Element	Cd	Description	Element							
Style:	06	Conventional								
Model	01	Residential								
Grade:	03	Average								
Stories:	1.5	1.5 Stories								
Occupancy	1	Wood Shingle								
Exterior Wall 1	14									
Exterior Wall 2										
Roof Structure:	03	Gable/Hip								
Roof Cover	03	Asph/F Gls/Cmp								
Interior Wall 1	05	Drywall								
Interior Wall 2										
Interior Flr 1	12	Hardwood								
Interior Flr 2										
Heat Fuel	03	Gas								
Heat Type:	08	Radiant-Water								
AC Type:	03	Central								
Total Bedrooms	01	1 Bedroom								
Total Bathrooms	1									
Total Half Baths	1									
Total Xtra Fixtrs	0									
Total Rooms:	5									
Bath Style:	02	Modern								
Kitchen Style:	02	Modern								
# of Kitchens	1									
Fireplaces	1									
<b>CONDO DATA</b>										
Parcel Id	C	Ownr								
Adjust Type	Code	Description	Factor%							
Condo Flr										
Condo Unit										
<b>COST / MARKET VALUATION</b>										
Building Value New			235,466							
Year Built			1940							
Effective Year Built			G							
Depreciation Code			30							
Remodel Rating			1.000							
Year Remodeled			70							
Depreciation %			164,800							
Functional Obsol										
External Obsol										
Trend Factor										
Condition										
Condition %										
Percent Good										
RCNLD										
Dep % Ovr										
Dep Ovr Comment										
Misc Imp Ovr										
Misc Imp Ovr Comment										
Cost to Cure Ovr										
Cost to Cure Ovr Comment										
<b>OB - OUTBUILDING &amp; YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)</b>										
Code	Description	L/B	Units	Unit Price	Yr Bld	Cond.	Cd	% Gld	Grade	Appl. Value
FCP	Carport	L	480	12.00	1984			65	0.00	3,700
SHD1	Shed	L	96	15.00	1984			65	0.00	900
<b>BUILDING SUB-AREA SUMMARY SECTION</b>										
Code	Description	Living Area	Floor Area	Eiff Area	Unit Cost	Undeprec Value				
BAS	First Floor	858	858	858	143.28	122,934				
FAT	Attic, Finished	130	432	130	43.12	18,626				
FUS	Upper Story, Finished	378	378	378	143.28	54,160				
UBM	Basement, Unfinished	0	432	86	28.52	12,322				
WDK	Deck, Wood	0	272	41	21.60	5,874				
Ttl Gross Liv / Lease Area		1,366	2,372	1,493		213,916				



CURRENT OWNER	TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT
SCHERR, STEVEN M. & KESTREL H. 104 STILL RIVER RD	2 Rolling	5 Well 6 Septic	3 Med Traffic 6 Paved 1 Two Way	3 Rural	Code Assessed Year Code Assessed V Year Code Assessed 1090 212,400 2021 1090 146,100 2020 1090 122,100 1090 315,400 2020 1090 323,400 2020 1090 323,400 1090 4,600 2020 1090 4,400 2020 1090 4,400
HARVARD MA 01451	GIS ID M_191484_916591 Assoc Pid#				Total 532,400
<b>SUPPLEMENTAL DATA</b>					
Alt Prcl ID 1250160002600000					
House Col Field Chec					

RECORD OF OWNERSHIP											
BK-VOL/PAGE	SALE DATE	Q/U	VI	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)				Assessed	
64289 381	01-22-2021	Q	I	580,000	00	Year Code Assessed	Year Code Assessed	Year Code Assessed	Year Code Assessed	Year Code Assessed	
32960 0121	03-02-2004	Q	I	450,500	00	2022 1090	2021 1090	2020 1090	2020 1090	2020 1090	
19048 0213	08-01-1997	U	I	248,000	00	1090	1090	1090	1090	1090	
7817 0249	07-01-1983	U	I	0		1090	1090	1090	1090	1090	
2789 0170	08-06-1940	U	I	0		Total 494,900					473,900

EXEMPTIONS				OTHER ASSESSMENTS			
Year	Code	Description	Amount	Code	Description	Number	Amount
			Total 0.00				

ASSESSING NEIGHBORHOOD		NOTES	
Nbhd	Nbhd Name	Tracing	Batch
1			

EXT=MULTI-HS

APPRaised VALUE SUMMARY

Appraised Bldg. Value (Card)	212,400
Appraised Xf (B) Value (Bldg)	0
Appraised Ob (B) Value (Bldg)	4,600
Appraised Land Value (Bldg)	315,400
Special Land Value	0
Total Appraised Parcel Value	532,400

BUILDING PERMIT RECORD					VISIT / CHANGE HISTORY									
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpose/Result

LAND LINE VALUATION SECTION														
B Use Code	Description	Zone	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustment	Adj Unit P	Land Value
2	MULTI-HSES	AR	Primary	0.000	AC	0.00	1.00000	P	1.00	30	1.000	0.0000		0
Total Card Land Units			0.00	AC	Parcel Total Land Area			5.92	Total Land Value		0			

AS of January 1, 2022



CONSTRUCTION DETAIL		CONSTRUCTION DETAIL (CONTINUED)	
Element	Cd	Description	Description
Style: 01	Ranch		
Model: 01	Residential		
Grade: 02	Fair		
Stories: 1	1 Story		
Occupancy: 1	Wood Shingle		
Exterior Wall 1: 14			
Exterior Wall 2: 03	Gable/Hip		
Roof Structure: 03	Asph/F Gls/Cmp		
Roof Cover: 05	Drywall		
Interior Wall 1: 12	Hardwood		
Interior Wall 2: 04	Electric		
Interior Flr 1: 15	Electric Wall		
Interior Flr 2: 01	None		
Heat Fuel: 01	1 Bedroom		
Heat Type: 01	Old Style		
AC Type: 01			
Total Bedrooms: 1			
Total Half Baths: 0			
Total Xtra Fixtrs: 1			
Total Rooms: 2			
Bath Style: 01			
Kitchen Style: 0			
# of Kitchens: 0			
Fireplaces: 0			

2 FOP 4 2

Parcel Id	C	Owne	28
Adjust Type	Code	Description	Factor%
Condo Flr			
Condo Unit			
<b>COST / MARKET VALUATION</b>			
Building Value New			71,080
Year Built			1975
Effective Year Built			F
Depreciation Code			33
Remodel Rating			1.000
Year Remodeled			67
Depreciation %			47.600
Functional Obsol			
External Obsol			
Trend Factor			
Condition			
Condition %			
Percent Good			
RCNLD			
Dep % Ovr			
Dep Ovr Comment			
Misc Imp Ovr			
Misc Imp Ovr Comment			
Cost to Cure Ovr			
Cost to Cure Ovr Comment			

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)		BUILDING SUB-AREA SUMMARY SECTION				
Code	Description	Yr Bld	Cond. Cd	% Gld	Grade	Appl. Value
BAS	First Floor	392				66,764
FOP	Porch, Open, Finished	0				341
Ttl Gross Liv / Lease Area		392	400	394		67,105







## Abutters List Report Town of Harvard, MA

Date: July 15, 2020  
Parcel Number: 016-026-000-000  
Property Address: 104 Still River Rd  
Abutters To: 300 feet

The above Certified Abutters List is a true copy of the records in the Town of Harvard Assessor's office for the last known names and addresses of owners of land located within the above stated range of the subject property.

Signed: \_\_\_\_\_

Date: \_\_\_\_\_

Carol Dearborn  
Assistant Assessor  
(978) 456-4100 x315



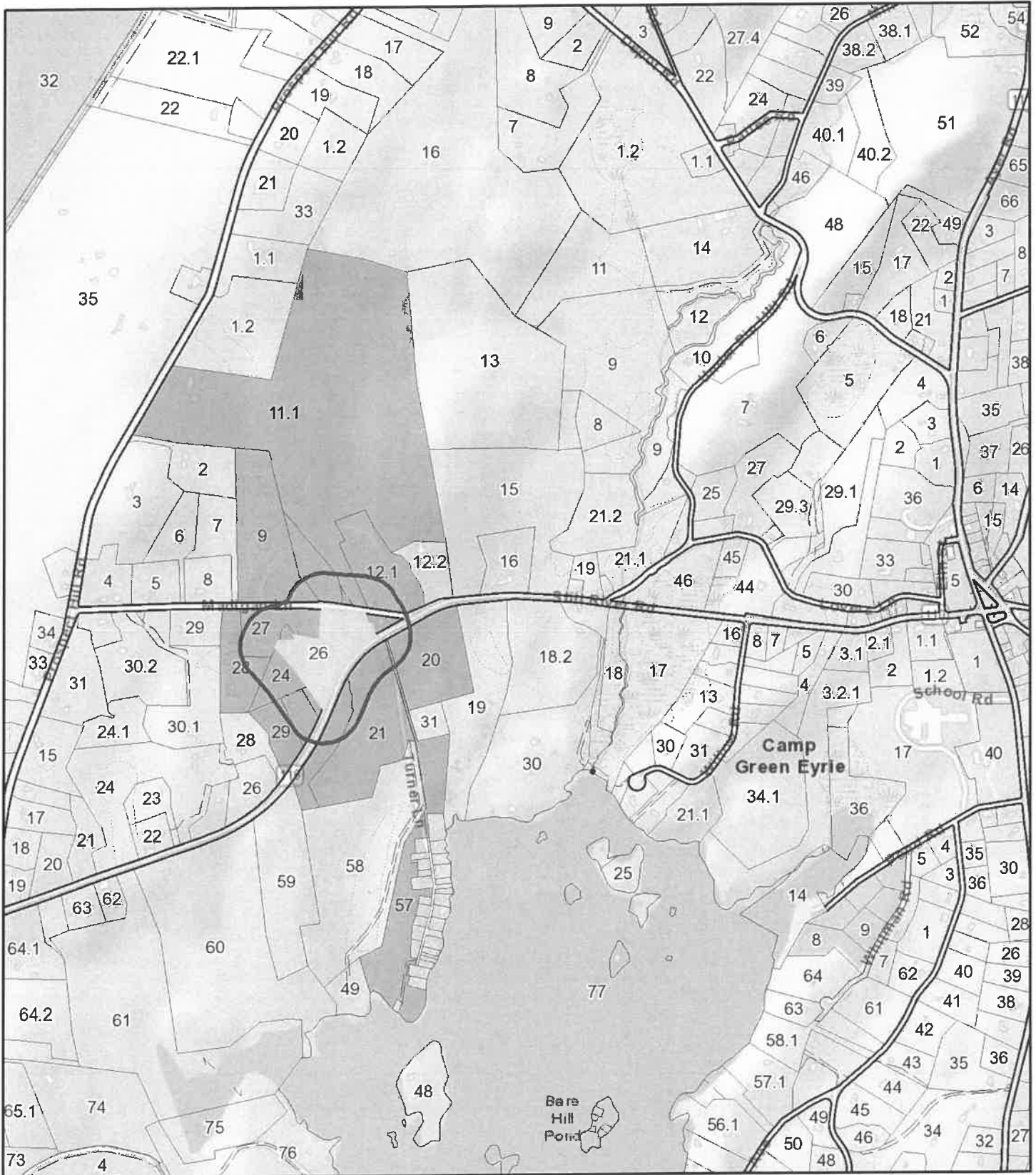
# 104 Still River Rd

Harvard, MA

1 inch = 1111 Feet



July 15, 2020



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



# 300 foot Abutters List Report

Harvard, MA  
July 15, 2020

## Subject Property:

Parcel Number: 016-026-000-000  
CAMA Number: 016-026-000-000  
Property Address: 104 STILL RIVER RD

Mailing Address: GALLAGHER, BRUCE H & VASSALLO,  
JOYCE  
104 STILL RIVER RD  
HARVARD, MA 01451

## Abutters:

Parcel Number: 016-009-000-000  
CAMA Number: 016-009-000-000  
Property Address: 26 MADIGAN LN

Mailing Address: NIGZUS, STEVE & TRIANTARIS,  
GEORGE E  
26 MADIGAN LN  
HARVARD, MA 01451

Parcel Number: 016-010-001-000  
CAMA Number: 016-010-001-000  
Property Address: 10 MADIGAN LN

Mailing Address: CULMONE, FRANK & TREMBLAY, ERICA  
  
10 MADIGAN LN  
HARVARD, MA 01451

Parcel Number: 016-011-001-000  
CAMA Number: 016-011-001-000  
Property Address: 115 PROSPECT HILL RD

Mailing Address: COMMUNITY HARVEST PROJECT, INC.  
37 WHEELER ROAD  
NORTH GRAFTON, MA 01536

Parcel Number: 016-012-001-000  
CAMA Number: 016-012-001-000  
Property Address: 4 MADIGAN LN

Mailing Address: ERDOS, DAVID C & PAMELA A  
4 MADIGAN LN  
HARVARD, MA 01451

Parcel Number: 016-020-000-000  
CAMA Number: 016-020-000-000  
Property Address: 99 STILL RIVER RD

Mailing Address: BARRON, JONATHAN C & CHARLINE L  
99 STILL RIVER RD  
HARVARD, MA 01451

Parcel Number: 016-021-000-000  
CAMA Number: 016-021-000-000  
Property Address: STILL RIVER RD

Mailing Address: HARVARD, TOWN OF, CONSERVATION  
13 AYER RD  
HARVARD, MA 01451

Parcel Number: 016-022-000-000  
CAMA Number: 016-022-000-000  
Property Address: STILL RIVER RD

Mailing Address: HARVARD, TOWN OF, CONSERVATION  
13 AYER RD  
HARVARD, MA 01451

Parcel Number: 016-023-000-000  
CAMA Number: 016-023-000-000  
Property Address: 116 STILL RIVER RD

Mailing Address: POPE, STEPHEN K & COLGAN,  
DEBORAH J  
116 STILL RIVER RD  
HARVARD, MA 01451

Parcel Number: 016-024-000-000  
CAMA Number: 016-024-000-000  
Property Address: 114 STILL RIVER RD

Mailing Address: KEIRAN, WILLIAM, E. JR.  
114 STILL RIVER RD  
HARVARD, MA 01451

Parcel Number: 016-025-000-000  
CAMA Number: 016-025-000-000  
Property Address: 100 STILL RIVER RD

Mailing Address: URSCH, SHARON R  
100 STILL RIVER RD  
HARVARD, MA 01451



www.cai-tech.com

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# 300 foot Abutters List Report

Harvard, MA  
July 15, 2020

Parcel Number: 016-027-000-000  
CAMA Number: 016-027-000-000  
Property Address: MADIGAN LN

Mailing Address: TRIANTARIS, GEORGE & NIGZUS,  
STEVE  
26 MADIGAN LN  
HARVARD, MA 01451

Parcel Number: 016-028-000-000  
CAMA Number: 016-028-000-000  
Property Address: 29 MADIGAN LN

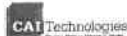
Mailing Address: LIERHAUS, PAUL G  
29 MADIGAN LN  
HARVARD, MA 01451

Parcel Number: 021-029-000-000  
CAMA Number: 021-029-000-000  
Property Address: 120 STILL RIVER RD

Mailing Address: SPARKS, JOHN D & ADRIENNE C  
120 STILL RIVER RD  
HARVARD, MA 01451

Parcel Number: 021-057-000-000  
CAMA Number: 021-057-000-000  
Property Address: TURNER LN

Mailing Address: TURNER, ARTHUR S & ROBERT F  
PO BOX 543  
CARLISLE, MA 01741



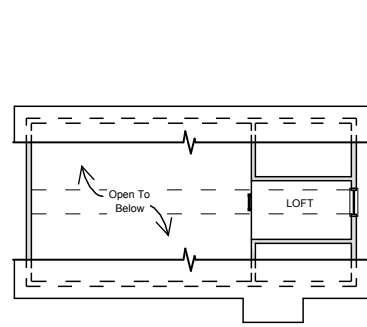
[www.cai-tech.com](http://www.cai-tech.com)

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7/15/2020

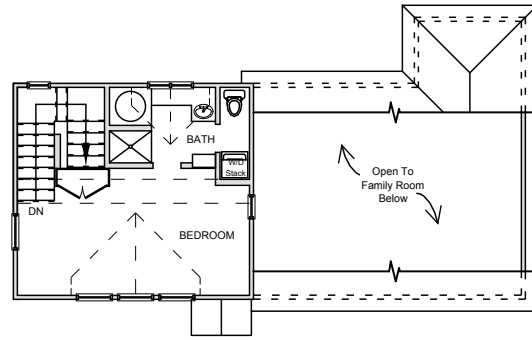
Page 2 of 2





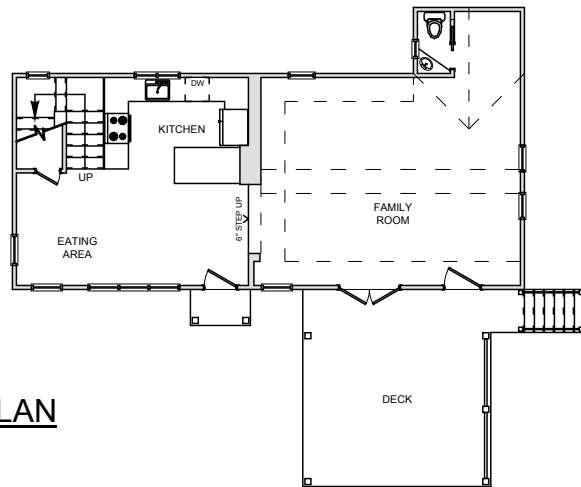
**EXISTING 2ND FLOOR PLAN**

Scale: 1/16"=1'-0"



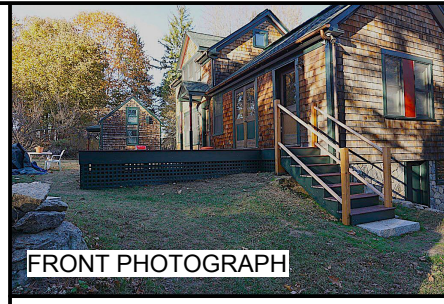
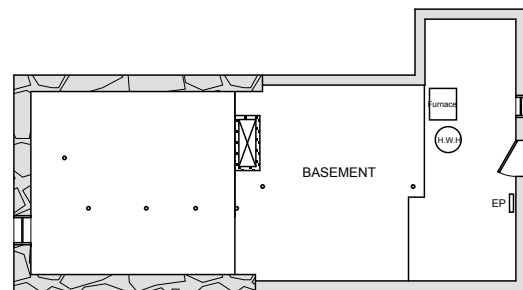
**EXISTING 1ST FLOOR PLAN**

Scale: 1/16"=1'-0"



**EXISTING BASEMENT PLAN**

Scale: 1/16"=1'-0"



FRONT PHOTOGRAPH

**REFERENCE**

- EXIST'G WALLS TO REMAIN
- NEW WALLS
- WALLS TO BE REMOVED
- AREA OF NO WORK
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- COMBO SMOKE & CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- EXHAUST FAN

**ABBREVIATIONS**

AAB- Architectural Access Board	ADA - Americans with Disabilities Act
A.F.F. - Above Finished Floor	ASTM - American Society for Testing & Materials
Bot. - Bottom	CL - Center Line
CMR - Code of Massachusetts Regulations	Col. - Column
d - penny	Dia.(Ø) - Diameter
DN - Down	DW - Dishwasher
Eq. - Equal	E.W. - Each Way
F.D. - Floor Drain	ft. - Feet
Gyp. bd. - Gypsum Board	HSS - Hollow Structural Steel
Horz. - Horizontal	in. - Inches
lb. - Pounds	Max. - Maximum
Mil - One thousandth of an inch	Min. - Minimum
Misc. - Miscellaneous	N.I.C. - Not In Contract
N.T.S. - Not To Scale	O.C. - On Center
O.S.H.A. - Occupational Safety & Health Administration	P.T. - Pressure Treated
psi - Pounds per Square Inch	psf - Pounds per Square Foot
R - Thermal Resistance Value	Req. - Required
R.O. - Rough Opening	S.D. - Storm Drain
S-P-F - Spruce, Pine, Furr	sq.ft. - Square Foot
S.S. - Stainless Steel	T&G - Tongue and Groove
T.O.W. - Top of Wall	T.O.P. - Top of Plate
Typ. - Typical	U.L. - Underwriters Laboratories
U.O.N. - Unless Otherwise Noted	Vert. - Vertical
w/ - with	WC - Water Closet
W/D - Washer and Dryer	W.W.M. - Welded Wire Mesh

\* Consult Architect if there are any Abbreviations or Acronyms that are unclear.

**SMOKE, HEAT & CO2 DETECTORS:**

- Any smoke, heat & carbon monoxide detection system with 12 or less units shall be hardwired & interconnected with battery backup.
- Any smoke, heat & carbon monoxide detection system with more than 13 units shall be a interconnected low-voltage system with battery backup.
- Smoke alarms must be photoelectric and are required as follows:
  - One smoke alarm on every habitable level of the residence.
  - One smoke alarm at the base of each stairway.
  - One smoke alarm outside of each separate sleeping area.
  - One smoke alarm inside every sleeping area.
  - A minimum of one smoke alarm must be installed for every 1,000 square feet of living space per level.
- Carbon monoxide alarms are required as follows:
  - On every level of the residence, including basements and habitable portions of attics.
  - Must be located within 10 feet of each bedroom door.
  - Location shall be within 10 feet of all fossil fuel burning equipment (gas water heaters, oil or gas furnaces, wood or gas fireplaces, wood pellet stoves, gas clothes dryers, or gas cooking stoves).
- Combination Smoke/CO alarms permitted when listed accordingly with NFPA 270.
- Heat Alarms shall be located in each bay of garages, and other areas where there are normally high levels of fumes, smoke or dust. Install heat alarms as close to the center of the ceiling as possible. If this is not practical, mount no closer than 4 inches from a wall or corner.

