

**TOWN OF HARVARD  
PLANNING BOARD AGENDA  
MONDAY, JUNE 5, 2023 @ 7:00PM**

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Pursuant to Chapter 2 of the Acts of 2023, An Act Making Appropriations for the Fiscal Year 2023 to Provide for Supplementing Certain Existing Appropriations and for Certain Other Activities and Projects, and signed into law on March 29, 2023, this meeting will be conducted via remote participation. Interested individuals can listen in and participate by phone and/or online by following the link and phone number below.

THVolGovt Pro is inviting you to a scheduled Zoom meeting.

Join Zoom Meeting

<https://us02web.zoom.us/j/84995624514?pwd=NTUwdkZFL3NITHRXUGZmcEh0WGJIUT09>

Meeting ID: 849 9562 4514

Passcode: 493988

One tap mobile

+13017158592,,84995624514# US (Washington DC)

+13052241968,,84995624514# US

Dial by your location

+1 301 715 8592 US (Washington DC)

+1 305 224 1968 US

+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

Meeting ID: 849 9562 4514

Find your local number: <https://us02web.zoom.us/j/84995624514?pwd=NTUwdkZFL3NITHRXUGZmcEh0WGJIUT09>

**Public Comment**

- New Business:**
- a) **Approve Not Require Endorsement (§125-29B) & Erosion Control Major permit**  
(§125-58E(3)(b)) – 257 Ayer Road (Map 4 // Parcel 49.2.2)
  - b) **Approve Not Require Endorsement (§125-29B) 214 Littleton Road (Map 9 // Parcel 54.1)**

**Public Hearings:**

**7:30pm Special Permit Hearing – William Ference, 247 Littleton County Road for Site Plan Review**

**8:00pm Continuation of a Special Permit Hearing – 203 Ayer Road, Yvonne Chern**

- Old Business:**
- a) Prospective MBTA Multi-family zoned district (MRPC compliance update)
  - b) Open Space Residential Development Bylaw Amendment (§125-35) prep update
  - c) Potential violations and fines: 320 Ayer Road - Chestnut Landscaping

**Standard Business:** a) Board Member Reports

- Representatives & Liaisons Update
- Community Matters

b) Approve Minutes

c) Invoices

**NEXT SCHEDULED MEETING:  
MONDAY, JUNE 26, 2023**

AS

# **Site Plan Review & Erosion Control (Major) Permit Application**

***257 Ayer Road  
Ayer, MA***

***May 2023***

**Submitted to:  
*Harvard Planning Board  
13 Ayer Road  
Harvard, MA 01451***

**Submitted by:  
*Office at 257 Ayer Rd LLC  
257 Ayer Road  
Harvard, MA***

**Prepared by:  
*Goldsmith, Prest & Ringwall, Inc.  
39 Main Street, Suite 301  
Ayer, MA 01432***

**Project No:  
*231018***







### APPLICATION TO THE HARVARD PLANNING BOARD

Applicants should review the Harvard Protective (Zoning) Bylaw, Chapter 125 of the Code of the Town of Harvard, the Planning Board's Rules and Regulations, Chapter 133 of the Code of the Town of Harvard and the Requirements regarding Driveway Inspections (Chapter 125 of the Protective Bylaw). Copies of the Bylaw may be purchased from the Town Clerk and copies of the Rules and Regulations may be purchased from the Land Use Office. Information is also available online at [www.harvard.ma.us](http://www.harvard.ma.us). The Rules and Regulations specify the documents that are required as a part of the application. The Application, with certified abutters list and filing fee, must be filed with the Town Clerk.

Name of Applicant: OFFICE OF 257 AYER RD LLC

Address: 257 AYER ROAD Phone: 617-834-4189 Email: BHAIREDDY@YAHOO.COM

Applicant is (check one): Owner ☒ Agent ☐ Prospective Buyer ☐

Location of Property: 257 AYER ROAD Zoning District: COMMERCIAL

Harvard Assessors' Map 4 Parcel 49.2.2

Registry of Deeds: Book Number 64619 Page Number 93

Owner's Name: SAME AS APPLICANT Email: SAME AS APPLICANT

Owner's Address: 79 CANTERBURY HILL ROAD, ACTON, MA Owner's Phone: SAME AS APPLICANT

Seventeen (17) copies of the application must be submitted to the Town Clerk. This application is for:

<input type="checkbox"/> Special Permits*	\$500/required permit
<input type="checkbox"/> Driveway Site Plan	\$180
<input type="checkbox"/> Inspections of Driveways	\$300
<input type="checkbox"/> Approval of Covenant	\$100
<input type="checkbox"/> Wireless Communication Tower	\$2500
<input type="checkbox"/> Consultant Review Fee**	\$1000
<input type="checkbox"/> Site Plan Review with a Special Permit	\$180
<input checked="" type="checkbox"/> Site Plan Review without a Special Permit	\$500
<input type="checkbox"/> Modification/Extension	½ of original application fee

Specific bylaw section(s) you are applying under 125-38.B - PROPOSED COMMERCIAL DEVELOPMENT UNDER 125-39.

\* Unless otherwise specified

\*\* Required with all Special Permit Applications. This is a deposit to cover costs of Planning Board consultants and additional amounts may be required depending on the complexity of the Application. All unused monies will be returned. Please submit "Request for New Vendor" form with application. (Available on line at [www.harvard.ma.us](http://www.harvard.ma.us) under Forms & Documents)

All applications associated with a Wireless Communication Tower requires proof of compliance with § 125-27H(2)

All filing fees are cumulative. All Special Permits and uses subject to Site Plan Approval require Driveway Inspections and written approval by the Planning Board, or its agent, prior to issuance of an occupancy permit or use of the premises (§ 125-31 C) All Shared (common) Driveways require an approved covenant running with the land in accordance with § 125-31 B (4) (b). The applicant will be required to pay a local newspaper of general circulation for the current cost of advertising the hearing. The applicant will be billed directly from the newspaper for the cost of the advertised hearing or all advertising must be paid for in full prior to submittal to the newspaper. The undersigned hereby requests a hearing before the Planning Board with reference to this application.

Signed: *Sam Z.* GPR, AS AGENT  
OF APPLICANT



## EROSION CONTROL APPLICATION

Applicants should review the Harvard Protective (Zoning) Bylaw, Chapter 125-58 of the Code of the Town of Harvard, the Planning Board's Rules and Regulations, Chapter 133 of the Code of the Town of Harvard. Copies of the Bylaw may be purchased from the Town Clerk and copies of the Rules and Regulations may be purchased from the Land Use Office. Information is also available online at [www.harvard-ma.gov](http://www.harvard-ma.gov). The Rules and Regulations specify the documents that are required as a part of the application.

Applicant's Name: OFFICE AT 257 AYER ROAD LLC  
Address: 257 AYER ROAD Phone: 617-834-4189 Email: BHAIREDDY@YAHOO.COM  
Applicant is (check one): Owner X Agent \_\_\_\_\_ Prospective Buyer \_\_\_\_\_  
Location of Property: 257 AYER ROAD Zoning District: C  
Harvard Assessors' Map 4 Parcel 49.2.2  
Owner's Name: OFFICE AT 257 AYER ROAD LLC Email: BHAIREDDY@YAHOO.COM  
Owner's Address: 257 AYER ROAD, HARVARD, MA Owner's Phone: 617-834-4189

Signed: Law Z. GPR, AS AGENT  
OF APPLICANT

### APPLICATION CHECK LIST


#### Minor Permit

- ☐ Sketch plan showing limits, scope of work and proposed Best Management Practices (BMPs)
- ☐ Project narrative that includes a description of the proposed project and a description of how and where stormwater will be controlled and erosion and sediment controls to be used
- ☐ \$25.00 filing fee

#### Major Permit

- ☒ Applicants shall file one (1) original completed application packet and seven (7) copies
- ☒ Project narrative that includes a description of the proposed project and a description of how and where stormwater will be controlled and erosion and sediment controls to be used, plus a description of any specimen trees within the project area.
- ☒ Engineered plan set, signed and stamped by a professional engineer or a professional land surveyor registered in the Commonwealth of Massachusetts, and drawn at a legible scale and including:

- **Existing and proposed conditions plans**, which shall identify significant natural features and native trees greater than a diameter of (6) inches within the project area.
- **Erosion control plan**, which shall include the following related specifically to the disturbance area:
  - Location of all structural and non-structural erosion and sediment control measures and BMPs;
  - Locations where stabilization practices are expected to occur;
  - Locations for storage of materials, waste, vehicles, equipment, soil, snow, and other potential contaminants;
  - Operations and Maintenance Plan for BMP's including inspections and maintenance activities as noted in §133-41 below;
  - Areas where previous stabilization has been accomplished and no further construction-phase permit requirements apply; and
  - Any other information deemed necessary by the Planning Board.