**ENERGY EFFICIENCY NOTES (Residential) IECC 2015 w/ Massachusetts Amendments:**

- All pertinent construction components shall comply with the latest energy efficiency requirements, specifically-Projects smaller than 10,000sq.ft.: 780 CMR,
    - Glass Doors: 0.92
    - Overhead Doors: 1.45
    - Doors (< 50% Glazing): 0.25
    - Entrance Doors: 0.80
  - All Windows shall conform to a minimum U-Values: 0.30
  - All Insulation shall conform to the following minimum R-Value:
    - Basement Walls: 2" Rigid + 3 1/2" Unfaced Batt (R 25)
    - All Floor/Ceiling Systems: 9 1/2" Unfaced Batt (R 30)
    - All Exterior Walls: 6" Unfaced Batt (R 21)
    - All Interior Partitions: 3 1/2" Unfaced Batt (R 15)
    - All Unfinished Attic Floors: 2-12" Unfaced Batt (R 72)
  - All Sprinkler systems in Residential buildings shall be completely insulated, with no sprinkler components outside the building fenestration.
  - The Contractor is solely responsible for coordinating all required insulation inspections and testing.
  - All Residential Units shall have a minimum Air Leakage Rate (ALR) of 50 Pascals (Pa). Tests shall be performed only after all Mechanical, Electrical, Plumbing, and Fire Protection roughs are signed off, and the following is in place during testing:
    - All exterior Doors are closed.
    - All exterior Windows are closed.
    - All flues and dampers are closed.
    - All interior doors shall be open.
- \* If the Residential Units are Insulated during the time of testing, then all Heating and Cooling systems shall be turned off, and all supply and return registers shall be fully open.
- All Residential projects shall conform to the following Home Energy Rating System (HERS) Performance rating; New Homes larger than 3,000sq.ft.: 55 HERS

**PEST PROOFING NOTES:**

- All Mechanical, Electrical, Plumbing, and Fire Protection systems shall be Protected against interruption of service through damage caused by rodents, insects, or any other pests, by installing solid sheet metal collars at least 0.024 inch thick at the top of each pier or pile and around each pipe, cable, conduit, wire or other item which provides a continuous pathway from the ground to the floor; or by encasing the pipes, cables, conduits or wires in an enclosure constructed in accordance w/ 780CMR Section F101.6.1.1.
- Exterior openings into the attic space shall be protected to prevent the entry of birds, squirrels, rodents, snakes & other similar creatures. Openings for ventilation having a least dimension of 1/16" minimum and 1/4" max. shall be permitted. Openings for ventilation having a least dimension larger than 1/4" shall be provided with corrosion-resistant wire cloth screening, hardware cloth, perforated vinyl or similar material with openings having a least dimension of 1/16" min. and 1/4" max. Where combustion air is obtained from an attic area, it shall be in accordance with Chapter 7 of the International Mechanical Code.
- Foundation wall ventilator openings shall be covered for their height and width with perforated sheet metal plates no less than 0.070 inch thick, expanded sheet metal plates no less than 0.047 inch thick, cast iron grills or grating, extruded aluminum load-bearing vents or with hardware cloth of 0.035 inch wire or heavier. The openings therein shall not exceed 1/4".
- Annular spaces around pipes, electric cables, conduits, or other openings in the walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or non-corrosive metal
- Doors on which metal protection has been applied shall be hinged so as to be free swinging. When closed, the max. clearance between any door, door jambs and sills shall not be greater than 3/8".

**ALLOWANCES:**

All items customary with completing this project, but that are not specified on these construction documents shall be treated as allowances unless otherwise agreed upon. The contractor shall place a reasonable time and material value on the installation of the following items:

- |                            |                                    |
|----------------------------|------------------------------------|
| 1. Finish Flooring:        | 2. Light Fixtures:                 |
| 3. Plumbing Fixtures:      | 4. Alarm System & Door Bell:       |
| 5. Cable & Phone Systems:  | 6. Interior Built-Ins & Mouldings: |
| 7. Cabinets & Countertops: | 8. Appliances:                     |
| 9. Paint & Wallpaper:      | 10. Other (specify):               |

**GENERAL NOTES:**

- Do Not scale drawings. Recheck measurements and dimensions before starting installation. Contractor shall notify the Architect in writing of discrepancies found on the drawings or in the specifications.
- Electrical, Mechanical, Plumbing and Fire Protection layouts are to be provided by the Contractor responsible for the work. All work to be done in accordance with the most current State Building Code and all other applicable Codes.
- The Architect shall only perform Construction Control as defined by the State Building Code. The Architect shall Not have control over, be in charge of, nor be responsible for; construction means, methods, techniques, sequences, procedures, safety precautions and programs in connection with the Work, since these are solely the Contractors responsibility. The Architect shall not have control over or be in charge of the acts or omissions of the Contractor, Sub-contractors, or their agents, employees, or of any other persons performing portions of the Work.
- All work performed under and in connection with these Contract Documents shall be in strict compliance with the latest O.S.H.A. safety and health standards.
- Building and construction terminology in these documents may vary in definition from other industries and uses. Refer to the current Building Code Definition Sections, first, and if still unclear, consult with the Architect.
- Inspect material immediately upon delivery and again prior to installation. Reject damaged and defective items. During handling and installation, clean and protect construction in progress and adjoining materials in place. Apply protective coatings where required to ensure protection from damage or deterioration at substantial completion. Clean and maintain completed construction as often as necessary through the construction period. Adjust and lubricate operable components to ensure operability without damaging effects. Supervise operations to ensure that no part of the construction completed or in progress is subject to harmful or deleterious exposure. The Installer of each component shall inspect the substrate and conditions under which work is performed. Do not proceed until unsatisfactory conditions have been corrected. Install each component during weather conditions and project status that will ensure the best results. Isolate each part from incompatible material as necessary to prevent deterioration. Coordinate temporary enclosures with inspections and tests to minimize uncovering completed construction for that purpose.
- Comply with Manufacturers instructions and recommendations; to the extent that they are more stringent than the requirements in the Contract Documents.
- Visual Effects: Provide for uniform joint widths in exposed work. Arrange joints to obtain the best effect.
- Provide attachment and connection devices and methods necessary for securing each construction element. Secure each construction element true to line and level. Allow for expansion and building movement.
- Mounting Heights: Where mounting heights are not indicated, install components at standard heights for the application indicated.
- Reproduction of these construction documents without the written consent of the Architect is strictly prohibited. The Architect shall be compensated for the use of these construction documents for the purpose of generating any other documents including, but not limited to, shop drawings, engineering drawings and reality advertisements.
- The Contractor shall confirm with the Owner in writing, prior to construction, all building component options including; colors, shapes, models, styles, textures, and any other options that effect appearance or performance. A copy of such written conformation shall be provided to the Architect.
- Maintain the existing building in a weather tight condition throughout construction. Repair all damage caused by construction operations. Take Precautions Necessary to protect the Building, the Occupants, and the Occupant's belongings during the construction.
- Reuse existing building components (doors, windows, fixtures, etc.) where practical and cost-efficient. Consult with owner about all components to be reused.
- It is the intent of these plans to match existing components, unless otherwise noted, wherever possible and practical.
- All demolished materials, except as otherwise noted, shall be removed from the site in accordance with all applicable laws.

Project No.:

**22107A**

Date: **July 31, 2023**

Drawn By: **JG**

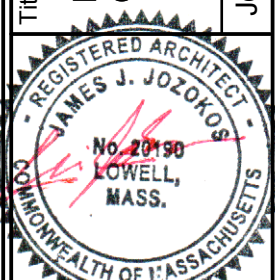
Checked By: **JJ**

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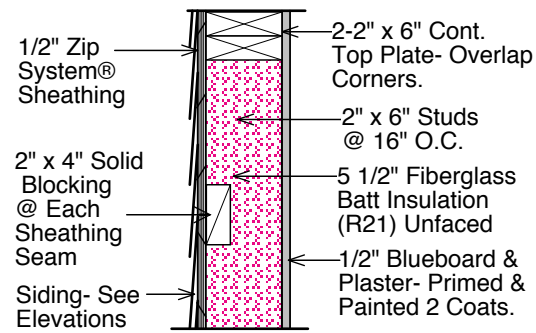
Project: **ADDITION AND RENOVATIONS to the SCHERR RESIDENCE 104 STILL RIVER ROAD HARVARD, MASSACHUSETTS**

Title: **EXISTING PLANS GENERAL NOTES**

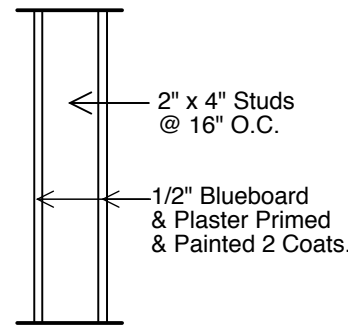


Sheet: **1** / **7**

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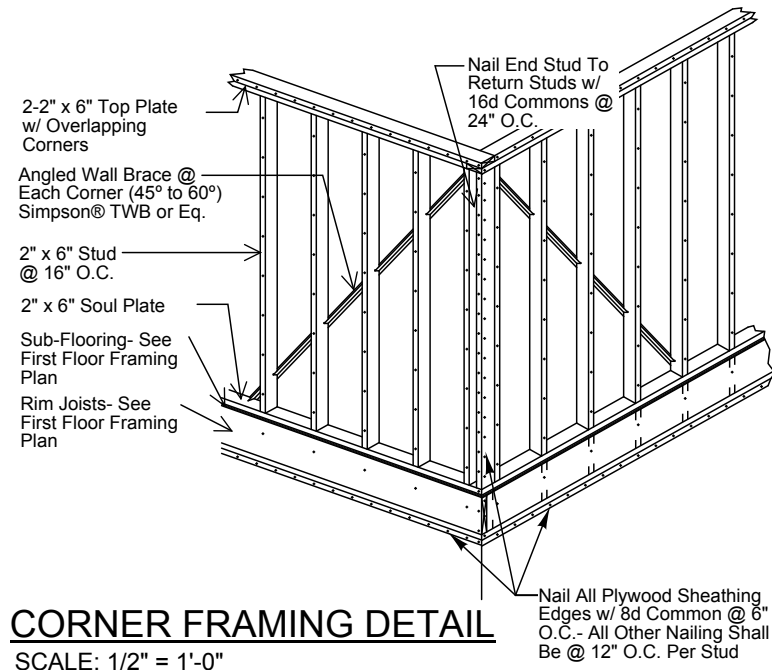


TYP. EXTERIOR WALL



TYP. INTERIOR WALL

**BRACED WALL LINES:**  
 1. There shall be interior braced walls lines in each direction as indicated on the plans. These walls shall be a min. 2" x 4" studs @ 16" O.C. having a min. of 1/2" gypsum wall board on each side with 1 3/8" type S or W screws @ 16" O.C.  
 2. The first 5'-0" of each end of the Braced Wall Line shall be solid.  
 3. Interior Braced Wall Chart (Max. 25' O.C. Each Way):  
 Cripple: 75% of line is braced wall  
 1st floor: 60% of line is braced wall



**CORNER FRAMING DETAIL**

SCALE: 1/2" = 1'-0"

**WINDOWS:**

- All windows shall be Andersen® 400 Series Woodwright Windows or Approved Eq.
- All habitable rooms shall have an aggregate glazing area of not less than 8% of the floor area of such rooms. The glazed areas need not be installed in rooms where artificial light is provided capable of producing an average illumination of 6 footcandles over the area of the room at a height of 30" above the floor level.
- The min. operable area to the outdoors shall be 4% of the floor area being ventilated. The glazed areas need not be installed where the opening is not req'd & an approved mechanical ventilation system capable of producing 0.35 air change/hr in the room is installed or a whole-house mech. ventilation system is installed capable of supplying outdoor ventilation air of 15cfm per occupant computed on the basis of two occupants for the first bedroom & 1 occupant for each additional bedroom.
- To determine light & ventilation requirements, any room shall be considered as a portion of an adjoining room when at least one-half of the area of the common wall is open & unobstructed & provides an opening of not less than one-tenth of the floor area of the interior room but not less than 25sq.ft.
- Bathrooms, water closet compartments & other similar rooms shall be provided w/ aggregate glazing area in windows of not less than 3sq.ft., 1/2 of which must be operable. Mechanical ventilation is req'd for bathrooms w/ a shower or bathtub. The glazed areas shall not be req'd where artificial light and a mechanical ventilation system are provided. The min. ventilation rates shall be 50cfm for intermittent ventilation or 20cfm for continuous ventilation. Ventilation air from the space shall be exhausted directly to the outside.
- Req'd glazed openings shall open directly onto a yard. Req'd glazed openings may face into a roofed porch where the porch abuts a yard & the longer side of the porch is at least 65% unobstructed & the ceiling height is not less than 7'. Eave projections shall not be considered as obstructing the clear open space of a yard or court. Required glazed openings may face into the area under a deck, balcony, bay or floor cantilever provided a clear vertical space at least 36" in height is provided.
- All emergency escape windows from sleeping rooms shall have a net clear opening of 3.3sq.ft. The min. net clear opening shall be 20" x 24" in either direction except that windows in sleeping rooms of existing dwellings which do not conform to these requirements may be replaced without conforming to these dimensional requirements, provided that the windows do not significantly reduce the existing opening size.

8. Req'd glazed openings shall be permitted to open into patio covers that abutts, yard if in excess of 40% of the exterior sunroom walls are open, or are enclosed only by insect screening, & the ceiling height of the sunroom is not less than 7'.

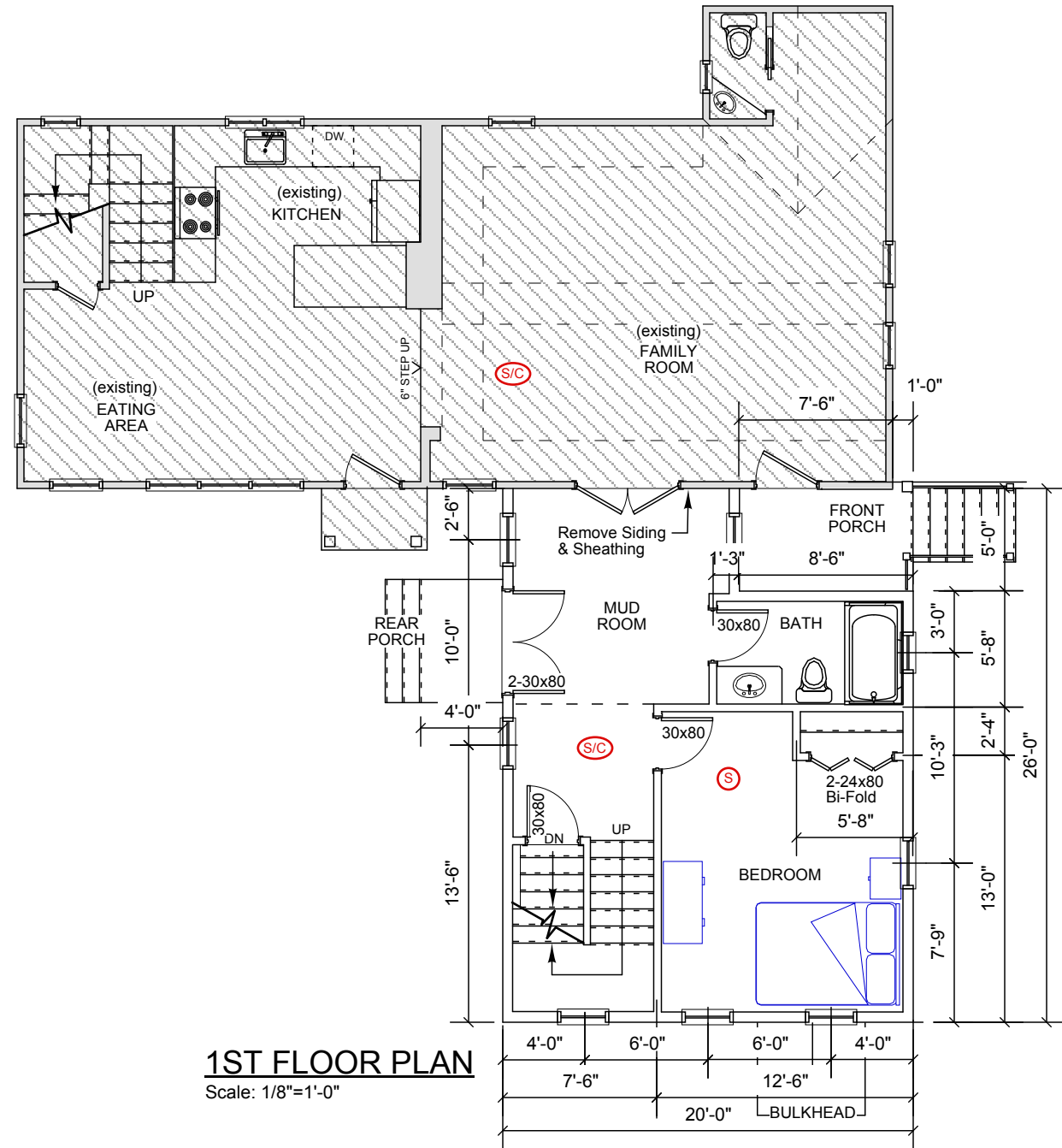
9. Where the opening of an operable window is located more than 72" above the finished grade or surface below, the lowest part of the clear opening of the window shall be a min. of 24" above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4" diameter sphere where such openings are located within 24" of the finished floor.

10. Window opening limiting devices shall be self acting & shall be positioned to prohibit the free passage of a 4" dia. sphere through the window opening when the window opening limiting device is installed w/ the manufacturer's instructions. Window opening limiting devices shall be designed w/ release mechanisms to allow for emergency escape through the window opening without the need for keys, tools or special knowledge. Window opening limiting devices shall comply w/ all of the following: Release of the window opening-limiting device shall require no more than 15lbs of force. The window opening limiting device release mechanism shall operate properly in all types of weather. Window opening limiting devices shall have their release mechanisms clearly identified for proper use in an emergency. The window opening limiting device shall not reduce the min. net clear opening area of the window unit below what is required.

11. Windows & doors shall be installed & flashed in accordance w/ manufacturer's written installation instructions. Fenestration shall bear a label identifying manufacturer, performance characteristics, & approved inspection agency to indicate compliance w/ the requirements of ASTM E 1886 & ASTM E 1996; or AAMA 506.

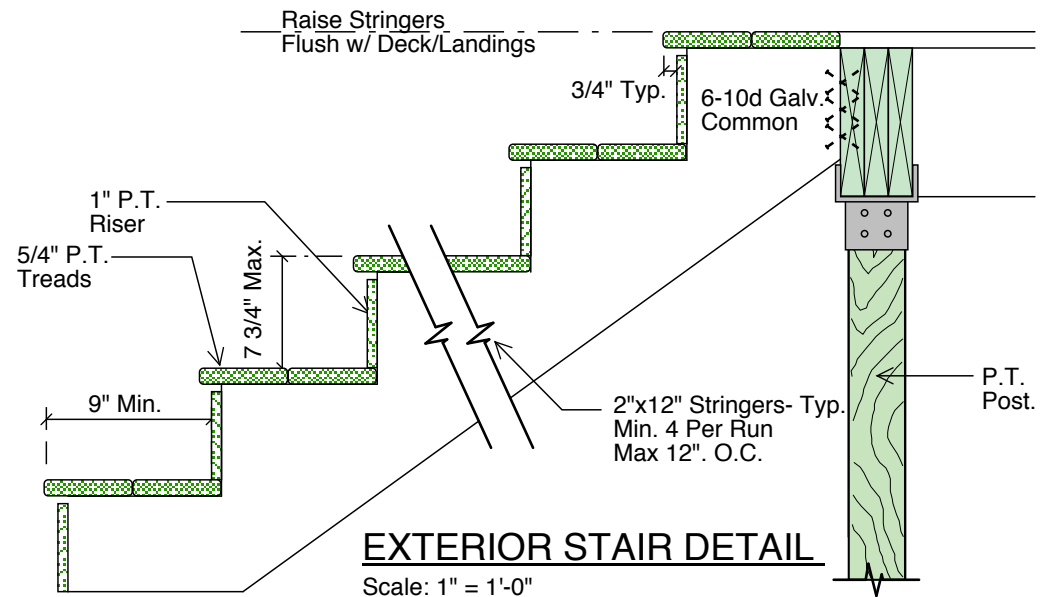
12. Windows & Doors shall be designed to resist the design wind loads. Protection of exterior windows & glass doors in buildings located in wind-borne debris regions. Exterior windows and sliding doors shall bear a label identifying manufacturer, performance characteristics and approved inspection agency to indicate compliance w/ AAMA/WDMA/CSA 101/I.S.2/A440.

13. The following are Hazardous Locations for Glazing applications: Glazing in all doors, and in adjacent panels within 24". Glazed openings of a size through which a 3" dia. sphere is unable to pass. Glazing in railings regardless of area or height above a walking surface. Included are structural baluster panels and nonstructural infill panels. Glazing within 60" of doorways, stairways, landings and ramps. Glazing within 60" of swimming pools, hot tubs, whirlpools, saunas, spas, steam rooms, bathtubs and showers. Glazing less than 18" above the floor. Glazing in walls on the latch side of and perpendicular to the plane of the door in a closed position. Glazing adjacent to a door where access through the door is to a closet or storage area 36" or less in depth. Glazing greater than 9sq.ft. in area.



**1ST FLOOR PLAN**

Scale: 1/8"=1'-0"



**EXTERIOR STAIR DETAIL**

Scale: 1" = 1'-0"

Project No.: **22107A**

Date: **July 31, 2023**

Drawn By: **JG**

Checked By: **JJ**

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Project: **ADDITION AND RENOVATIONS to the SCHERR RESIDENCE 104 STILL RIVER ROAD HARVARD, MASSACHUSETTS**

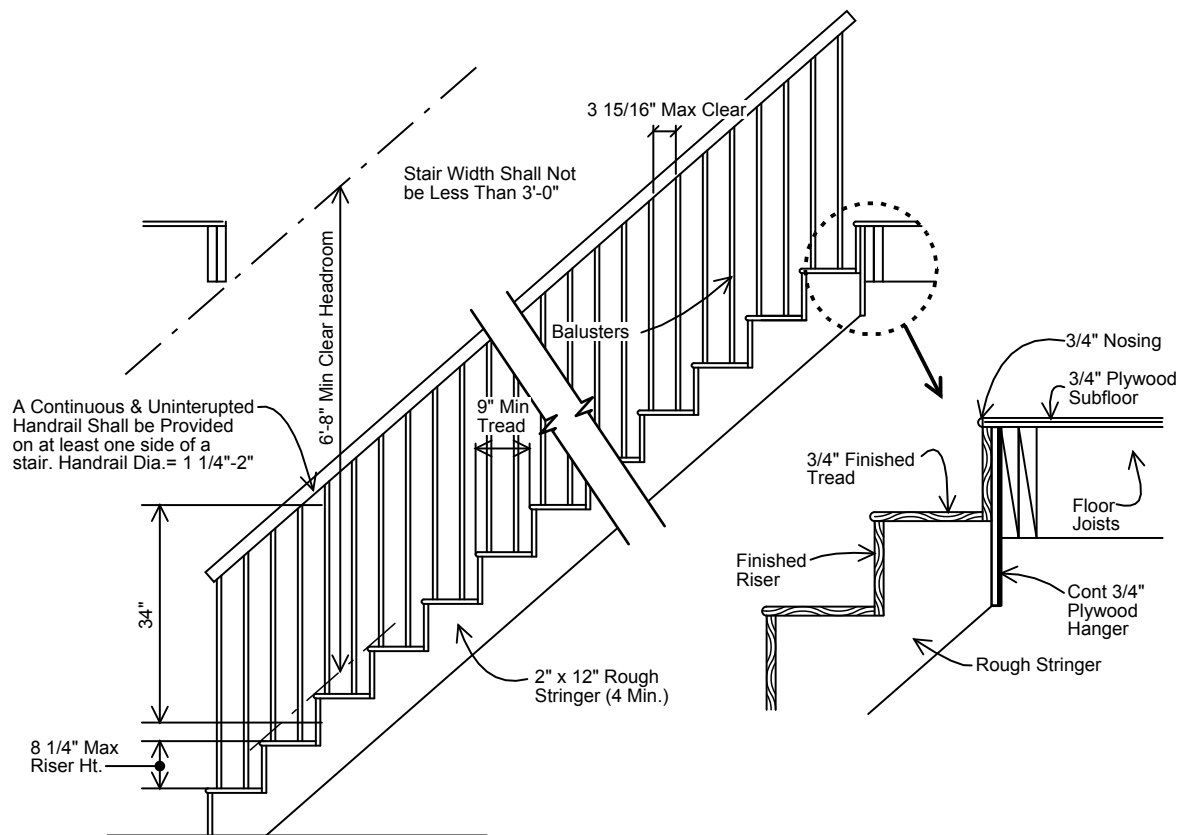
Title: **1ST FLOOR PLAN, NOTES & DETAILS**

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REGISTERED ARCHITECT - JAMES J. JOZOKOS - No. 20190 - LOWELL, MASS. - COMMONWEALTH OF MASSACHUSETTS

Sheet: **2** / **7**





**INTERIOR FINISHES:**

- Interior finishes to be determined by the Owner unless otherwise noted.
- All finishes, appliances, and fixtures are to be installed by the Contractor after Owner has proved the selection, or as otherwise may have been agreed.
- Unless Otherwise Noted, all drywalled areas shall be finished in accordance to ASTM C840: Level 5 finish.

**FINISH CARPENTRY:**

- All materials and operations shall meet the requirements of the latest revision of the standard specifications of the following: The Architectural Woodwork Institute (AWI), American Plywood Association (APA), National Forest Products Association (NFPA), Southern Pine Inspection Bureau (SPIB), American Wood Preserves Bureau (AWPB) and the Hardwood Plywood Manufacturers Association (HPMA).

**BUILDING INSULATION:**

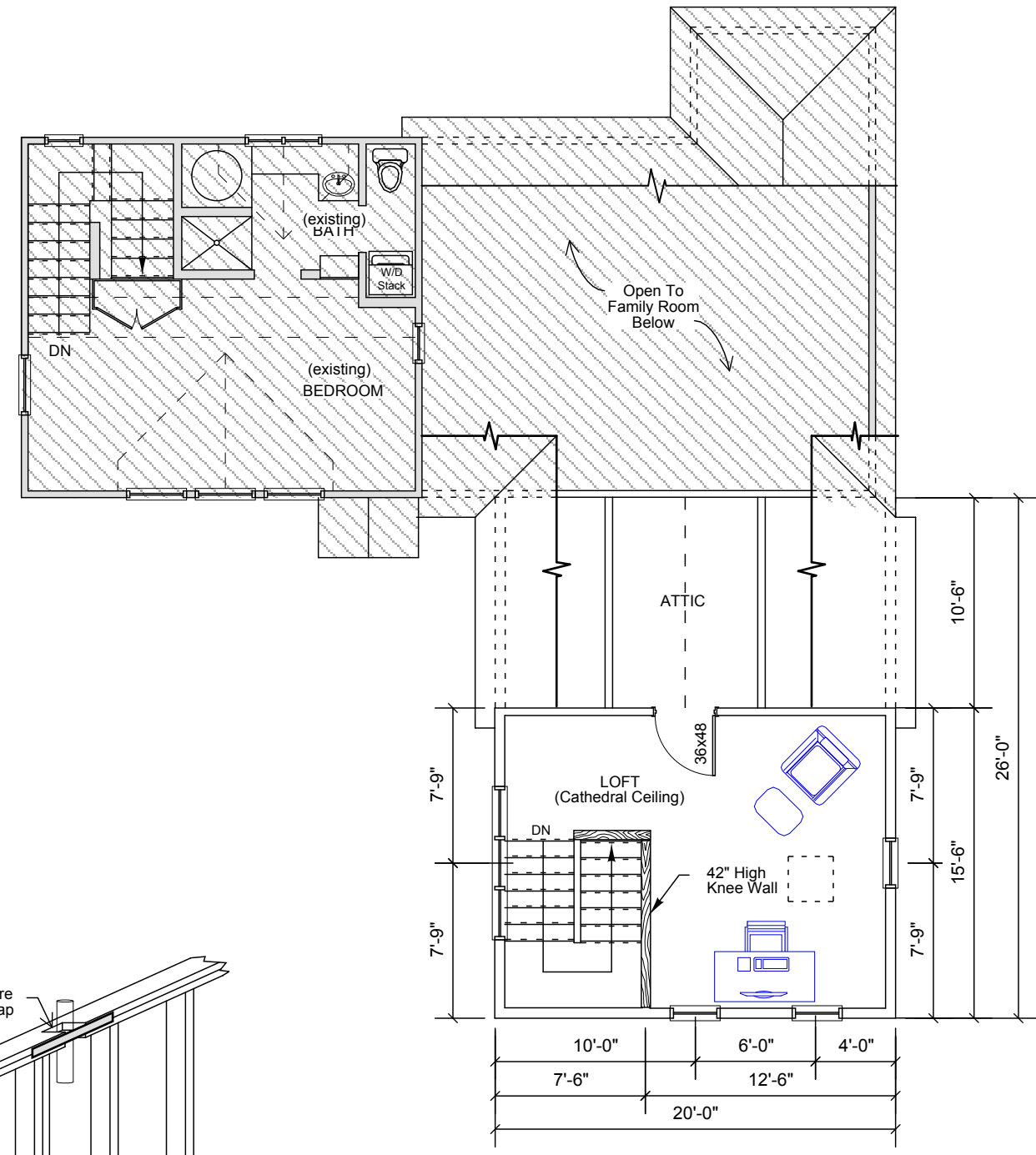
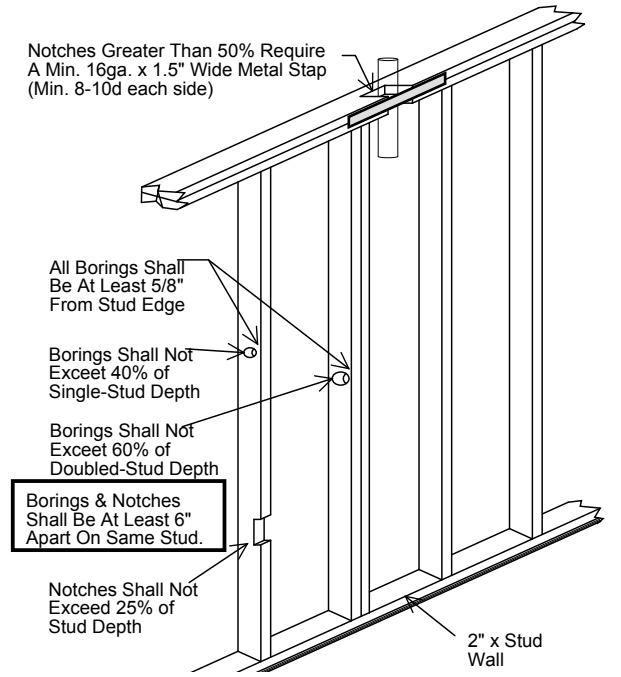
- Grading of lumber of the various species shall conform to the requirements of ASTM D 2555 and ASTM D 245.
- Buildings shall be insulated in compliance with Section 13 of the Massachusetts State Building Code, and all other applicable codes.
- Provide insulation materials identical to those whose indicated fire performance characteristics have been determined per the ASTM test method indicated below, by UL or other approved testing and inspecting organizations.
  - Surface burning characteristics: ASTM E 84
  - Fire resistance rating: ASTM E 119

**JOINT SEALERS:**

- Provide all labor, materials and equipment necessary to complete all of the following including, but not limited to Sealant around the perimeter of windows, doors, louvers and all openings in exterior walls, under exterior thresholds and sills, exterior and interior trim.
- Exterior sealant shall be one part acrylic, "Mono" by Tremco® or equal. Interior sealant shall be acrylic-latex type sealant.

**FIRE SEALING:**

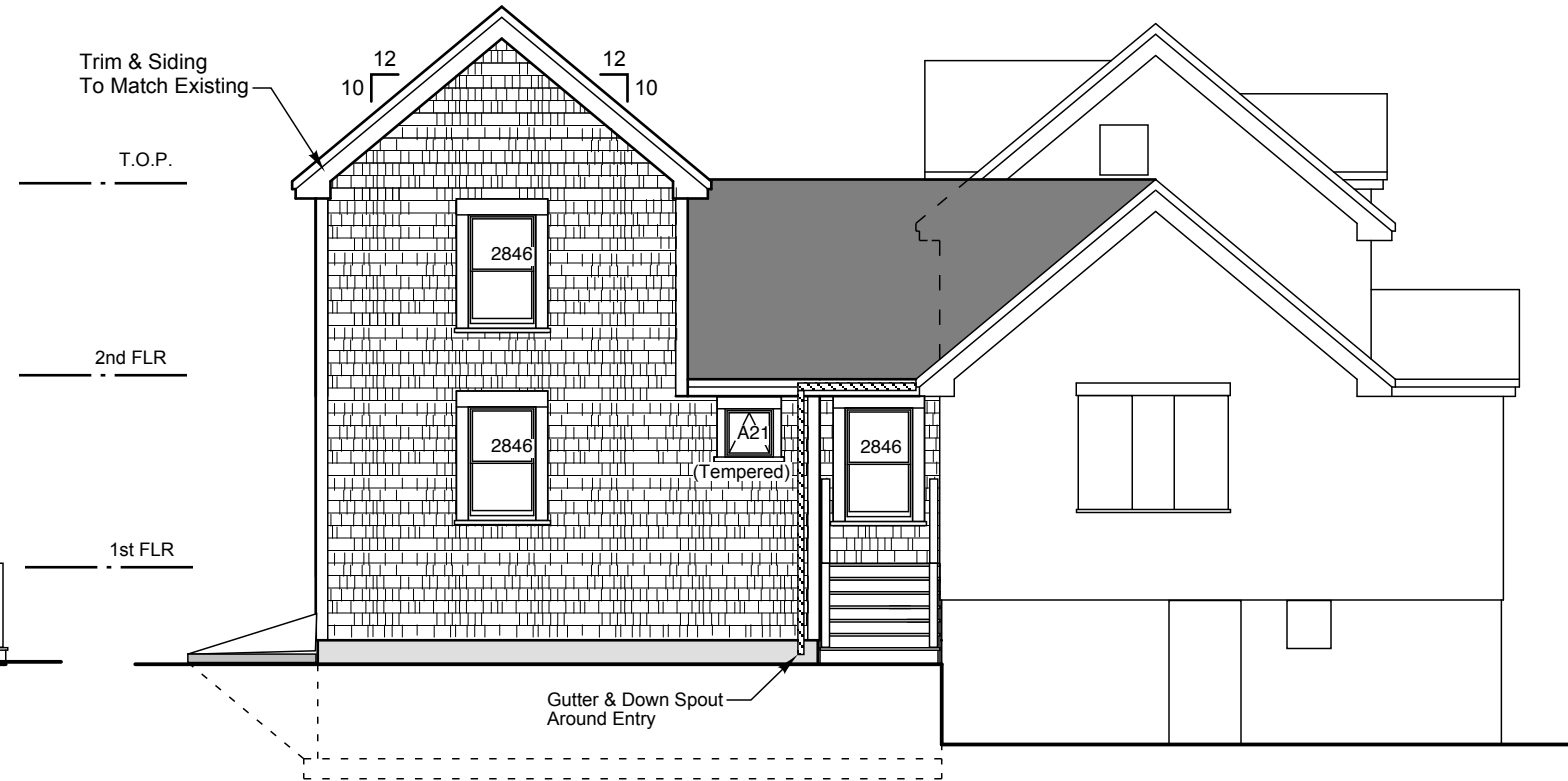
Where Pipes & Wires Penetrate Fire Rated Assemblies, Seal Around Penetrations w/ 3" Min. Safing Insulation & 1" Min. "FIRECODE" Compound By USG or per other UL approved methods.



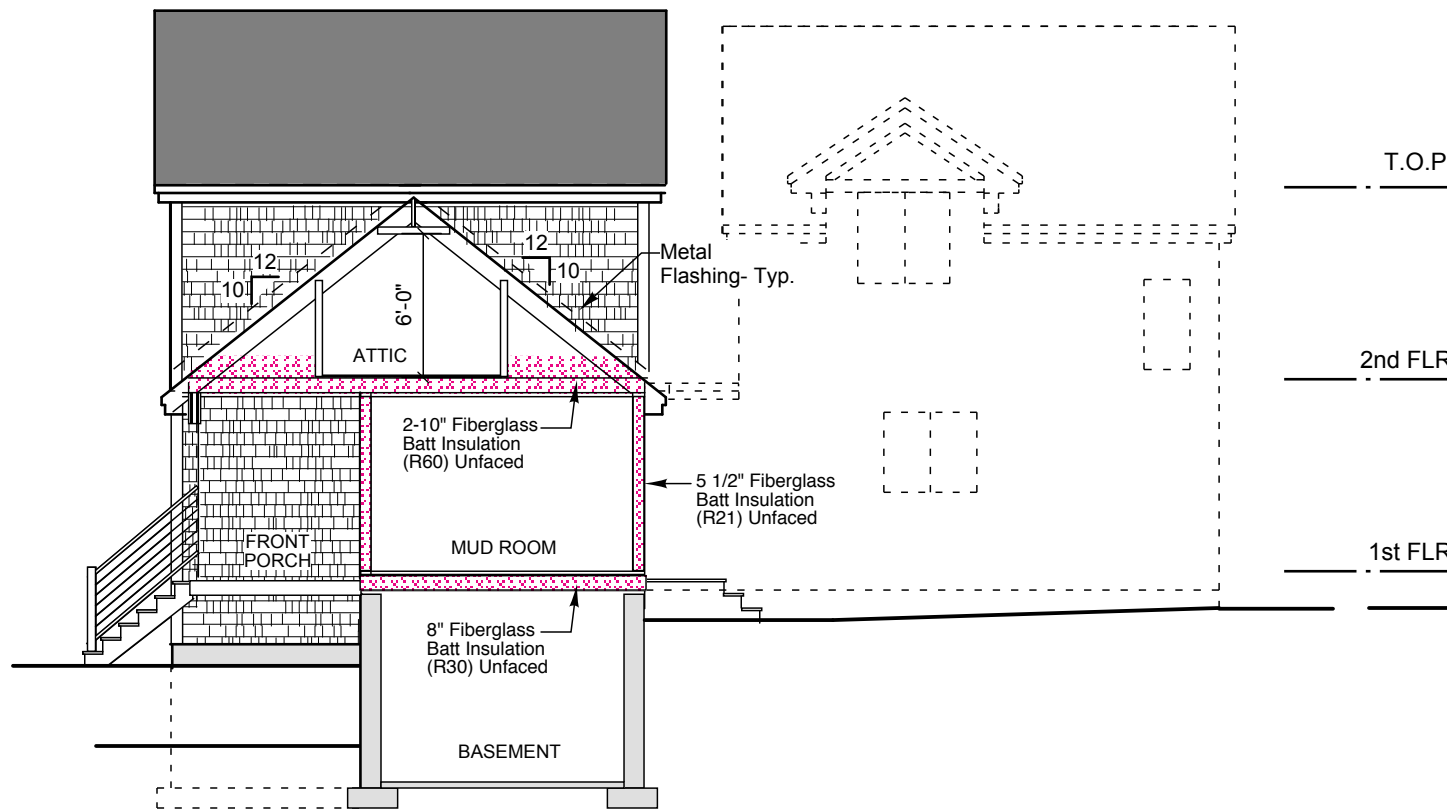
**2ND FLOOR PLAN**  
Scale: 1/8"=1'-0"



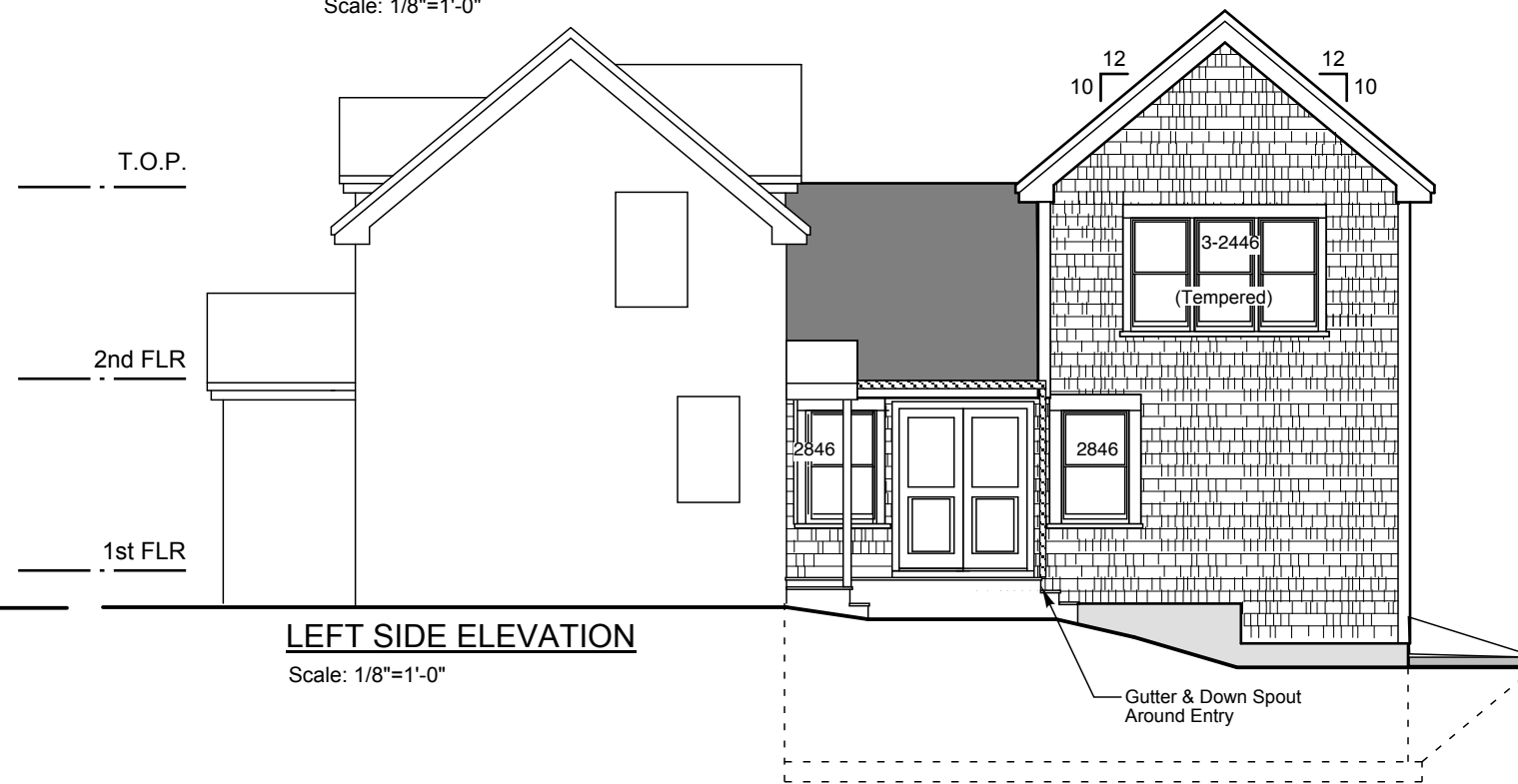
**FRONT ELEVATION**  
Scale: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
Scale: 1/8"=1'-0"

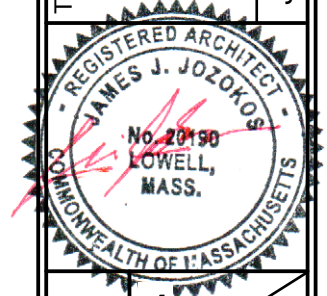


**REAR ELEVATION**  
Scale: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
Scale: 1/8"=1'-0"

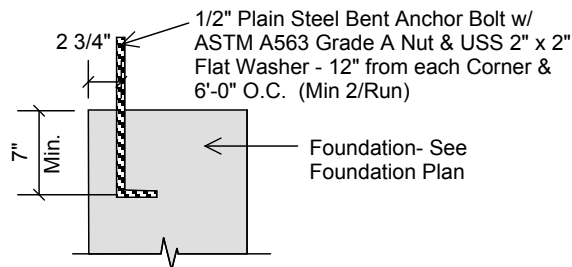
Project No.: <b>22107A</b>	
Date: <b>July 31, 2023</b>	Drawn By: <b>JG</b> Checked By: <b>JJ</b>
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<b>Project:</b> ADDITION AND RENOVATIONS to the SCHERR RESIDENCE 104 STILL RIVER ROAD HARVARD, MASSACHUSETTS	
<b>Title:</b> <b>ELEVATIONS          NOTES &amp; DETAILS</b>	
Jozokos Architecture Inc. 1147 Main Street #115, Tewksbury, MA (978) 985-1813 jozokos@comcast.net	
Sheet: <b>4</b>	<b>7</b>





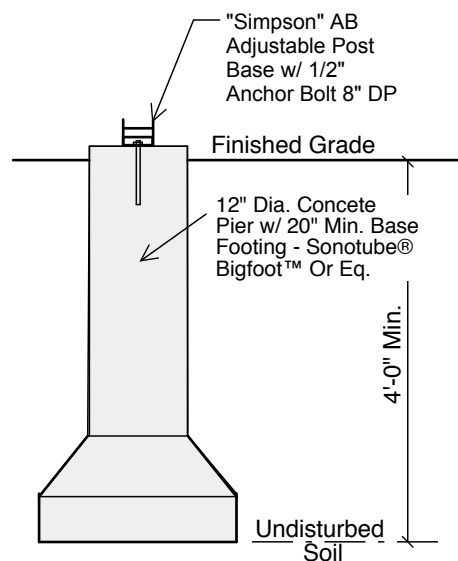
**CONCRETE NOTES:**

1. Unless otherwise noted, all footings shall be centered under support members.
2. All foundation walls shall be braced during operations of backfilling and compaction. Bracing shall be left in position until permanent restraints have been installed.
3. All footings shall be carried down to undisturbed material having a minimum bearing capacity of 4,000psi.
4. No footing shall be placed in water or on frozen ground.
5. In general, exterior construction shall be carried down a minimum of 4ft below finished grade.
6. All concrete work shall conform to the latest A.C.I. Codes 301 & 318.
7. All concrete shall attain a minimum compressive strength of 2500 psi at 28 days. Portland cement shall conform to ASTM C150. Aggregate shall conform to ASTM C33. Ready mix concrete shall conform to ASTM C 94.
8. All slabs on ground shall be placed on a minimum of 8" layer of 95% compacted gravel and placed in panels not exceeding 1,200sqft, unless otherwise shown on the plan(s) or otherwise directed by the Engineer.
9. Anywhere the exposed Concrete Slab is to be the finished floor, the Owner shall be consulted on finishes, such as; curing blankets (Hydracure® S16 or Eq.), control joint fillers, densifiers (Consolideck® or Eq.), colors and textures, prior to the start of Work.