 \$200.00 filing fee



May 2, 2023

Harvard Planning Board  
13 Ayer Road  
Harvard, MA 01451

RE: Application for Site Plan Review &  
Erosion Control Permit (Major)  
257 Ayer Road, Harvard, MA

Dear Board Members:

On behalf of the Applicant, Office at 257 Ayer Rd, and in accordance with Section 125.38.B, LLC, GPR hereby submits an application for a Site Plan Review for the proposed project at 257 Ayer Road.

The subject site is a 1.28± AC (55,974 SF) lot within the Harvard Commercial District, known as Map Parcel ID 4-49.2.2 under the Harvard Assessors Department. The existing building on site is an office building that shares a common driveway access with an elderly housing building located on the adjacent lot west of the subject site and another office building located on the adjacent lot south of the subject site. The existing office building on the subject site is currently being used by multiple businesses that are sharing two parking areas located on the east and west side of the existing building. There are currently 21 marked parking spaces on the east parking area (one being a handicap/van accessible space), and one marked handicap parking space on the west parking area. It also appears that there are potentially 18 additional parking spaces that are unmarked, but clearly are being used to serve the existing businesses on site. Including the unmarked spaces, there are a total of 40 existing parking spaces on site, two of which are handicap accessible spaces.

The common driveway was permitted and constructed under the Harvard Planning Board Special Permit for a common driveway back in 1994. As part of the design and permitting process for the common driveway, drainage conveyance structures and an infiltration basin were proposed to treat and attenuate stormwater runoff generated by the proposed common driveway, as well as the three developments for which the common driveway is servicing.

The project proposes to expand the existing east parking lot. The proposed parking lot expansion will provide 13 additional parking spaces to the existing 21 parking on the northeastern portion of the subject site, as well as providing an enclosed concrete pad area for the on-site dumpster and extending the brick walkway. The proposed 13 additional parking spaces will bring the number of parking spaces on site to a total of 53. One of the existing

**Goldsmith, Prest & Ringwall, Inc.**

regular parking spaces will be converted to a handicap accessible space, in order to provide a total of three handicap accessible spaces in accordance with ADA requirement.

A proposed catch basin will also be provided to capture the stormwater runoff generated by the proposed expansion area and connect to the existing onsite drainage conveyance system leading down to the existing infiltration basin.

Additional site lighting similar to the existing shall be provided for the parking expansion area. Site lighting shall have cut off fixture and direct rays from the light source shall be confined to the property boundaries.

The proposed parking area expansion will increase the on-site impervious area by approximately 4,905± SF. With the existing onsite Open Space area of approximately 33,742± SF, the increase in impervious area by the proposed project will reduce the Open Space area to approximately 28,837± SF, which is still over the 27,987 SF (50%) of required Open Space area as required per Section 125-39.C(2) of the Harvard Zoning Bylaw for commercial uses. The proposed expansion will also maintain a minimum of 20-ft buffer strip around the perimeter for Open Space area as required per Section 125-39.C(1). Landscaping planting has also been provided as a buffer between Ayer Road and the proposed parking expansion. Additionally, two 20-ft wide green spaces are provided to separate the existing east parking area and the expansion area as mentioned above. Said green spaces are provided to satisfy the requirement under Section 125-39.C(3).

Erosion control barrier shall be installed prior to and maintained throughout construction. The erosion control barrier shall be removed once the site has been stabilized.