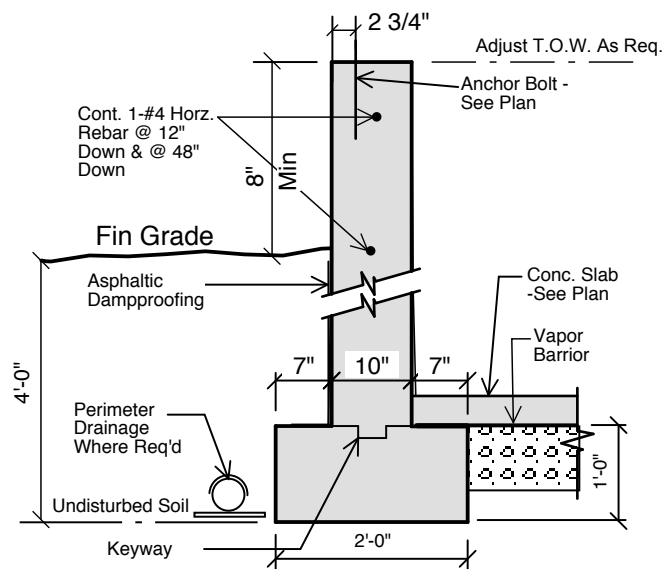
**ANCHOR BOLT DETAIL**

Scale: 3/4" = 1'-0"



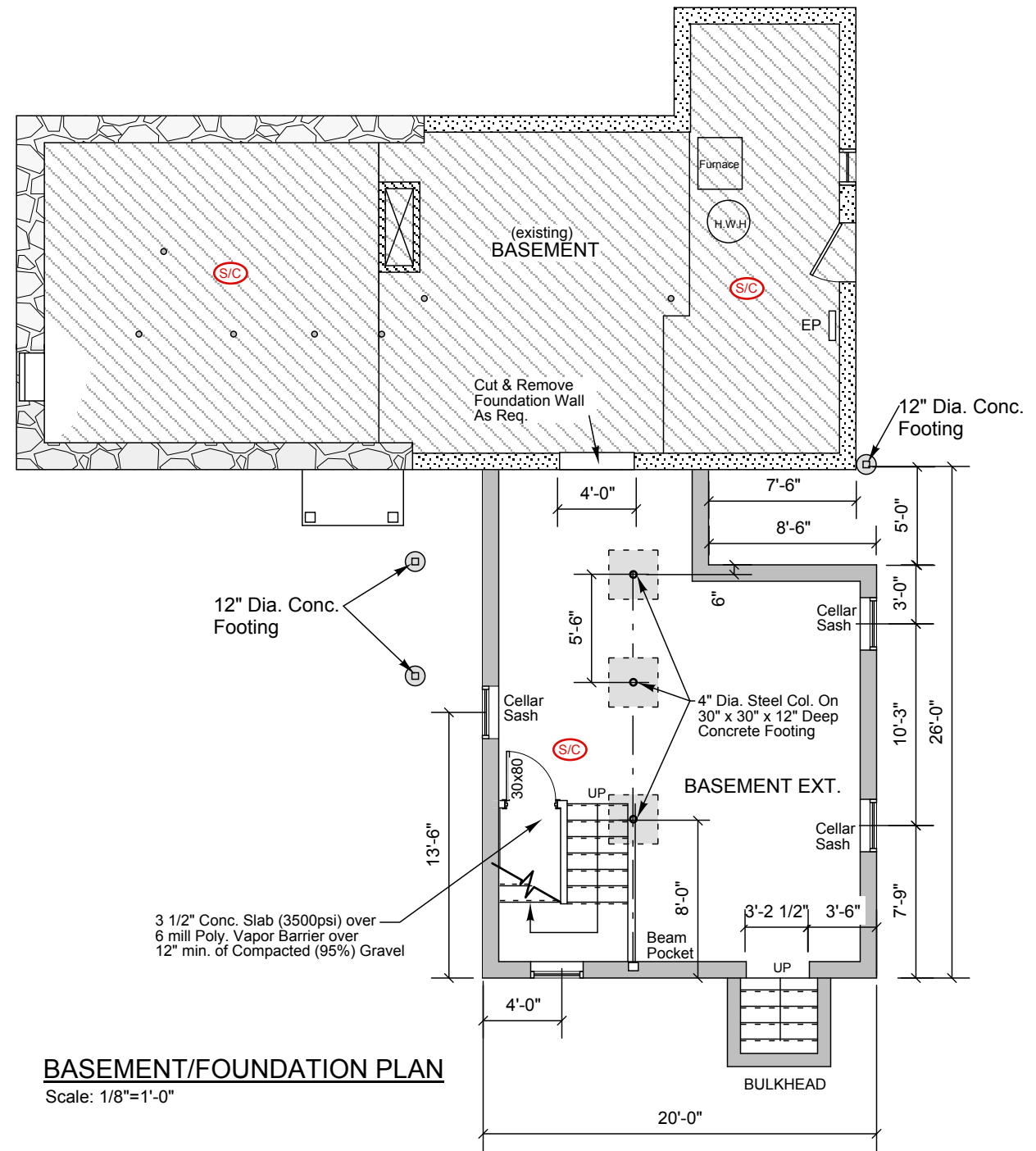
**CONCRETE PIER DETAIL**

SCALE: 1/2" = 1'-0"



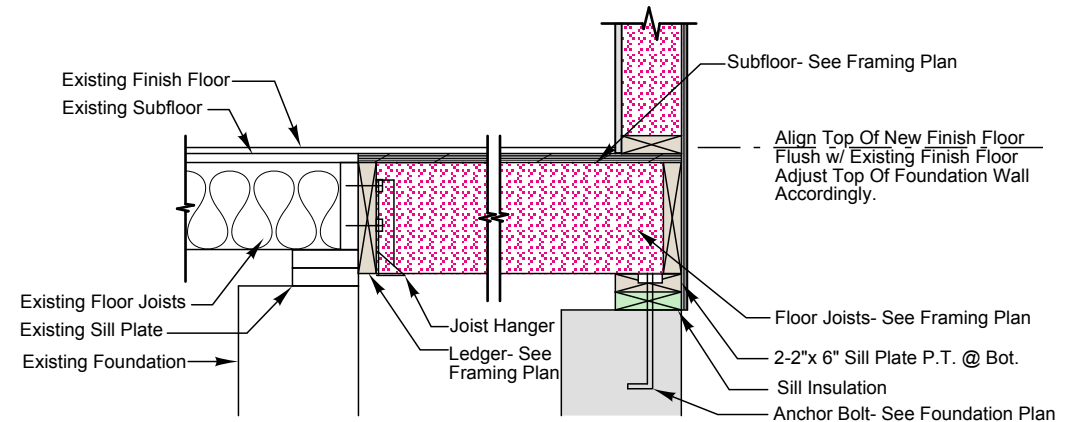
**TYP. FOUNDATION SECTION**

Scale: 1/2" = 1'-0"



**BASEMENT/FOUNDATION PLAN**

Scale: 1/8" = 1'-0"



**FRAMING DETAIL**

SCALE: 3/4" = 1'-0"

Project No.:

**22107A**

Date: **July 31, 2023**

Drawn By: **JG**

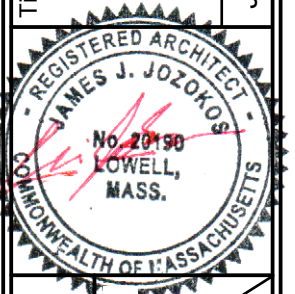
Checked By: **JJ**

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Project: **ADDITION AND RENOVATIONS to the SCHERR RESIDENCE to 104 STILL RIVER ROAD HARVARD, MASSACHUSETTS**

Title: **FOUNDATION PLAN NOTES & DETAILS**

Title:



Sheet: **5**

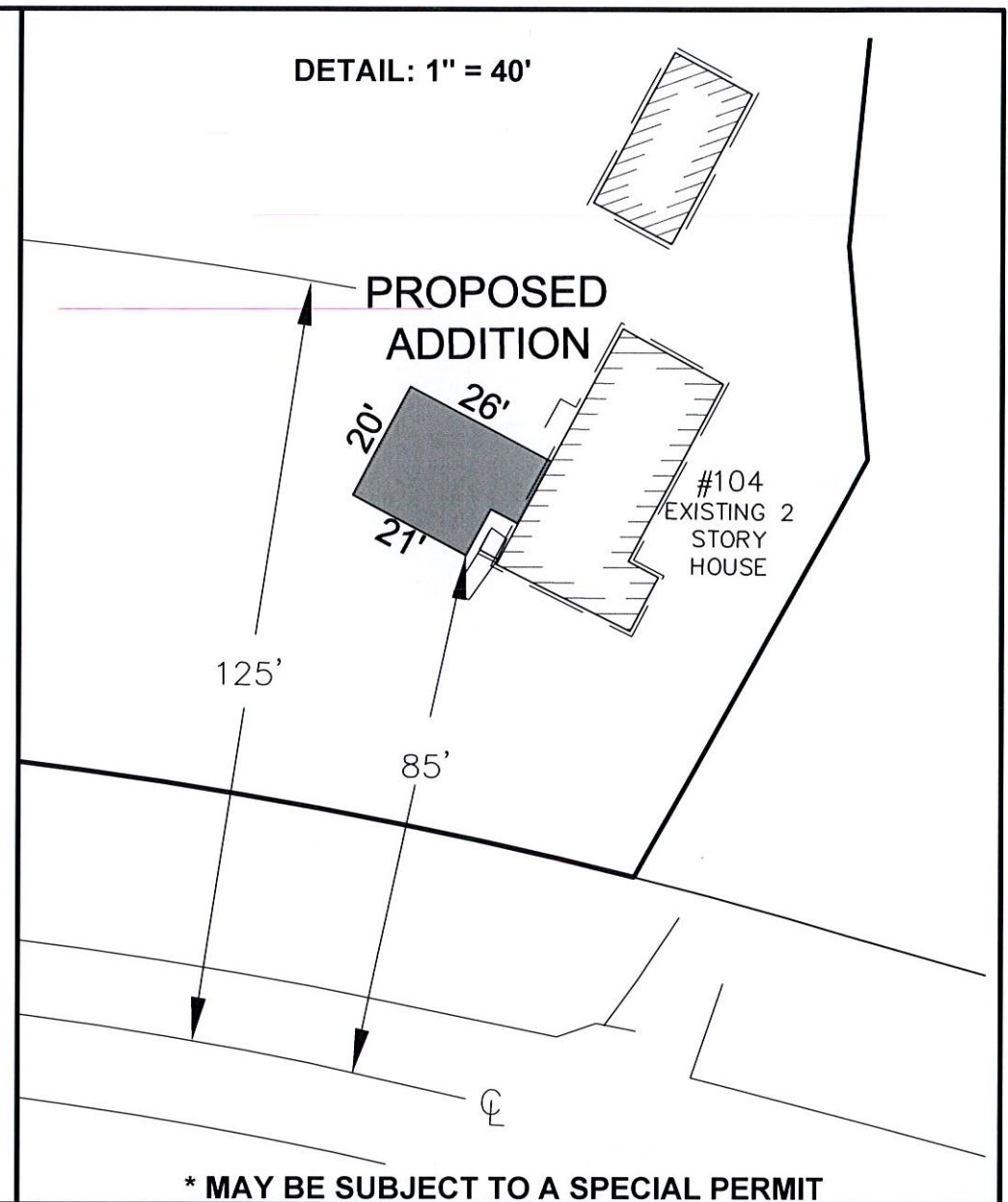
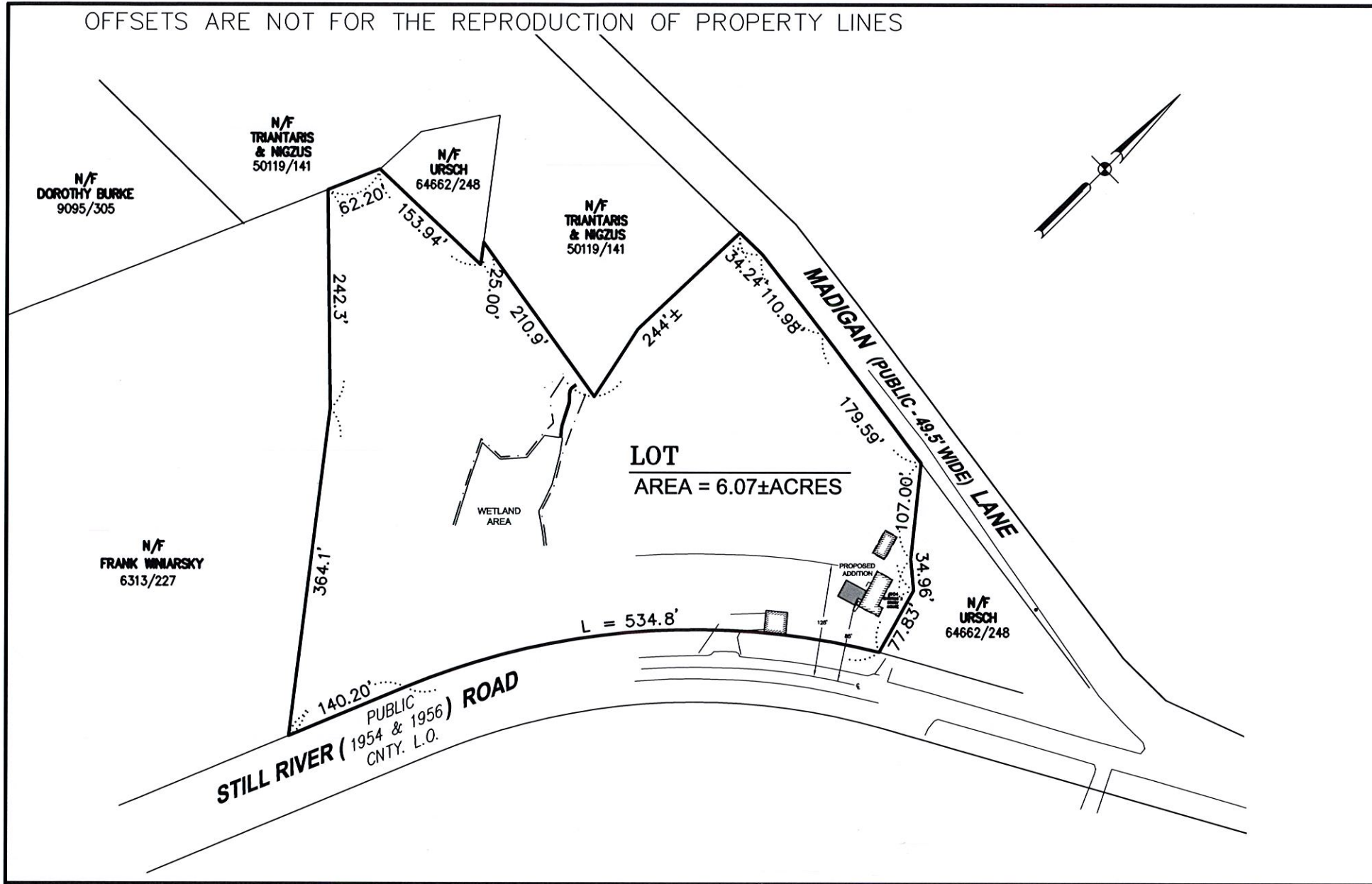
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231029

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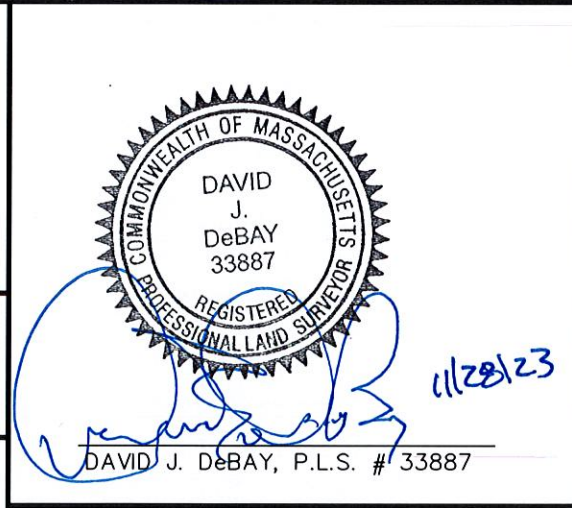
OFFSETS ARE NOT FOR THE REPRODUCTION OF PROPERTY LINES



THE PROPOSED STRUCTURE SHOWN IS NOT IN A FLOOD HAZARD AREA, BEING ZONE X (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE F.E.M.A FLOOD INSURANCE RATE MAP FOR HARVARD, MASS., DATED JULY 4, 2011, COMMUNITY-PANEL NO. 250-27CO-313-E. ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. ACCURATE DETERMINATION CANNOT BE MADE UNLESS A VERTICAL CONTROL SURVEY IS PERFORMED.

REFERENCE:  
ASSESSOR MAP 16, PARCEL 26  
DEED BOOK 64289 PAGE 381

THIS LAND MAY BE SUBJECT TO EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, COVENANTS, OR OTHER LIMITATIONS WHICH MAY BE DISCLOSED BY A TITLE EXAMINATION.



CALC/DRAFT: DSB  
SEE GPR PROJECT # 171059A

**BUILDING PERMIT PLAN**  
**#104 STILL RIVER ROAD**  
**HARVARD, MASS.**

PREPARED FOR: STEVEN SCHERR  
DATE: NOVEMBER 28, 2023      SCALE: 1" = 150'

**GPR**      Engineering Solutions  
for Land & Structures

**GOLDSMITH, PREST & RINGWALL, INC.**  
39 MAIN ST., SUITE 301, AYER, MA 01432  
CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING  
VOICE: 978.772.1590    FAX: 978.772.1591    WEB: www.gpr-inc.com

231029



## BOARD OF HEALTH

13 Ayer Road  
Harvard, MA 01451  
Phone: (978) 456-4100, ext. 328  
Email: boh@harvard-ma.gov  
Website: www.harvard-ma.gov

## MEMO

**To:** Harvard Zoning Board of Appeals; Juno Construction, LLC

**From:** Harvard Board of Health

**Date:** August 10, 2023

**Re:** Comprehensive Permit Application: Old Mill & Ayer Road (Village at Robin Lane)  
Requested Exceptions: Board of Health, Article I: Sanitation

---

At the Harvard Board of Health meeting of August 8, 2023, the Board of Health reviewed and considered the following Requested Exceptions:

### Board of Health Article I Sanitation (Chapter 145)

#### Section 145-3J

---

**Requirement:** There must be a minimum offset distance of ten feet (10') between the primary and the reserve area.

**Request:** Standards of Title 5 to be followed.

#### Section 15-6B

---

**Requirement:** Additional deep observation hole testing will be required at one test hole per additional 2,000 gallons per day capacity or fraction thereof.

**Request:** Standards of Title 5 to be followed.

The Board of Health does not have concerns with the ZBA granting these Requested Exceptions.

The comments in this Memorandum are supplemental to those previously submitted on July 26, 2023. The Board of Health anticipates additional questions and comments will arise as the project progresses.

Thank you for your attention to this matter. Please do not hesitate to reach out to the Board of Health with any questions.

PROTECTIVE ZONING BYLAW (CHAPTER 125)

Section 125-23

Requirement: Uses permitted in the Commercial District.

Request: Allow residential use in the Commercial District.

Section 125-30.A

Requirement: Every structure must be able to provide its own lot conforming to the bylaw.

Request: Allow multiple structure on a single lot.

Section 125-30.B

Requirement: Total building floor area (all levels, all buildings) shall not exceed 10% (49,985± SF) of the land area of the lot.

Request: Allow over 10% of land area (Proposed 15.8%) of the lot as total building floor area for all the residential dwelling units (78,960± SF total floor area).

Section 125-30.E.(2)

Requirement: Structures other than fences shall be set back from lot boundaries by at least the height of the structure.

Request: Allow proposed gazebo to be located within the structure set back line and the dwellings to be pursuant to Section 125-30.E.(3) & (4). GAZEBO WILL BE SET BACK BY AT LEAST THE HEIGHT OF THE STRUCTURE.

Section 125-30.E.(4)

Requirement: In the Commercial District such structures shall be set back from the front lot line a minimum of 20 feet.

Request: Allow proposed gazebo to be located within 20 feet of the property line. GAZEBO WILL BE SET BACK BY AT LEAST THE HEIGHT OF THE STRUCTURE.

Section 125-31

Requirement: Limits number of structures on a lot.

Request: Allow a private way to service 24 units (12 structures) Village at Robin Lane.

Section 125-32.D

Requirement: Communal disposal by a non-municipal entity.

Request: Allow the use of a communal subsurface sewage disposal system in accordance with Title 5 of the State Environmental Code.

Section 125-38.F

Requirement: Design review submission.

Request: **The applicant met with the DRB and followed recommendations but did not follow the full procedure.** MODIFICATIONS WERE MADE BY DRB TO THE REAR OF BUILDINGS.



Section 125-38.G

Requirement: Prepare a landscape plan at the same scale as the site plan.

Request: **The applicant submitted a Landscape plan at the same scale and details for foundation plantings. The plan was not stamped by a LA.** NO UPDATES HAVE BEEN RECEIVED FROM APPLICANT FOR RAIN GARDENS OR CONSERVATION COMM. UPDATES AS OF POSTING FOR AGENDA & MEETING NOTICE FOR WED. 3 JAN 2024.

Section 125-39.A.(3)(a)[1]

Requirement: Parking stalls at least nine by 19 feet.

Request: Allow guest parking stall dimension to be nine by 18 feet, **but made the driveway four feet wider in front of the parking spaces to compile with the aisle width of 24 feet per Section 125-39.A.(3)(a)[3].** THERE WILL BE A CONDITION FOR ALLOWING STREET PARKING ON THE SIDEWALK SIDE OF ROBIN LANE WITH NO OVERNIGHT PARKING. APPLICANT WILL PROVIDE NO PARKING SIGNS.

Section 125-39.G.(1)

Requirement: Provide 6-ft wide cement concrete sidewalks along all sides of the lot which abuts a public street unless an alternative surface is allowed by the Planning Board.

Request: Allow 6-ft wide bituminous concrete sidewalk to be constructed along the section of Old Mill Road up to Ayer Road only and allow an alternative surface approval by the Zoning Board of Appeals. Proposed sidewalk will end at approximately the location of the roadway expansion of the MassDOT TIP project and the shared use path.

Section 125-39.G.(2)

Requirement: Internal pedestrian walkways to be 6-ft wide and car stops to be provided at parking spaces.

Request: To allow 4-ft wide bituminous concrete sidewalk along one side of the street. **Delete balance of sentence as car stops have been incorporated. ( and no car stops required.)**

Section 125-58.E

Requirement: Project subject to Planning Board review as part of the Planning Board process.

Request: Allow review by the Zoning Board of Appeals as part of the Zoning Board of Appeals process. **The applicant met with the Planning Board and responded to any comments. The ZBA is the approving authority.**

ZONING BOARD OF APPEALS (CHAPTER 136)

Section 136-3.A(1)(a)[1][b][x]

Requirement: Filing procedure to include proposed lighting and photometric analysis within site development plans.

Request: Waive the requirement for lighting and photometric analysis as there is no proposed street lights or driveway lights. Development is designed in accordance with "dark sky" guidelines.

WETLAND PROTECTION BYLAW (CHAPTER 119)

Section 119-4E

Requirement: At time of application the applicant shall pay the local filing fee(s).

Request: At time of application the applicant will pay the State mandated fees (only). **The applicant has agreed to pay an additional \$7,200 filing fee to the Harvard Conservation Commission. This is less than the full fee requirement per the Form F. PROPOSED FEE REDUCTION BASED ON PERCENTAGE OF UNITS BEING DESIGNATED AFFORDABLE UNITS.**

WETLAND PROTECTION BYLAW REGULATIONS (CHAPTER 147)

Section 147-6C

Requirement: Filing procedure to include additional Harvard filing fees (Form F)...

Request: At time of application the applicant will pay the State mandated fees (only). **Post the submission, but during the hearing process the applicant has submitted Form F and has agreed to pay additional fees as recommended by the HCC.**

Section 147-12

Requirement: Harvard wetland setbacks of no disturbance within fifty feet (50') and no driveways, roads, structures within seventy-five feet (75').

Request: Use the Wetland Protection Act standards.

Section 147-14C

Requirement: Enhanced Stormwater management standards.

Request: Allow the project to provide best management practices pursuant only to Massachusetts Stormwater Handbook standards. **While still using the Extreme Precipitation in New York & New England developed by Northeast Climate Research Center at Cornell University.**

Board of Health Article I Sanitation (Chapter 145)

Section 145-3J

Requirement: There must be a minimum offset distance of ten feet (10') between the primary and the reserve area.

Request: Standards of Title 5 to be followed.

Section 145-6B

Requirement: Additional deep observation hole testing will be required at one test hole per additional 2,000 gallons per day capacity or fraction thereof.

Request: Standards of Title 5 to be followed. BOARD OF HEALTH TO PROVIDE ADDITIONAL WRITTEN COMMENTS PER BOH MEMO DATED 10 AUGUST 2023.

**TOWN OF HARVARD ZONING BOARD OF APPEALS  
APPLICATION FOR A HEARING**

Please review the Board of Appeals' Regulations, Chapter 135, The Code of the Town of Harvard, prior to filling out this Application for Hearing. This application, along with the appropriate documents and filing fee, must be filed in the office of the Town Clerk.

Name of Applicant: Andrew Zaikis DBA Zaikis Home Services

Mailing Address: 2221 Main St Lancaster Ma 01523

Telephone Number: 978-549-1226 Email Address: Zaikishomeservices@hotmail.com

Applicant is (check one):  Owner  Tenant  Licensee  Prospective Buyer

Location of Property: 164 Prospect Hill Rd Harvard Ma 01451 Assessors Map 16 Parcel: 32

Registry of Deeds: Book Number 43394 Page Number 126 Certificate Number 111705

Owner's Name: Gary Gasser Tel. No.: 978-549-1226  
(If different than Applicant)

Owner's Address: 164 Prospect Hill Rd Harvard Ma 01451

Representative: Andrew Zaikis Tel. No.: 978-549-1226

Application (which includes required plans and abutters list) is for:

- |   |                                 |
|---|---------------------------------|
| <input type="checkbox"/> Variance (16 copies)                                 | Fee: \$150.00 + \$6.00/ abutter |
| <input checked="" type="checkbox"/> Special Permit (16 copies)                | Fee: \$200.00 + \$6.00/abutter  |
| <input type="checkbox"/> Modification/Extension (16 copies)                   | Fee: \$100.00 + \$6.00/abutter  |
| <input type="checkbox"/> Failure to Enforce Administrative Appeal (16 copies) | Fee: \$130.00                   |
| <input type="checkbox"/> Other Administrative Appeals (16 copies)             | Fee: \$175.00                   |
| <input type="checkbox"/> Comprehensive Permit (20 copies)                     | Fee: 500.00/unit                |

Specific Bylaw section (s) being applied for: 125-3B/125/46

Nature of Application and Justification of Request: Due to rot creating safety concerns of existing Pergola colapsing a new structure built to identical measurements of previously existing structure

The undersigned certifies that he/she has read and examined this application and the Harvard Zoning Board of Appeals Rules and Regulations, Chapter 135 of the Code of the Town of Harvard, and that the proposed project is accurately represented in the statements made in the application.

The applicant will be required to pay a local newspaper of general circulation for the current cost of advertising the hearing. The applicant will be billed directly from the newspaper for the cost of the advertised hearing or all advertising must be paid for in full prior to submittal to the newspaper.

I hereby request a hearing before the Board of Appeals with reference to the above application.

Gary Gasser  
Property Owner's Signature (REQUIRED)

11/30/2023  
Date

Property Owner's Signature (REQUIRED)

Date

Applicant's Signature (if different from owner)

Date



Date 11/30/2023

I do hereby authorize Andrew Zaikis (DBA Zaikis Home Services) to represent me on the subject of permitting for pergolla rebuilt at 164 Prospect Hill Rd, Harvard Ma 01451

Gary Gasser

Gary C. Gasser



**CONSTRUCTION DETAIL**

**CONSTRUCTION DETAIL (CONTINUED)**

Element	Cd	Description	Element	Cd	Description
Style: 63		Antique			
Model: 01		Residential			
Grade: 04		Average +			
Stories: 2		2 Stories			
Occupancy: 1		Clapboard			
Exterior Wall 1: 11					
Exterior Wall 2: 01		Flat			
Roof Structure: 03		Asph/F Gls/Cmp			
Roof Cover: 03		Plastered			
Interior Wall 1: 09		Pine/Soft Wood			
Interior Fir 1: 02		Oil			
Interior Fir 2: 05		Hot Water			
Heat Fuel: 01		None			
AC Type: 03		3 Bedrooms			
Total Bedrooms: 03					
Total Bathrms: 2					
Total Half Baths: 0					
Total Xtra Fixtrs: 0					
Total Rooms: 8					
Bath Style: 05		Semi-Modern			
Kitchen Style: 04		Average			
# of Kitchens: 1					
Fireplaces: 2					

**CONDO DATA**

Parcel Id	Adjust Type	Code	Description	Factor%

**COST / MARKET VALUATION**

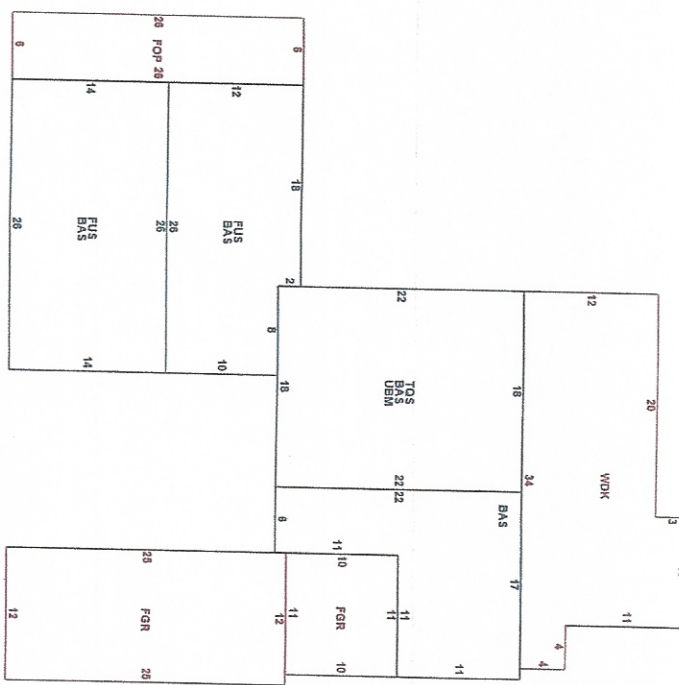
Building Value New	504,753
Year Built	
Effective Year Built	1700
Depreciation Code	G
Remodel Rating	
Year Remodeled	
Depreciation %	30
Functional Obsol	
External Obsol	
Trend Factor	1.000
Condition	
Condition %	
Percent Good	70
RCNLD	353,300
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	

**OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)**

Code	Description	Units	Unit Price	Yr Bld	Cond	Cd	% Gd	Grade	Grade Adj	Appt. Value

**BUILDING SUB-AREA SUMMARY SECTION**

Code	Description	Living Area	Floor Area	Eft Area	Unit Cost	Undepec Value
BAS	First Floor	1,309	1,309	1,309	182.11	238,387
FGR	Garage, Finished	0	410	185	82.17	33,691
FOP	Porch, Open, Finished	0	156	31	36.19	5,646
FUS	Upper Story, Finished	660	660	660	182.11	120,195
TQS	Three Quarter Story	297	396	297	136.59	54,088
UBM	Basement, Unfinished	0	396	79	36.33	14,387
WDK	Deck, Wood	0	406	61	27.36	11,109
TL Gross Liv / Lease Area		2,266	3,733	2,622		477,503





CURRENT OWNER		TOPO		UTILITIES		STRT / ROAD		LOCATION		CURRENT ASSESSMENT	
1 Level	5 Well	3 Med Traffic	6 Paved	1 Two Way	Description	Code	Appraised	Assessed	Year	Code	Assessed
GASSER, GARY C & NANCY R					RESIDENTL	1010	353,300	353,300	2021	1010	256,400
164 PROSPECT HILL RD					RES LAND	1010	352,600	352,600	2020	1010	218,000
HARVARD MA 01451											357,700
GIS ID M_190665_916534 Assoc Pld# Alt Pld ID 1250160003200000 House Col CREAM Field Chec											

**VISION**

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	QU	VI	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)				
Year	Code	Amount	Code	Description	Number	Amount	Comm Int	Assessed	Year	Code	Assessed	
GASSER, GARY C & NANCY R		43394	0126	10-09-2008	U	1	1A	313,900	2021	1010	256,400	
GASSER, GARY C & NANCY R		21617	0272	07-14-1999	U	0	0	334,200	2020	1010	218,000	
GASSER, GARY C & NANCY R		4566	0064	06-01-1965	U	1	1N	357,700	2020	1010	357,700	
Total								648,100	Total	614,100	Total	575,700

EXEMPTIONS		OTHER ASSESSMENTS	
Year	Code	Description	Amount
			0.00
Total			

ASSESSING NEIGHBORHOOD		NOTES	
Nbhd	Nbhd Name	Tracing	Batch
1	B		

PLAN B743 P63 PARCELA  
 PLAN B460 P66 PARCELA  
 9 X 10 PERGOLA ON DECK 9/15/11  
**AS of January 1, 2022**

Total Appraised Parcel Value 705,900

BUILDING PERMIT RECORD		LAND LINE VALUATION SECTION	
Permit Id	Issue Date	Type	Description
B-20-321	12-03-2020	RF	Roofing
16-260	12-05-2016	RE	Renovation
13-194	12-02-2013	RF	Roofing
11	03-27-1995	RF	Roofing

APPRAISED VALUE SUMMARY		VISIT / CHANGE HISTORY	
Appraised Bldg. Value (Card)	Appraised Ob (B) Value (Bldg)	Appraised Land Value (Bldg)	Special Land Value
353,300	0	352,600	0
Total Appraised Parcel Value			

B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes
1	1010	Single Farm	AR	Primary	1.500	225,000.00	0.73807	P	1.00	60	1,400	
1	1010	Single Farm	AR	Primary	0.260	15,000.00	1.00000	0	1.00	60	1,000	
Total Card Land Units					1.76	AC	Parcel Total Land Area 1.76					
Total Land Value											352,600	

# Worcester District Registry of Deeds - 20/20 Perfect Vision i2 Document Detail Report

Current datetime: 11/10/2023 11:43:47 AM

Doc#	Document Type	Town	Book/Page	File Date	Consideration
111705	DEED		43394/126	10/09/2008	1.00
<b>Property-Street Address and/or Description</b>					
164 PROSPECT HILL RD					
<b>Grantors</b>					
GASSER GARY C, GASSER NANCY R					
<b>Grantees</b>					
GASSER GARY C, GASSER NANCY R					
<b>References-Book/Pg Description Recorded Year</b>					
<b>Registered Land Certificate(s)-Cert# Book/Pg</b>					





2008 00111705

Bk: 43394 Pg: 126

Page: 1 of 3 10/09/2008 01:04 PM WD

Property Address: Three parcels collectively known as 164 Prospect Hill Road, Harvard, MA 01451

### WARRANTY DEED

We, **Gary C. Gasser and Nancy R. Gasser**, husband and wife, both of Harvard, Massachusetts

for Consideration paid, and in full consideration of One Dollar (\$1.00),

grant to **Gary C. Gasser and Nancy R. Gasser**, husband and wife, as tenants-by-the-entirety, both of 164 Prospect Hill Road, Harvard, Massachusetts 01451

with *WARRANTY COVENANTS*

PARCEL ONE:

A parcel of land on the Westerly side of Prospect Hill Road and containing 10,619 square feet more or less with the buildings thereon.

BEGINNING at a point in the Westerly line of said Prospect Hill Road, the southerly corner of the parcel at land now or formerly of Agnes N. Joyce and running N. 51° 36' 20" W., 71.43 feet by land of said Joyce as wall now stands to a point;

THENCE N. 77° 15' 20" W., 70.94 feet by land of said Joyce as wall now stands to a corner at land now or formerly of Clara E. Sears;

THENCE N. 22° 39' 30" E., 80.49 feet by land of Sears as wall now stands to a corner;

THENCE S. 63° 44' 10" E., 155.82 feet by land of said Sears as wall and fence now stand to the westerly line of Prospect Hill Road;

THENCE S. 34° 54' 40" W., 79.68 feet by said Westerly line of Prospect Hill Road to the point of beginning.

Being the same premises conveyed to us by deed of Sissman, recorded with Worcester Southern District Registry of Deeds in Book 4566, Page 64.

PARCEL TWO:

The land in Harvard, Worcester County, Massachusetts, off of the westerly side of Prospect Hill Road, shown as Parcel A on a plan entitled "Land in Harvard, Mass., surveyed for Fruitlands Museums, Inc.," scale 1" = 50', dated Sept. 1978, drawn by Charles A. Perkins Co., Inc., Civil Engineers & Surveyors, Clinton, Mass. 01510, recorded

PLEASE RETURN TO:  
Law Offices of  
Nancy Catalini Chew  
206 Ayer Road  
P.O. Box 0667  
Harvard, MA 01451  
(978) 456-2321

with the Worcester District Registry of Deeds, Plan Book 460, Plan 66, and bounded and described as follows:

BEGINNING at a made drill hole in a stone wall at the southeasterly corner of the herein described premises and at the southwesterly corner of land now or formerly of Gary C. & Nancy R. Gasser at land now or formerly of Mary J. & John T. Kenny;  
 THENE north 76° 35' 07" west by said stone wall and by said Kenny land 345.00 feet to an iron pin set in said stone wall at other land now or formerly of Fruitlands Museums, Inc.  
 THENCE north 13° 24' 53" east by said Fruitlands Museums, Inc. land 240.85 feet to an iron pin set in the ground;  
 THENCE south 52° 12' 53" east by said Fruitlands Museums, Inc. land 391.56 feet to a made drill hole in a corner of stone walls at land now or formerly of J. Randall & Ann C. Gates;  
 THENCE south 21° 47' 16" west by said stone wall and by land now or formerly of Gasser 80.14 feet to the point of beginning.

Containing 1.30 acres of land, according to said plan. Subject to the restrictions that Parcel A is not to be considered as a separate building lot, but is to be annexed with adjoining land of Gary C. and Nancy R. Gasser.

Being the same premises conveyed to us by deed of Fruitlands Museum, Inc., dated January 27, 1979, and recorded with Worcester Southern District Registry of Deeds in Book 6670, Page 205.

PARCEL THREE:

A certain parcel of land known as Parcel A, Prospect Hill Road in Harvard, Worcester County, Massachusetts, as shown on a plan entitled, "Plan of Land in Harvard, MA, prepared for David K. Barton, 180 Prospect Hill Road, Harvard, MA, by Goldsmith, Prest & Ringwall, Inc., 257 Ayer Road, Harvard, MA 01451, Civil Engineering, Land Planning & Land Surveying, (978) 772-1590, (978) 772-1591 fax, drawn by: JPM, scale 1"=60', dated December 18, 1998, checked by: JPM, Plan #97231, sheet 1 of 1", which plan is recorded with the Worcester District Registry of Deeds in Plan Book 743, Plan 63.

Said lot contains 9,301 sq. ft., more or less, according to said plan.

Being the same premises conveyed to us by deed of David K. Barton, dated July 14, 1999, and recorded with Worcester Southern District Registry of Deeds in Book 21617, Page 272.

Said premises are conveyed subject to and with the benefit of any restrictions, easements and takings of record now in force and applicable. No title examination was performed in the preparation of this deed. Said deed serves only to join all of Grantors' properties onto one deed; no new property lines are created hereby.

Property Address: Three parcels collectively known as 164 Prospect Hill Road, Harvard, MA  
01451

PLEASE RETURN TO:  
 Law Offices of  
 Nancy Catalini Chew  
 206 Ayer Road  
 P.O. Box 0667  
 Harvard, MA 01451  
 (978) 456-2321

Witness our hands and seals, this first day of October, 2008.

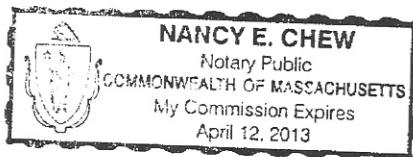
Gary C. Gasser  
Gary C. Gasser

Nancy R. Gasser  
Nancy R. Gasser

COMMONWEALTH OF MASSACHUSETTS

Worcester, ss:

On this first day of October, 2008, before me, the undersigned Notary Public, personally appeared Gary C. Gasser and Nancy R. Gasser, proved to me through satisfactory evidence of identification, which was personal knowledge, to be the persons whose names are signed on the preceding document, and acknowledged to me that each signed it voluntarily for its stated purpose.