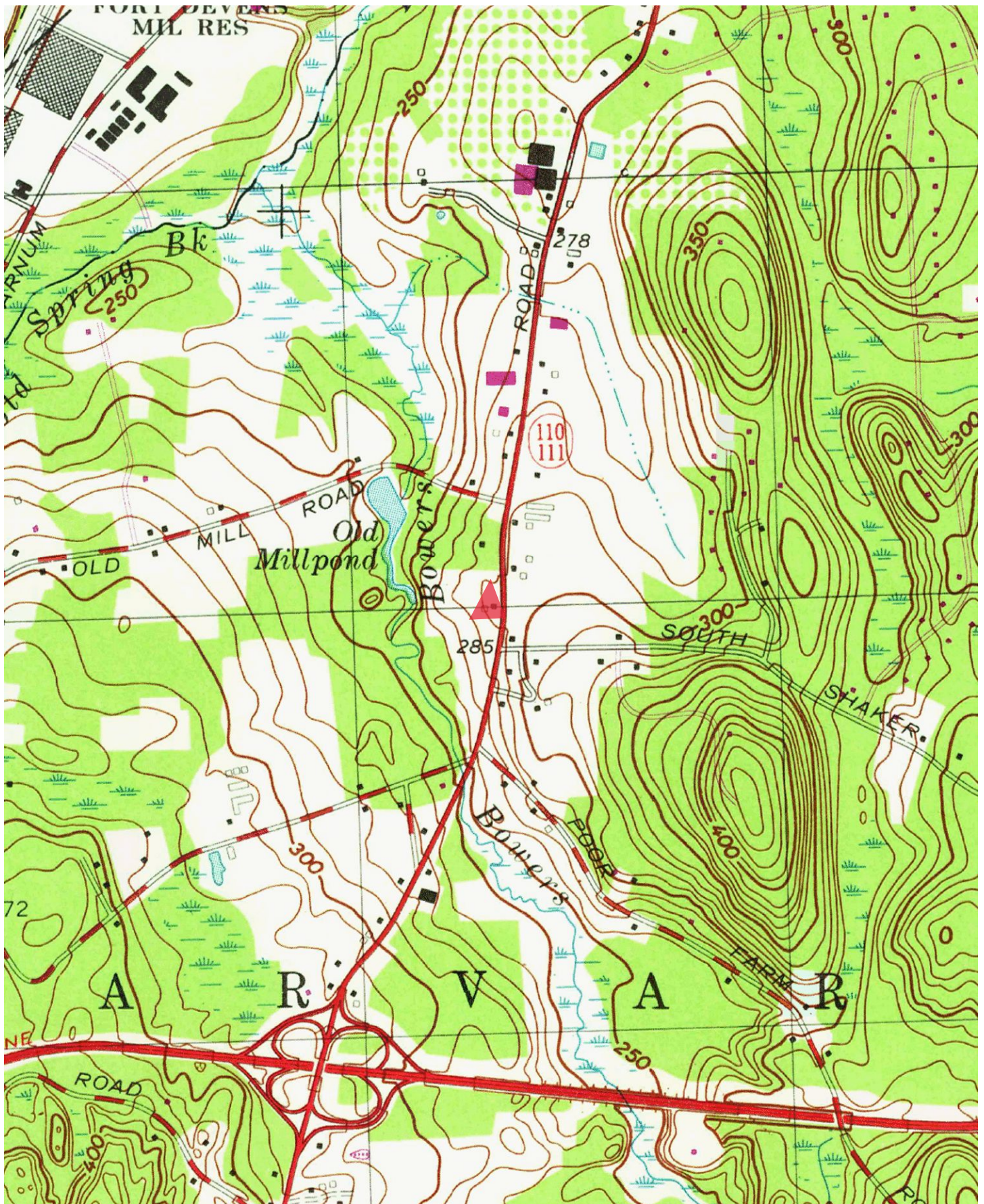
Sincerely,  
Goldsmith, Prest & Ringwall, Inc.



Limhuot Tiv, PE

Copy to:      Job No. 231018  
                 Office at 257 Ayer Rd LLC  
                 Screeni Bhaireddy