Nancy E. Chew  
Nancy E. Chew, Notary Public  
My commission expires: 4/12/2013

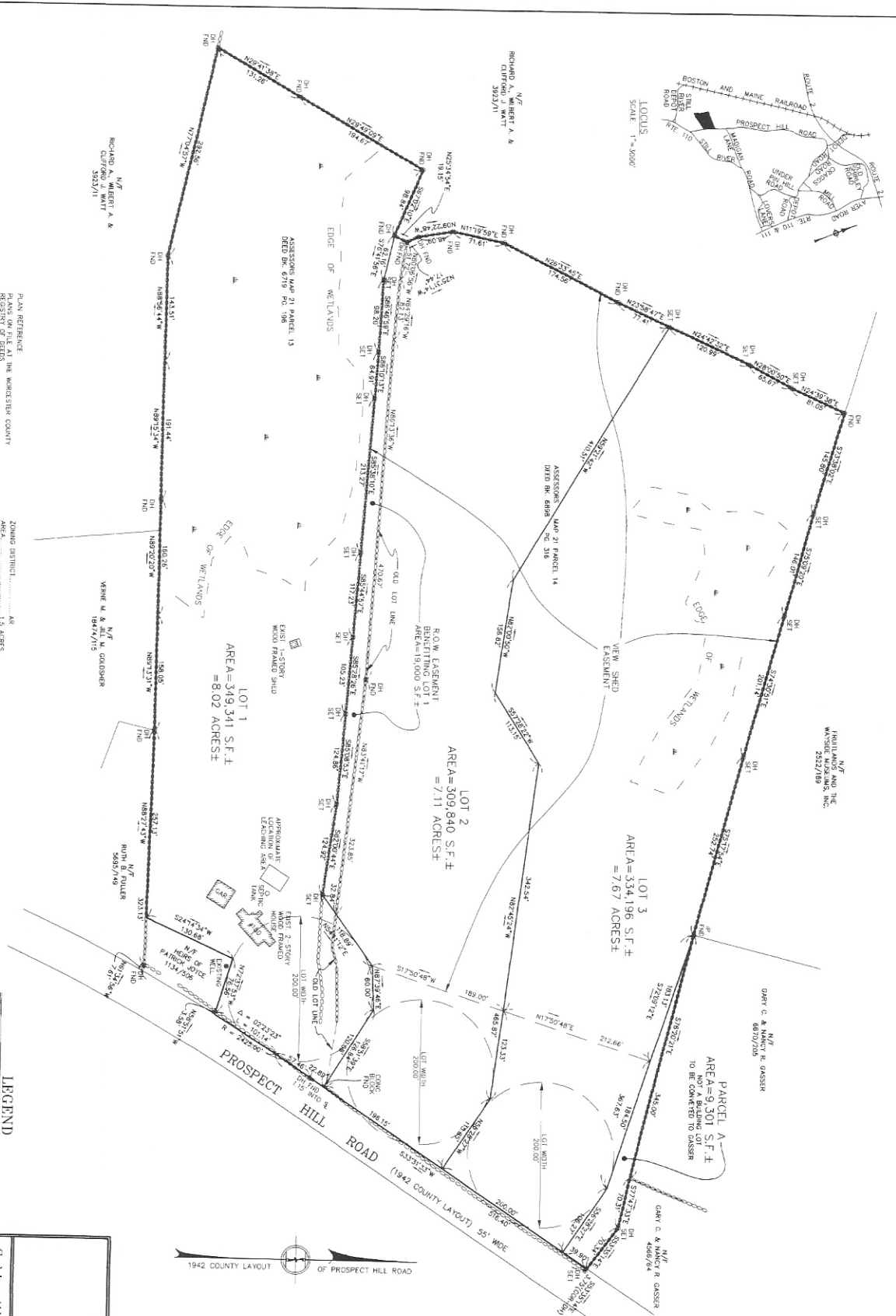
Property Address: Three parcels collectively known as 164 Prospect Hill Road, Harvard, MA 01451

PLEASE RETURN TO:  
Law Offices of  
Nancy Catalini Chew  
206 Ayer Road  
P.O. Box 0667  
Harvard, MA 01451  
(978) 456-2321

ATTEST: WORC. Anthony J. Vigliotti, Register

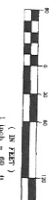


CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY  
 EXISTING RIGHTS-OF-WAY RESTRICTIONS.  
 THE RIGHTS-OF-WAY RESTRICTIONS MAY  
 BE REVEALED BY AN EXAMINATION OF THE TITLE.



PLAN REFERENCE:  
 PLANS ON FILE AT THE WORCESTER COUNTY  
 REGISTER OF DEEDS  
 1. PROSPECT HILL ROAD  
 2. PLAN BK. 460, PLAN 66  
 3. PLAN BY CHARLES A. PERKINS CO., INC.  
 DATED JANUARY 1980

ZONING DISTRICT: R-1  
 CONTINGENT FRONT YARD SETBACK: 10.00  
 MINIMUM FRONT YARD SETBACK OF ROAD: 25' FROM E. OF ROAD  
 DIMENSIONS DEPEND ON FRONT YARD SETBACK



LEGEND

--- ROAD BOUNDARY  
 --- ROAD RIGHT-OF-WAY  
 --- FRONT YARD SETBACK  
 --- DIRT ROAD  
 --- DRIVE WALK  
 --- ROAD RIGHT-OF-WAY

**PLAN OF LAND**  
 IN  
**HARVARD, MA**  
 PREPARED FOR  
 DAVID K. BARTON - OWNER  
 180 PROSPECT HILL ROAD  
 HARVARD, MA

**Goldsmith, Prost & Ringwall, Inc.**  
 502 AVE. DR. HARVARD, MA 01931  
 CIVIL & STRUCTURAL ENGINEERING  
 LAND PLANNING & LAND SURVEYING  
 (978) 728-1500  
 (978) 728-1501 FAX

Drawn By: JMT  
 Checked By: JMT  
 Date: 02/23/11  
 Sheet: 1 of 1

*John P. Meador*  
 PROFESSIONAL LAND SURVEYOR  
 12/28/98  
 STATE OF MASSACHUSETTS



"I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

"I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

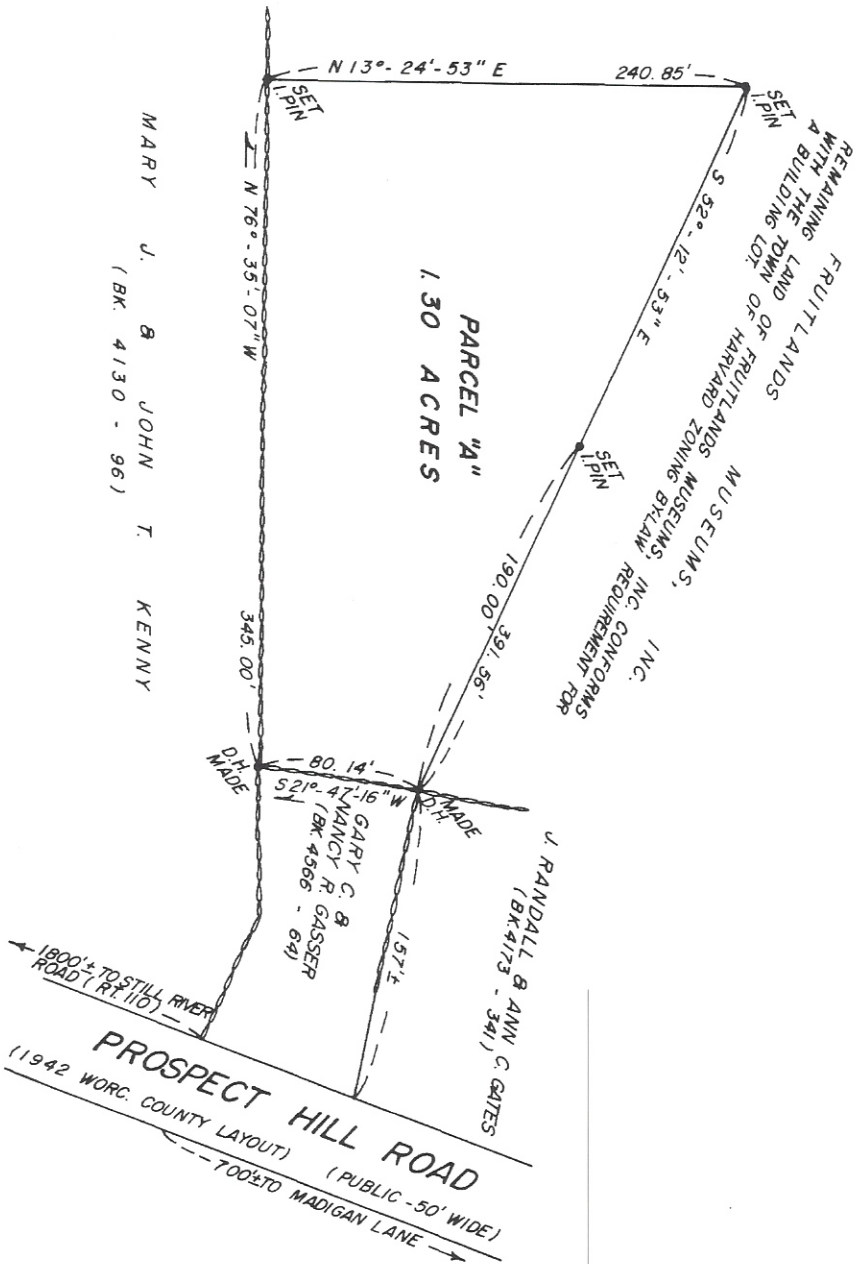
DATE: 12/21/10

*William D. Ringwall*  
 William D. Ringwall  
 William D. Ringwall  
 William D. Ringwall  
 William D. Ringwall

PLANNING BOARD ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH THE ZONING BYLAW.  
 APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED  
 HARVARD PLANNING BOARD

*REGISTERED DISTRICT REGISTER	
PLAN BOOK	7/10/11
RECEIVED	1/10/11
DATE	1/10/11
BY	JMT
IN BOOK	228.00
FEES	228.00
ATTENTION	Charles W. Gasser
REGISTER	REGISTER
JOB NO.	97231

FRUITLANDS MUSEUMS, INC.



MARY J. & JOHN T. KENNY  
(BK. 4130 - 96)

PARCEL "A"  
1.30 ACRES

PROSPECT HILL ROAD  
(PUBLIC - 50' WIDE)  
1800± TO STILL RIVER ROAD (RT. 110)  
700± TO MADIGAN LANE

NOTE:  
PARCEL "A" IS TO BE CONVEYED TO  
AND ANNEXED WITH ADJOINING LAND  
OF GARY C. & NANCY R. GASSER TO  
FORM ONE UNDIVIDED LOT.

**HARVARD PLANNING BOARD**

APPROVAL UNDER SUBDIVISION CONTROL LAW

NOT REQUIRED. C 41 S 81-P

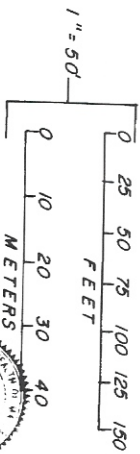
DATE: Oct 2, 1978

*Richard S. Davis*  
*Virginia N. Sawyer*  
*Alfred J. Bennett*

REGISTERED PROFESSIONAL SURVEYOR  
STATE OF MASSACHUSETTS  
No. 460, Exp. 12/31/80  
DATE: 9/26/78  
ATTN: *Richard S. Davis*

I CERTIFY THAT THIS PLAN  
CONFORMS WITH THE RULES  
AND REGULATIONS OF THE  
REGISTERS OF DEEDS.

DATE 9-26-78



SURV. T.L.C. CALC. V.E.G. TRACED P.L.T. CR'D. REG. MA 426-152  
DEED: REF: 1995-A, 2323

LAND IN  
**HARVARD, MASS.**  
SURVEYED FOR  
**FRUITLANDS MUSEUMS, INC.**

CHARLES A. PERKINS CO. INC.  
CIVIL ENGINEERS & SURVEYORS  
444 HIGH ST. - CLINTON, MASS 01501

SCALE: 1" = 50'  
SEPT. 1978  
JOB NO. 7838  
PLAN NO. M-3599



Abutters List Report  
Town of Harvard, MA

Date: November 6, 2023  
Parcel Number: 016-032-000  
Property Address: 164 Prospect Hill Rd  
Abutters To: 300ft

The above Certified Abutters List is a true copy of the records in the Town of Harvard Assessor's office for the last known names and addresses of owners of land located within the above stated range of the subject property.

Signed: \_\_\_\_\_

Carol Dearborn  
Assistant Assessor  
(978) 456-4100 x315

Date: \_\_\_\_\_

11/6/23

FINANCE DEPARTMENT - ACCOUNTANT, ASSESSORS, TREASURER/COLLECTOR  
13 Ayer Road, Harvard, Massachusetts 01451-1458  
[www.harvard-ma.gov](http://www.harvard-ma.gov)





# 300 feet Abutters List Report

Harvard, MA  
November 06, 2023

### Subject Property:

Parcel Number: 016-032-000-000  
CAMA Number: 016-032-000-000  
Property Address: 164 PROSPECT HILL RD

Mailing Address: GASSER, GARY C & NANCY R  
164 PROSPECT HILL RD  
HARVARD, MA 01451

### Abutters:

Parcel Number: 016-014-002-000  
CAMA Number: 016-014-002-000  
Property Address: PROSPECT HILL RD

Mailing Address: LEE, DOUGLAS K, TTE  
PO BOX 304  
HARVARD, MA 01451

Parcel Number: 016-031-000-000  
CAMA Number: 016-031-000-000  
Property Address: 167 PROSPECT HILL RD

Mailing Address: SULLIVAN, GREGORY T & SUSAN F  
167 PROSPECT HILL RD  
HARVARD, MA 01451

Parcel Number: 016-033-000-000  
CAMA Number: 016-033-000-000  
Property Address: 160 PROSPECT HILL RD

Mailing Address: HARTSHORNE, PRESCOTT  
160 PROSPECT HILL RD  
HARVARD, MA 01451

Parcel Number: 016-035-000-000  
CAMA Number: 016-035-000-000  
Property Address: 102 PROSPECT HILL RD

Mailing Address: THE TRUSTEES OF RESERVATIONS  
200 HIGH ST., 4TH FLOOR  
BOSTON, MA 02110

Parcel Number: 021-014-001-000  
CAMA Number: 021-014-001-000  
Property Address: 170 PROSPECT HILL RD

Mailing Address: LEE, DOLORES M, TTE  
PO BOX 304  
HARVARD, MA 01451

Parcel Number: 021-015-000-000  
CAMA Number: 021-015-000-000  
Property Address: 173 PROSPECT HILL RD

Mailing Address: NIGZUS, CHARLES & COLLEEN R  
173 PROSPECT HILL RD  
HARVARD, MA 01451



www.cai-tech.com

11/6/2023

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.





# 164 PROSPECT HILL RD

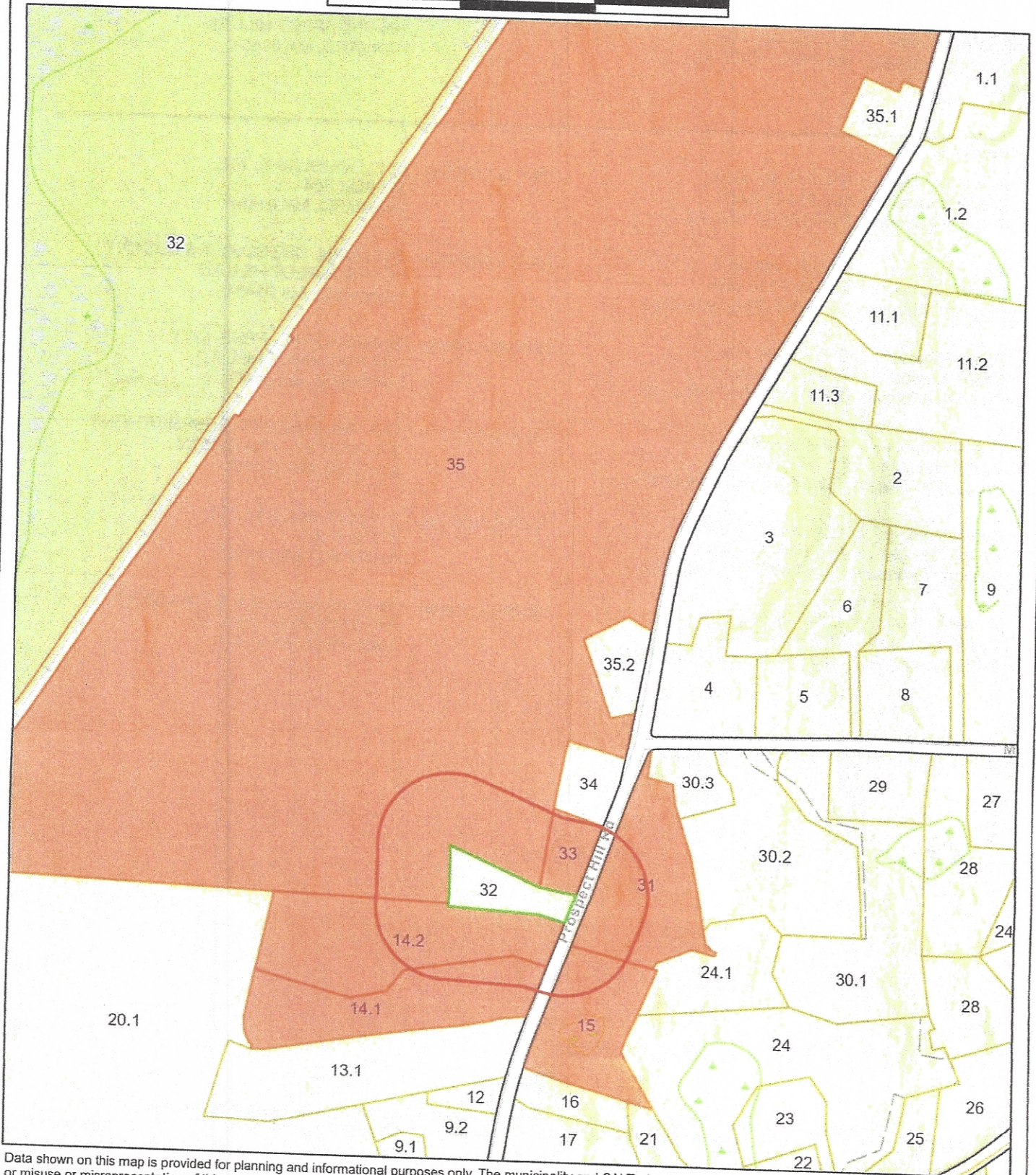
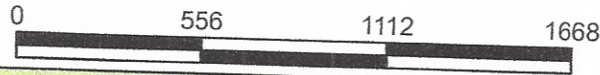
Town of Harvard, MA

1 inch = 556 Feet



www.cai-tech.com

November 6, 2023



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.





CX

286

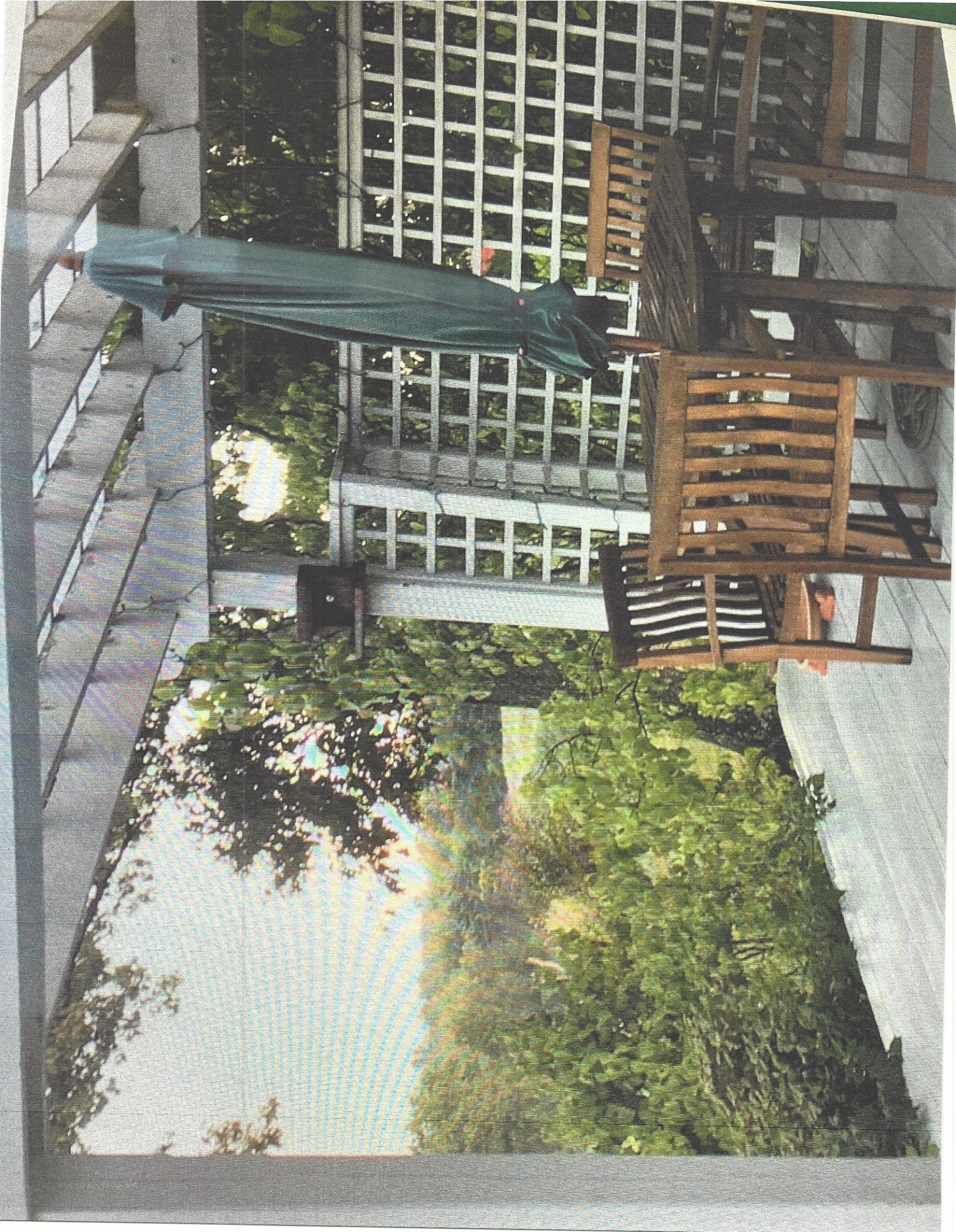
286



- 00:00



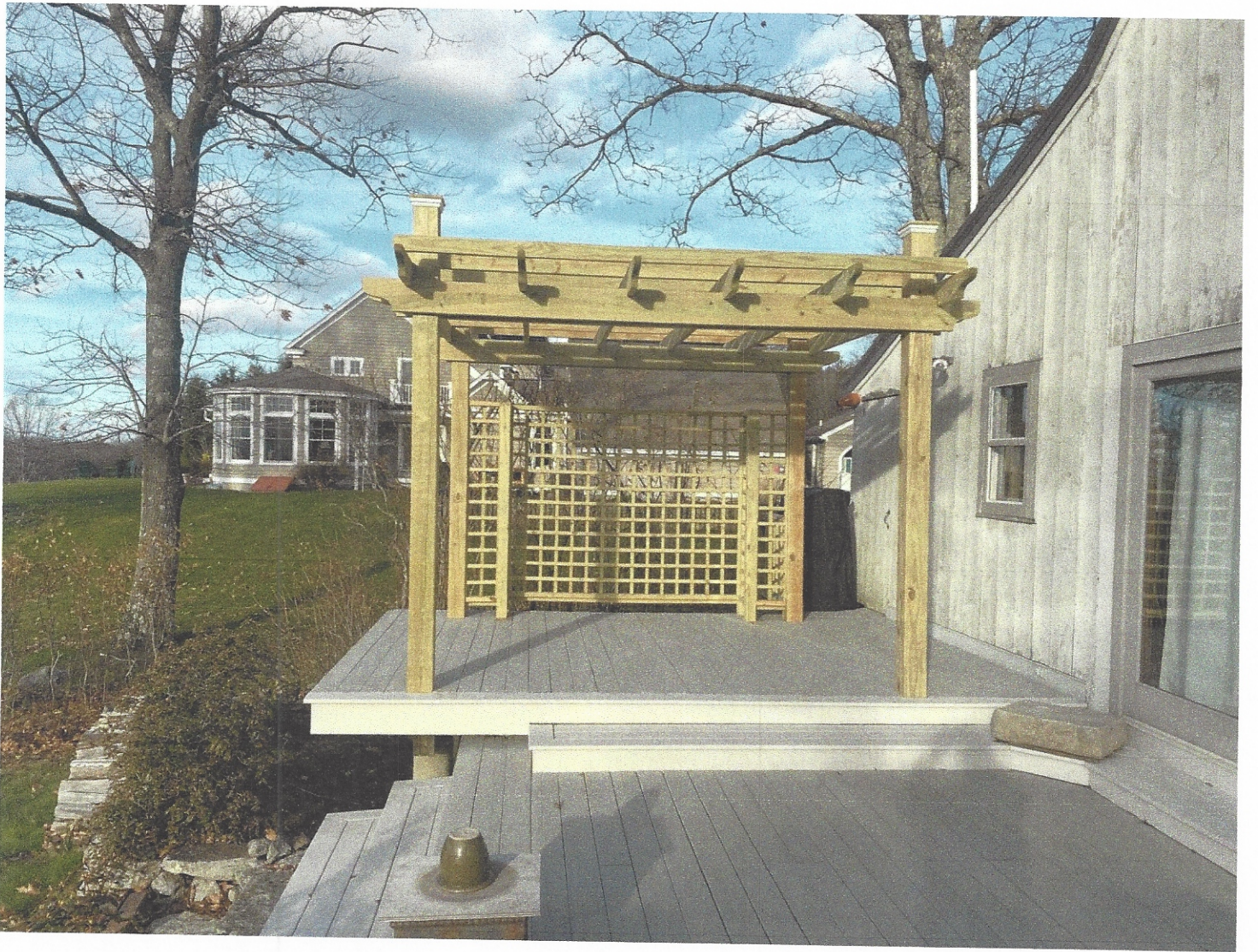














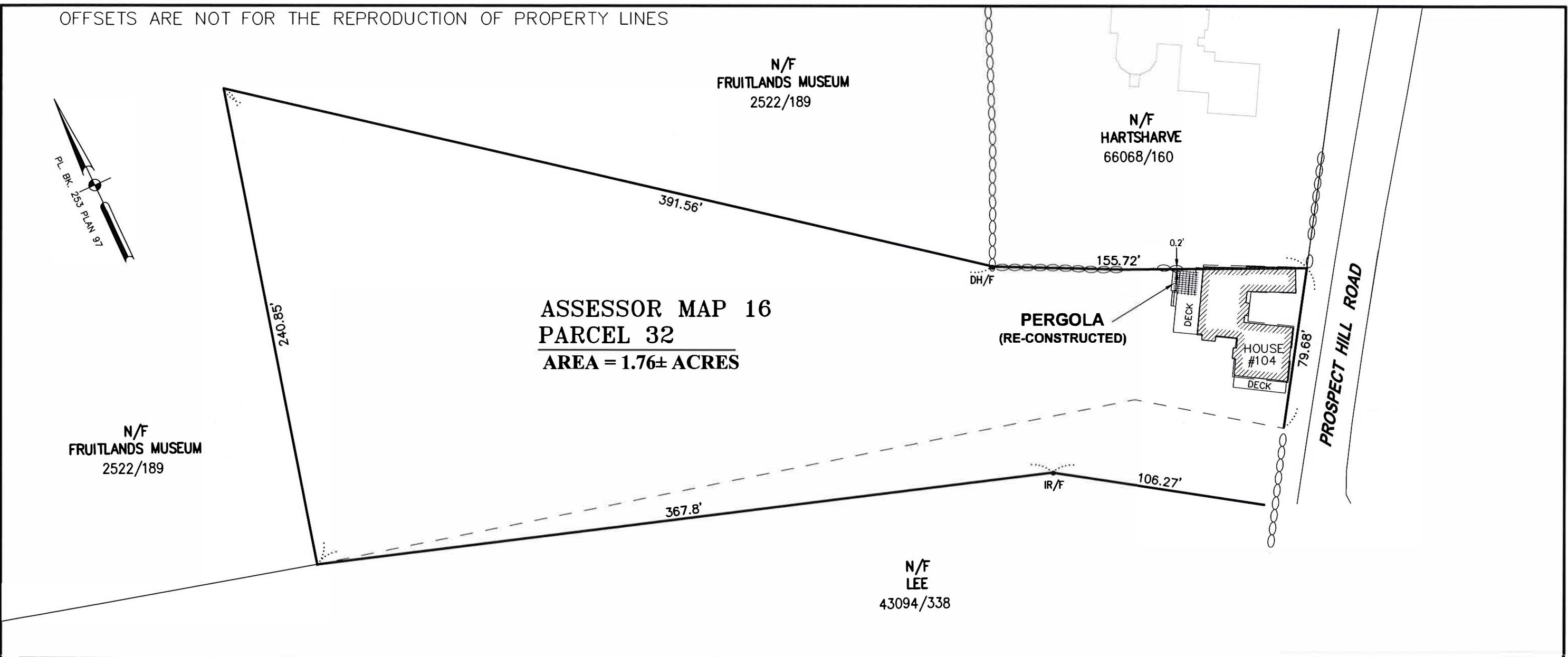




231085

P:\231085\DWG\SURVEY DWG\FINAL\231085\_CRP\_1A.DWG

OFFSETS ARE NOT FOR THE REPRODUCTION OF PROPERTY LINES

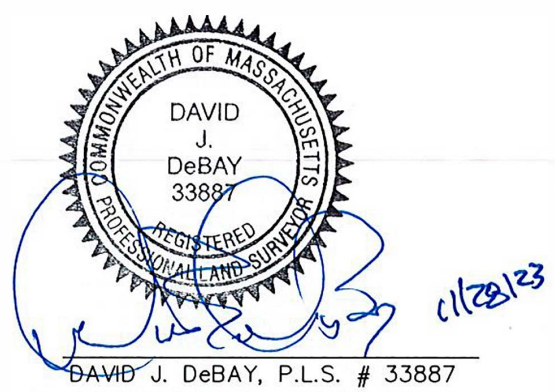


THE STRUCTURE SHOWN IS NOT IN A FLOOD HAZARD AREA, BEING ZONE X (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE F.E.M.A FLOOD INSURANCE RATE MAP FOR HARVARD, MASS., DATED JULY 4, 2011, COMMUNITY-PANEL NO. 250-27CO-313E. ZONE HAS BEEN DETERMINED BY SCALE AND IS NOT NECESSARILY ACCURATE. ACCURATE DETERMINATION CANNOT BE MADE UNLESS A VERTICAL CONTROL SURVEY IS PERFORMED.

ASSESSOR MAP 16, PARCEL 32  
DEED BOOK 43394 PAGE 126  
PLAN BOOK-743, PLAN #63

THIS LAND MAY BE SUBJECT TO EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, COVENANTS, OR OTHER LIMITATIONS WHICH MAY BE DISCLOSED BY A TITLE EXAMINATION.

THE EXISTING FEATURES SHOWN HAVE BEEN LOCATED BY AN INSTRUMENT SURVEY PERFORMED BY THIS OFFICE ON NOVEMBER 23, 2023.



FLD: AMB CALC: DSB DWN: DSB

**CONSTRUCTION RECORD PLAN  
#164 PROSPECT HILL ROAD  
HARVARD, MASS.**

PREPARED FOR: ZAIKIS HOME SERVICES  
DATE: NOVEMBER 28, 2023 SCALE: 1" = 50'



**GOLDSMITH, PREST & RINGWALL, INC.**  
39 MAIN ST., SUITE 301, AYER, MA 01432  
CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING  
VOICE: 978.772.1590 FAX: 978.772.1591 WEB: www.gpr-inc.com

231085



December 6, 2023  
17-5779

Harvard Zoning Board of Appeals  
c/o Ms. Liz Allard  
13 Ayer Road  
Harvard, MA

**VIA EMAIL**

**RE: 40b Site Plan Review  
“Craftsman Village”  
Ayer, Harvard, MA**

Dear Board Members:

Dillis & Roy Civil Design Group, Inc. (DR) has received the as built plans for the above referenced project. We have prepared this estimate for review of the plans and for compliance with the comprehensive permit decision and the approved plans. We thank you for the opportunity to provide you with this scope of service and proposal.

The following documents were received by DR:

1. Letter dated November 30, 2023 prepared by Hannigan Engineering, Inc.
2. As-built Site Plan dated November 29, 2023 prepared by Hannigan Engineering, Inc.

DR will review the submitted materials referenced above for compliance with the comprehensive permit decision and the approved plans. This review will include the following tasks:

1. A site visit,
2. Review of plans,
3. Preparation of a review report summarizing our review of the submitted materials,

DR will perform the above tasks on a Time & Materials Basis for a cost not to exceed \$2,000.00. Additional reviews and meetings with the Board or the applicant and representatives will entail additional fees. DR will provide an updated estimate for performing any work which is not included in this contract.

We trust this meets your needs at this time. Should you have any questions or require any additional information at this time, please do not hesitate to call me. DR will proceed with the review of the above referenced project after receiving authorization from the Town.

Regards,

**DILLIS & ROY**  
CIVIL DESIGN GROUP, INC.

A handwritten signature in blue ink, appearing to read 'Gregory S. Roy', is positioned above the printed name and title.

Gregory S. Roy, P.E.  
Vice President



**PROJECT INFORMATION**

<b>LAND INFORMATION</b>	
MAP/PARCEL:	2/7.1; 2/7.2
DEED BOOK/PAGE:	55901/55
LOT FRONTAGE:	481.20 FT
LOT AREA:	12.56 ACRES±
<b>ZONING INFORMATION</b>	
ZONING DISTRICT:	AGRICULTURAL-RESIDENTIAL
DIMENSIONAL REQUIREMENTS:	
MINIMUM AREA:	1.50 AC
MINIMUM FRONTAGE:	180 FEET
MAXIMUM HEIGHT:	35 FEET
MINIMUM SETBACKS:	
FRONT YARD:	40 FT
SIDE YARD:	40 FT
REAR YARD:	40 FT

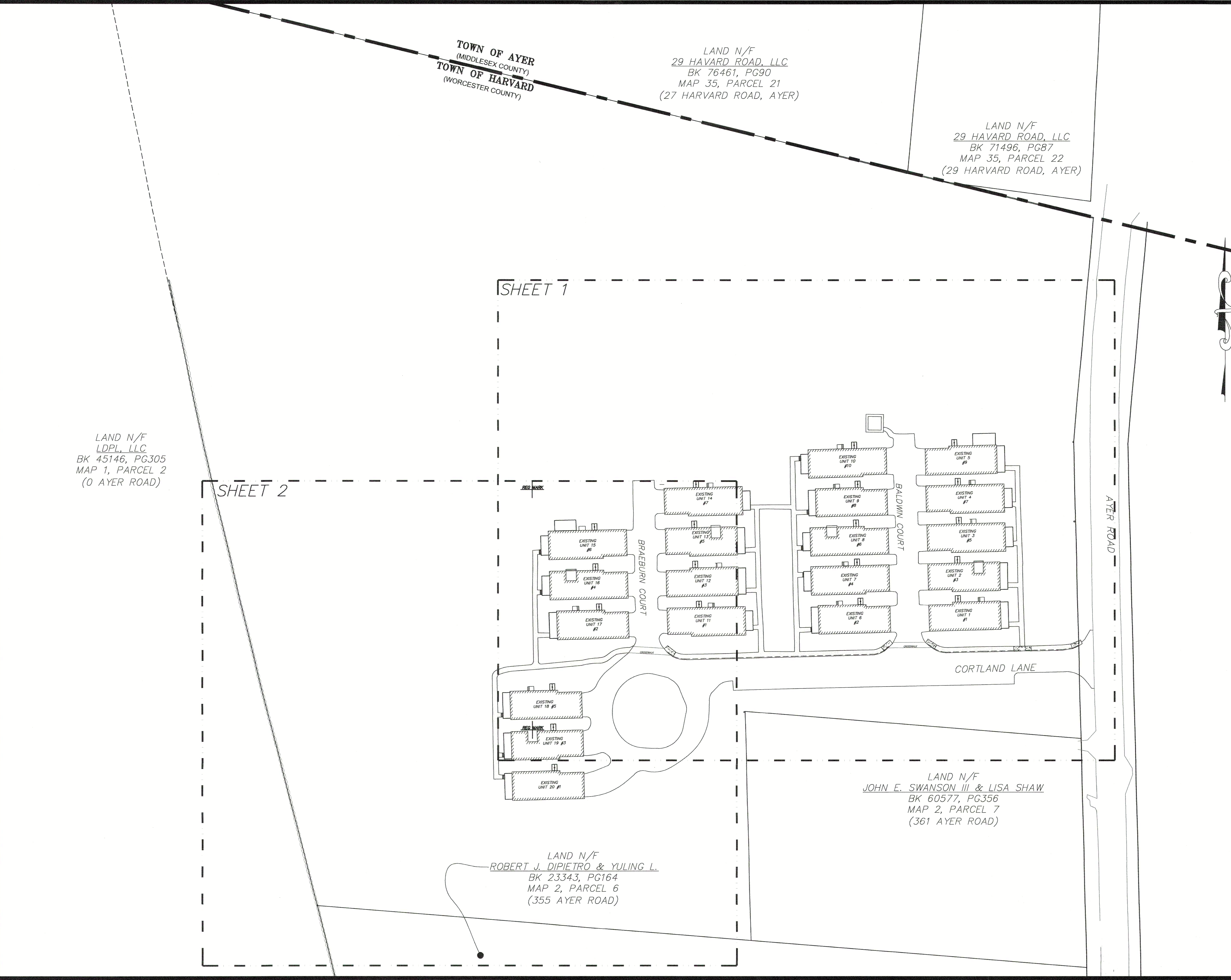
THE LIMIT OF WETLANDS SHOWN WAS APPROVED UNDER AN ORDER OF CONDITIONS ISSUED BY THE TOWN OF HARVARD CONSERVATION COMMISSION ON JULY 1, 2019 (DEP FILE NO. 177-0678) WHICH IS RECORDED AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK 30737 PAGE 169.

THE STRUCTURES SHOWN THEREON ARE NOT LOCATED WITHIN THE 100 YEAR FEDERAL FLOOD HAZARD AREA AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR WORCESTER COUNTY, MASSACHUSETTS, TOWN OF HARVARD, MAP NUMBER 25027C0312E DATED JULY 4, 2011.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A FULL TITLE REPORT AND IS SUBJECT TO ANY AND ALL RIGHTS AND ENCUMBRANCES THAT SUCH A REPORT MAY DISCLOSE.

HANNIGAN ENGINEERING INC. MAKES NO REPRESENTATION AS TO THE EXISTENCE OF ANY OTHER PRIVATE OR PUBLIC UTILITIES THAT MAY AFFECT THE SURVEYED PROPERTY.

**OWNER:**  
 CRAFTSMAN VILLAGE-HARVARD, LLC  
 5 COACHMAN RIDGE  
 SHREWSBURY, MASSACHUSETTS 01545



TOWN OF AYER  
 (MIDDLESEX COUNTY)  
 TOWN OF HARVARD  
 (WORCESTER COUNTY)

LAND N/F  
 29 HAVARD ROAD, LLC  
 BK 76461, PG90  
 MAP 35, PARCEL 21  
 (27 HARVARD ROAD, AYER)

LAND N/F  
 29 HAVARD ROAD, LLC  
 BK 71496, PG87  
 MAP 35, PARCEL 22  
 (29 HARVARD ROAD, AYER)

LAND N/F  
 LDPL, LLC  
 BK 45146, PG305  
 MAP 1, PARCEL 2  
 (0 AYER ROAD)

LAND N/F  
 JOHN E. SWANSON III & LISA SHAW  
 BK 60577, PG356  
 MAP 2, PARCEL 7  
 (361 AYER ROAD)

LAND N/F  
 ROBERT J. DIPIETRO & YULING L.  
 BK 23343, PG164  
 MAP 2, PARCEL 6  
 (355 AYER ROAD)

**CRAFTSMAN VILLAGE-HARVARD**

NO.	DATE	REVISIONS	BY



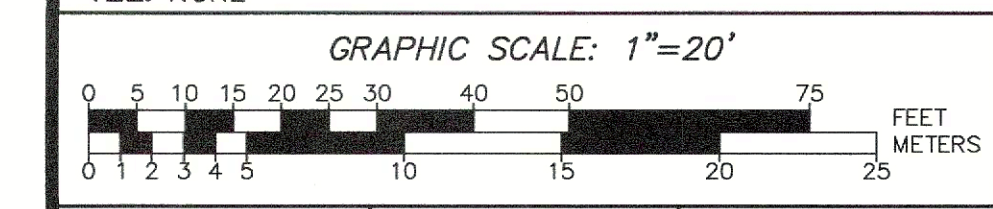
*David J. LeRoy 11-21-23*

**HANNIGAN ENGINEERING, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS

8 MONUMENT SQUARE (978) 534-1234 (T)  
 LEOMINSTER, MASSACHUSETTS 01453 (978) 534-6060 (F)  
 WWW.HANNIGANENGINEERING.COM

**AS-BUILT SITE PLAN**  
 IN  
**HARVARD, MASSACHUSETTS**

PREPARED FOR:  
 WESTON DEVELOPMENT GROUP, INC.  
 SOTIR PAPALLO  
 P.O. BOX 250  
 SHREWSBURY, MASSACHUSETTS 01545  
 TEL: NONE



CALC: CMA	DRWN: CMA/DJA	SCALE: 1"=20'
CHKD: DJL	APPD: DJL	DATE: NOV 29, 2023
SRV: JEF	FB: 82-138	JOB NO: 2992
TAB: ASBULT	SHEET 1 OF 3	PLAN NO: C-18-19



**PROJECT INFORMATION**

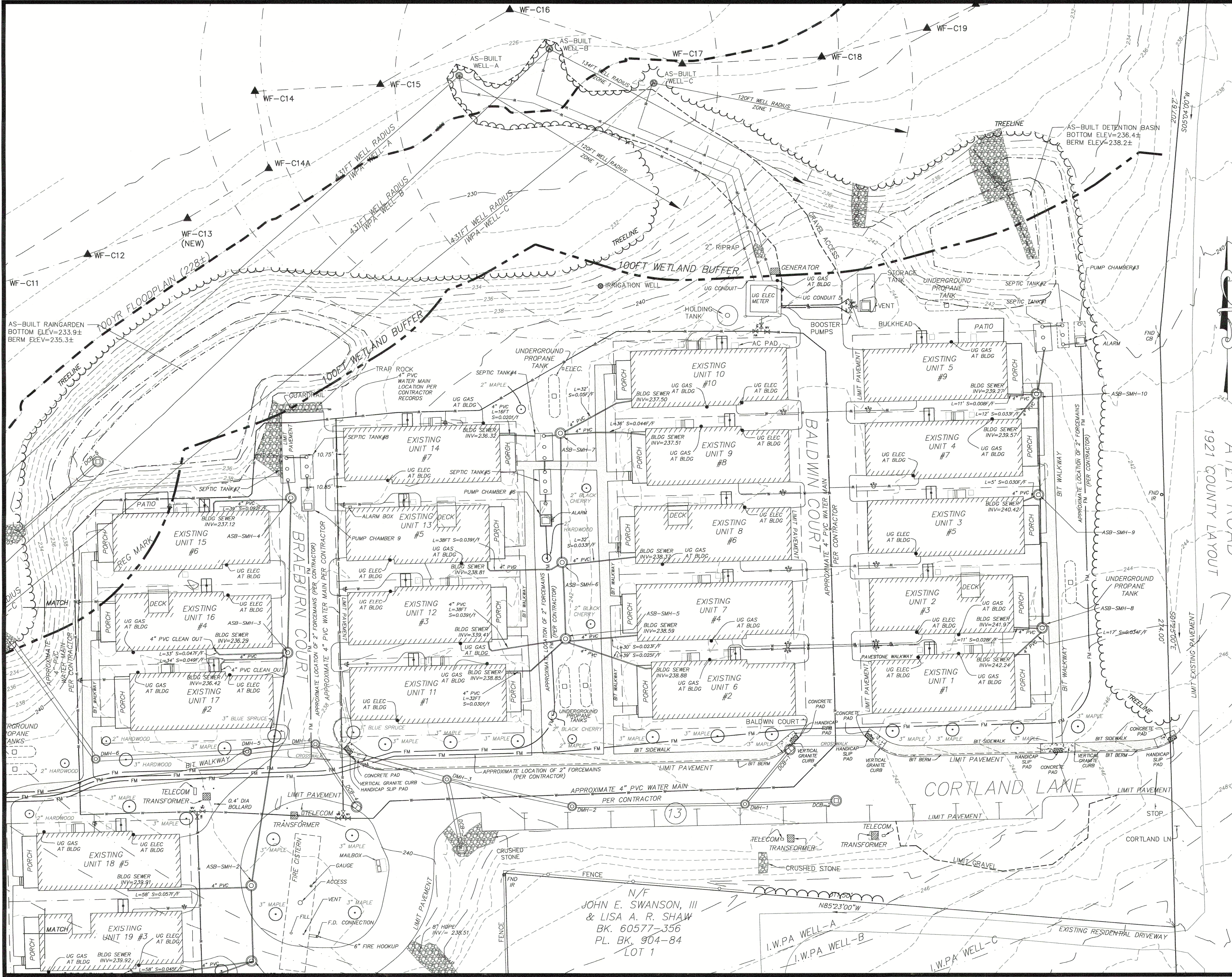
<b>LAND INFORMATION</b>	
MAP/PARCEL:	2/7.1; 2/7.2
DEED BOOK/PAGE:	55901/55
LOT FRONTAGE:	481.20 FT
LOT AREA:	12.56 ACRES±
<b>ZONING INFORMATION</b>	
ZONING DISTRICT:	AGRICULTURAL-RESIDENTIAL
DIMENSIONAL REQUIREMENTS:	
MINIMUM AREA:	1.50 AC
MINIMUM FRONTAGE:	100 FEET
MAXIMUM HEIGHT:	35 FEET
MINIMUM SETBACKS:	
FRONT YARD:	40 FT
SIDE YARD:	40 FT
REAR YARD:	40 FT

THE LIMIT OF WETLANDS SHOWN WAS APPROVED UNDER AN ORDER OF CONDITIONS ISSUED BY THE TOWN OF HARVARD CONSERVATION COMMISSION ON JULY 1, 2019 (DEP FILE NO. 177-0676) WHICH IS RECORDED AT THE WORCESTER DISTRICT REGISTRY OF DEEDS IN BOOK 30737 PAGE 169.

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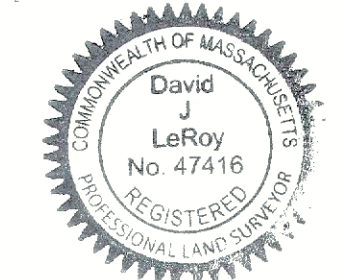
HANNIGAN ENGINEERING INC. MAKES NO REPRESENTATION AS TO THE EXISTENCE OF ANY OTHER PRIVATE OR PUBLIC UTILITIES THAT MAY AFFECT THE SURVEYED PROPERTY.

**OWNER:**  
CRAFTSMAN VILLAGE-HARVARD, LLC  
5 COACHMAN RIDGE  
SHREWSBURY, MASSACHUSETTS 01545



**CRAFTSMAN VILLAGE-HARVARD**

NO.	DATE	REVISIONS	BY



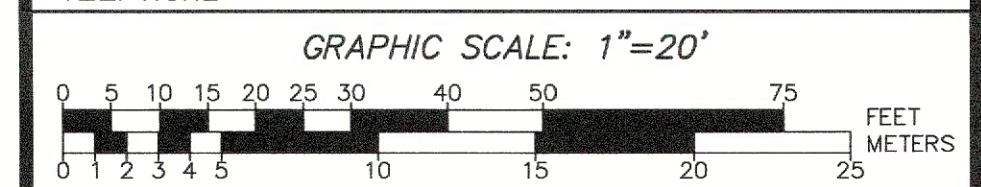
*David J. LeRoy 11-29-27*

**HANNIGAN ENGINEERING, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS

8 MONUMENT SQUARE (978) 534-1234 (T)  
LEOMINSTER, MASSACHUSETTS 01453 (978) 534-6060 (F)  
WWW.HANNIGANENGINEERING.COM

**AS-BUILT SITE PLAN**  
IN  
**HARVARD, MASSACHUSETTS**

PREPARED FOR:  
WESTON DEVELOPMENT GROUP, INC.  
SOTIR PAPALIO  
P.O. BOX 250  
SHREWSBURY, MASSACHUSETTS 01545  
TEL: NONE



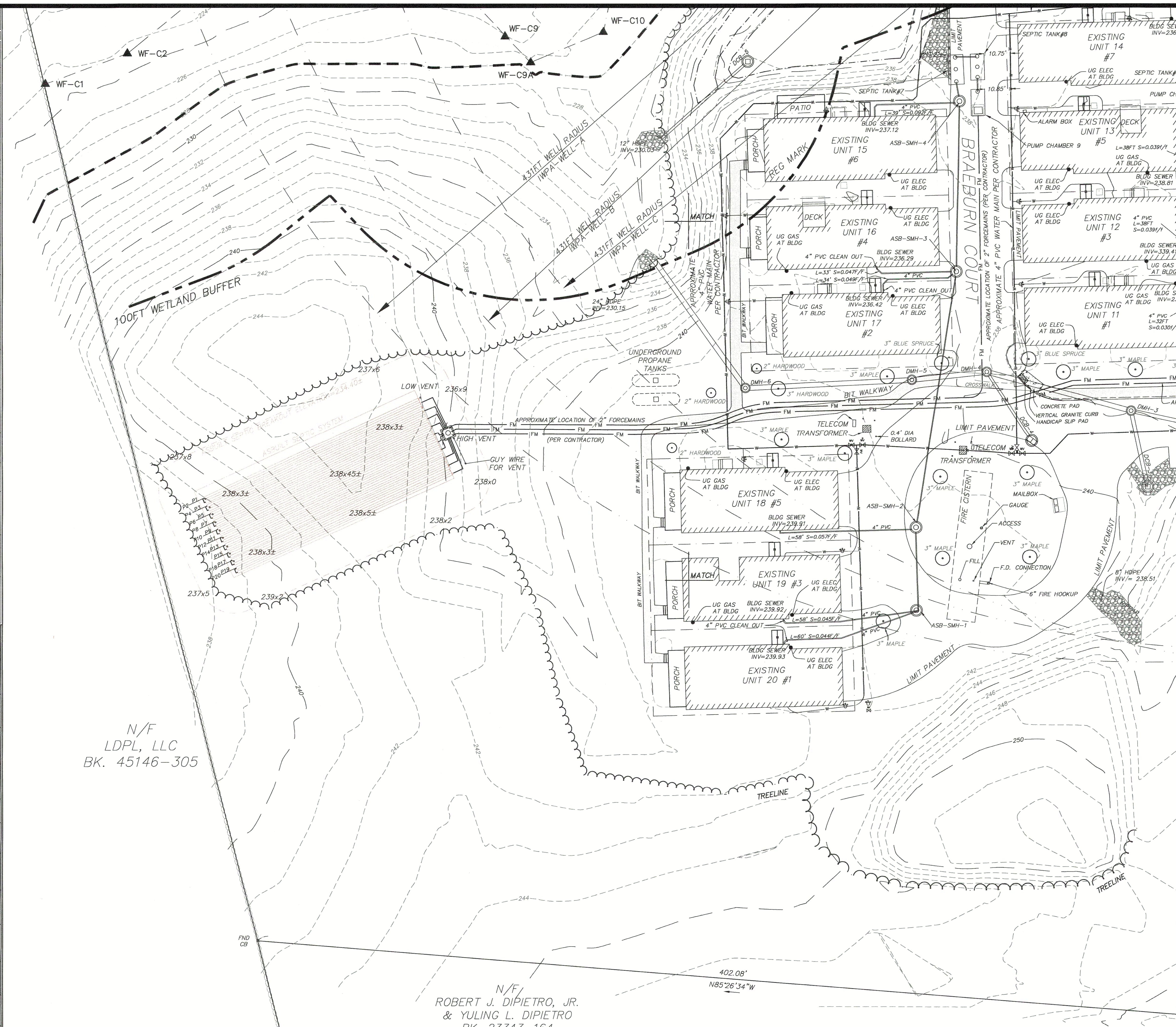
CALC: CMA	DRWN: CMA/DJA	SCALE: 1"=20'
CHKD: DJL	APPD: DJL	DATE: NOV 29, 2023
SRV: JEF	FB: 82-138	JOB NO: 2992
TAB: ASBULT	SHEET 2 OF 3	PLAN NO: C-18-19

N/F  
JOHN E. SWANSON, III  
& LISA A. R. SHAW  
BK. 60577-356  
PL. BK. 904-84  
LOT 1



SCHEDULE OF SEWAGE STRUCTURES & ELEVATIONS		
FROM	PIPE	TO
ASB-SMH-1 RIM=241.38 INV=237.3	4" PVC L=35' S=0.020 F/F	ASB-SMH-2 RIM=241.18 INV=236.62
ASB-SMH-2 RIM=241.18 INV=236.62	4" PVC L=109' S=0.018 F/F	ASB-SMH-3 RIM=239.5± INV=234.75
ASB-SMH-3 RIM=239.5± INV=234.75	4" PVC L=70' S=0.017 F/F	ASB-SMH-4 RIM=237.77 INV=233.55
ASB-SMH-4 RIM=237.77 INV=233.55	4" PVC L=8' S=0.013 F/F	SEPTIC TANK#7 RIM=237.3± TOP TANK=234.9± INV-IN=233.45 INV-OUT=233.27 BOT TANK=228.35
SEPTIC TANK#7 RIM=237.3± TOP TANK=234.9± INV-IN=233.45 INV-OUT=233.27 BOT TANK=228.35	4" PVC L=8' S=0.010 F/F	SEPTIC TANK#8 RIM=237.6± TOP TANK=234.75± INV-IN=233.19 INV-OUT=233.00 BOT TANK=228.60
SEPTIC TANK#8 RIM=237.6± TOP TANK=234.75± INV-IN=233.19 INV-OUT=233.00 BOT TANK=228.60	4" PVC L=6' S=0.048 F/F	PUMP CHAMBER #9 RIM=237.6± TOP TANK=234.75± INV-IN=233.19 INV-OUT=233.00 BOT TANK=228.60
ASB-SMH-5 RIM=241.52 INV IN=237.90	4" PVC L=31' S=0.023 F/F	ASB-SMH-6 RIM=241.60 INV IN=235.97
ASB-SMH-6 RIM=241.60 INV IN=237.31 INV OUT=237.20	4" PVC L=56' S=0.023 F/F	ASB-SMH-7 RIM=241.61 INV IN=235.90 INV OUT=235.87
ASB-SMH-7 RIM=241.61 INV IN=235.90 INV OUT=235.87	4" PVC L=5' S=0.114 F/F	SEPTIC TANK#4 RIM=241.0± TOP TANK=237.35 INV-IN=235.69 INV-OUT=235.50 BOT TANK=229.40
SEPTIC TANK#4 RIM=241.0± TOP TANK=237.35 INV-IN=235.69 INV-OUT=235.50 BOT TANK=229.40	4" PVC L=5' S=0.023 F/F	SEPTIC TANK#5 RIM=241.0± TOP TANK=237.30 INV-IN=235.43 INV-OUT=235.23 BOT TANK=229.68
SEPTIC TANK#5 RIM=241.0± TOP TANK=237.30 INV-IN=235.43 INV-OUT=235.23 BOT TANK=229.68	4" PVC L=5' S=0.030 F/F	PUMP CHAMBER #6 RIM=241.0± TOP TANK=237.25 INV-IN=235.08 FM OUT=235.42 BOT TANK=229.60
ASB-SMH-8 RIM=243.81 INV IN=241.66 INV OUT=241.47	4" PVC L=60' S=0.022 F/F	ASB-SMH-9 RIM=243.68 INV IN=240.27 INV CTR=240.14
ASB-SMH-9 RIM=243.68 INV IN=240.27 INV CTR=240.14	4" PVC L=60' S=0.022 F/F	ASB-SMH-10 RIM=243.68 INV IN=239.18 INV OUT=239.17
ASB-SMH-10 RIM=243.68 INV IN=239.18 INV OUT=239.17	4" PVC L=19' S=0.022 F/F	SEPTIC TANK#1 RIM=242.4± TOP TANK=240.25± INV-IN=238.74 INV-OUT=238.49 BOT TANK=233.75
SEPTIC TANK#1 RIM=242.4± TOP TANK=240.25± INV-IN=238.74 INV-OUT=238.49 BOT TANK=233.75	4" PVC L=7' S=0.017 F/F	SEPTIC TANK#2 RIM=242.4± TOP TANK=240.0± INV-IN=238.74 INV-OUT=238.20 BOT TANK=233.99
SEPTIC TANK#2 RIM=242.4± TOP TANK=240.0± INV-IN=238.74 INV-OUT=238.20 BOT TANK=233.99	4" PVC L=7' S=0.014 F/F	PUMP CHAMBER#3 COVER=241.55± TOP TANK=241.60 INV-IN=238.10 F.M. OUT=238.62 BOT TANK=232.74

SCHEDULE OF DRAINAGE STRUCTURES & ELEVATIONS		
FROM	PIPE	TO
DCB-1 RIM=241.10 INV=237.80(OUT)	12" HDPE L=33' S=0.080 F/F	DMH-1 RIM=241.05 INV=235.15(N) INV=235.10(OUT)
DCB-2 RIM=241.34 INV=235.54(OUT)	12" HDPE L=42' S=0.009 F/F	DMH-1 RIM=241.05 INV=235.15(N) INV=235.10(OUT)
DCB-3 RIM=237.67 INV=233.9(OUT)	18" HDPE L=33' S=0.006 F/F	DMH-3 RIM=239.94 INV=233.70(N-S) INV=233.20(N-E) INV=232.74(OUT)
DCB-4 RIM=239.51 INV=234.11(OUT)	12" HDPE L=35' S=0.016 F/F	DMH-4 RIM=240.16 INV=233.56(N-S) INV=232.56(OUT) INV=232.46(N-E)
DCB-5 RIM=234.71 INV=230.19(OUT)	12" HDPE L=49' S=0.003 F/F	OUTLET INV=230.03
DMH-1 RIM=241.05 INV=235.15(N) INV=235.10(OUT)	12" HDPE L=80' S=0.011 F/F	DMH-2 RIM=240.20 INV=234.40(OUT) INV=234.20(N)
DMH-2 RIM=240.20 INV=234.20(N) INV=234.40(OUT)	18" HDPE L=59' S=0.019 F/F	DMH-3 RIM=239.94 INV=233.84(N-S) INV=233.29(N-E) INV=232.74(OUT)
DMH-3 RIM=239.94 INV=233.70(N-S) INV=233.29(N-E) INV=232.74(OUT)	24" HDPE L=63' S=0.004 F/F	DMH-4 RIM=240.16 INV=233.56(N-S) INV=232.56(OUT) INV=232.46(N-E)
DMH-4 RIM=240.16 INV=233.56(N-S) INV=232.56(OUT) INV=232.46(N-E)	24" HDPE L=32' S=0.017 F/F	DMH-5 RIM=240.51 INV=232.01(N) INV=231.86(OUT) HYDROWORKS HS4
DMH-5 RIM=240.51 INV=232.01(N) INV=231.86(OUT) HYDROWORKS HS4	24" HDPE L=70' S=0.010 F/F	DMH-6 RIM=241.48 INV=231.18(N) INV=231.18(OUT)
DMH-6 RIM=241.48 INV=231.18(N) INV=231.18(OUT)	24" HDPE L=6' S=0.016 F/F	OUTLET INV=230.15



PROJECT INFORMATION	
<b>LAND INFORMATION</b>	MAP/PARCEL: 2/7.1, 2/7.2 DEED BOOK/PAGE: 55901/55 LOT FRONTAGE: 481.20 FT LOT AREA: 12.56 ACRES±
<b>ZONING INFORMATION</b>	ZONING DISTRICT: AGRICULTURAL-RESIDENTIAL DIMENSIONAL REQUIREMENTS: MINIMUM AREA: 1.50 AC MINIMUM FRONTAGE: 180 FEET MAXIMUM HEIGHT: 35 FEET MINIMUM SETBACKS: FRONT YARD: 40 FT SIDE YARD: 40 FT REAR YARD: 40 FT

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**OWNER:**  
CRAFTSMAN VILLAGE-HARVARD, LLC  
5 COACHMAN RIDGE  
SHREWSBURY, MASSACHUSETTS 01545

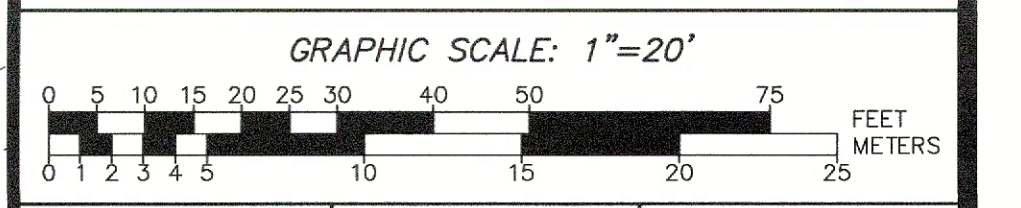


**HANNIGAN ENGINEERING, INC.**  
CIVIL ENGINEERS & LAND SURVEYORS

8 MONUMENT SQUARE LEOMINSTER, MASSACHUSETTS 01453 (978) 534-1234 (T) (978) 534-6060 (F)  
WWW.HANNIGANENGINEERING.COM

**AS-BUILT SITE PLAN**  
IN  
**HARVARD, MASSACHUSETTS**

PREPARED FOR:  
WESTON DEVELOPMENT GROUP, INC.  
SOTIR PAPALLO  
P.O. BOX 250  
SHREWSBURY, MASSACHUSETTS 01545  
TEL: NONE



CALC: CMA	DRWN: CMA/DJA	SCALE: 1"=20'
CHKD: DJL	APPD: DJL	DATE: NOV 29, 2023
SRV: JEF	FB: 82-138	JOB NO: 2992
TAB: ASBULT	SHEET 3 OF 3	PLAN NO: C-18-19

N/F  
LDPL, LLC  
BK. 45146-305

N/F/  
ROBERT J. DIPIETRO, JR.  
& YULING L. DIPIETRO  
BK. 23343-164  
PL. BK. 122-50  
LOT 5



Christopher Tracey, Chair  
**Harvard Zoning Board of Appeals**  
13 Ayer Road  
Harvard, Massachusetts 01451

November 30, 2023

**RE: Craftsman Village Harvard  
Ayer Road, Harvard  
Final As-Built Review**

Dear Mr. Tracey,

On behalf of our client, Craftsman Village Harvard, Hannigan Engineering, Inc. is submitting this Final As-built review for the Craftsman Village project off of Ayer Road in Harvard, Massachusetts. The project was approved by the Harvard Zoning Board of Appeals (ZBA) in December of 2019 for the construction twenty two-bedroom condominium units, along with applicable access and utility improvements. At this time the project proponent has completed construction for the entire development including all residential units along with the required access and utility improvements associated with these units. The purpose of this letter is to provide the Board a review of the final condition of the site building and construction completed for the final Certificate of Occupancy and close out of the construction phase of the project.

At this time, all construction activities have been completed and the site has been constructed in substantial compliance with the originally approved plan with the noted exceptions:

- Rain Garden Construction: During construction unsuitable soils were found at depths inconsistent with the Original Design Plan. In order to construct the Garden appropriately, the feature was raised in elevation by approximately a foot. This office has reviewed the modified Garden and have found that the Garden provides a commensurate volumetric capacity and will function as originally intended.
- Excess Fill Pile: During construction additional excess fill was found on site that could not be removed from the property. As such the excess fill pile was constructed larger than what was originally anticipated. The pile has been regarded appropriately to ensure slope stability and the area has been stabilized with loam and seed.
- Building Separation: The structures for Units #11 through #20 spacing was increased from the originally designed 10-feet to 11-feet as required by Fire Protection requirements.

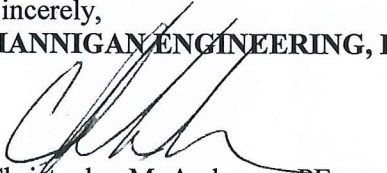
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**HANNIGAN  
ENGINEERING, INC.**

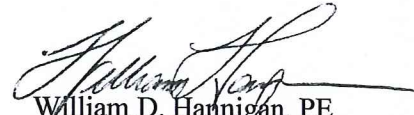
8 MONUMENT SQUARE, LEOMINSTER, MA 01453 PHONE: (978) 534-1234 | CIVIL ENGINEERS & LAND SURVEYORS

Hannigan Engineering, Inc. is providing this information to assist the Board, and the Town Departments, in their review of the final Certificate of Occupancy. Please find copies of the As-Built Site Plan. We look forward to working with you on this project and would be available to meet and review aspects of the project should questions arise.

Sincerely,  
**HANNIGAN ENGINEERING, INC**



Christopher M. Anderson, PE  
Project Engineer



William D. Hannigan, PE  
President

pc: Sotir Papalilo  
Mark O'Hagan

J:\My Documents\PROJECTS\2900+2992-Weston Development Group-Harvard\ZBA\2992-Final As-Built Review 2023.11.30.docx