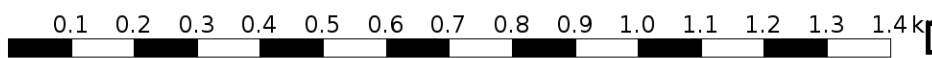




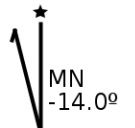
Mercator Projection

WGS84

UTM Zone 19T



Scale 1:12000 1 inch = 1000 feet







# 257 Ayer Road

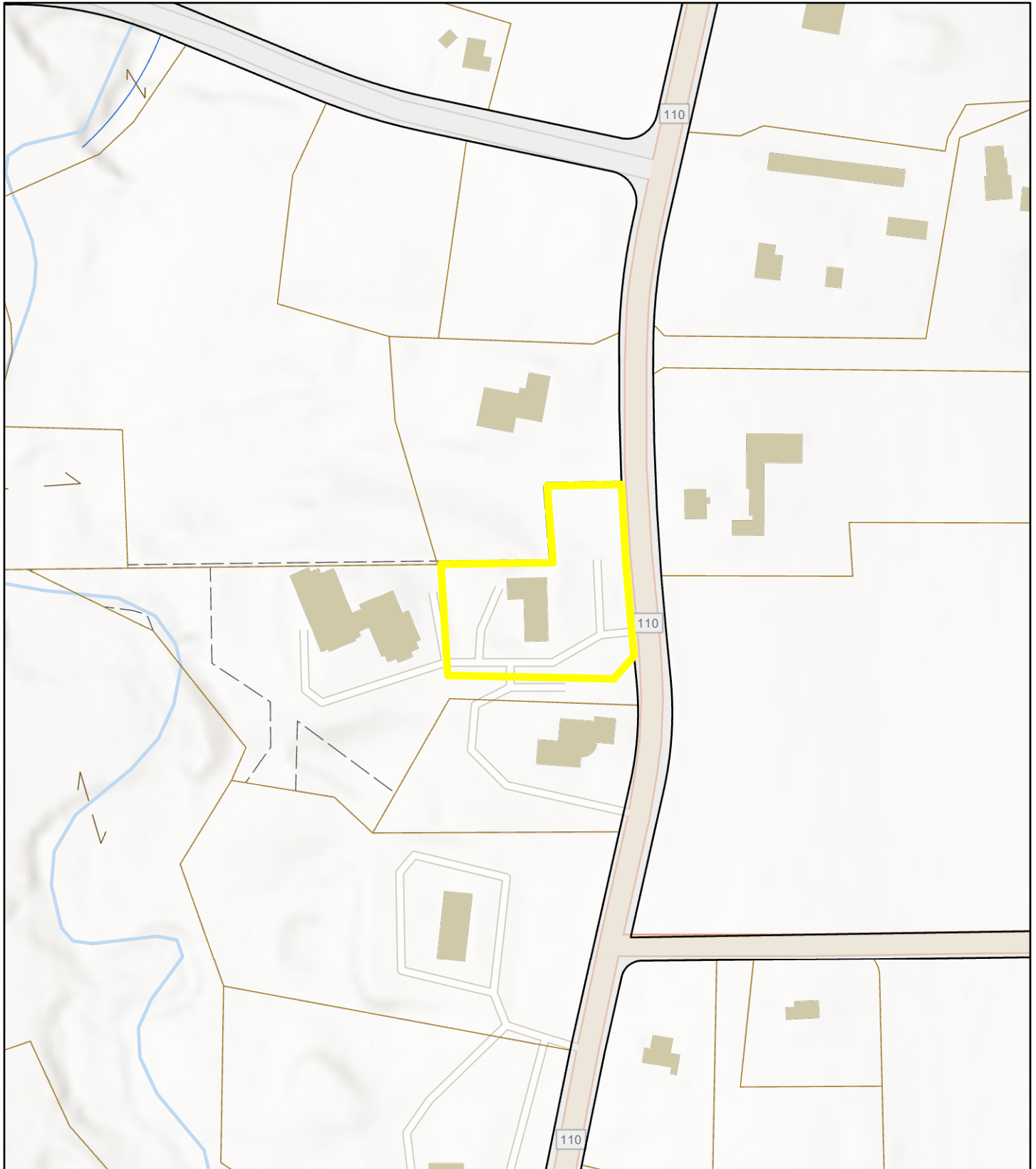
Town of Harvard, MA

1 inch = 200 Feet



[www.cai-tech.com](http://www.cai-tech.com)

April 27, 2023



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

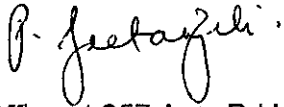
April 28, 2023

**Subject: 257 Ayer Road, Harvard, MA  
Tax Map 4, Parcel 49.2.2**

To Whom It May Concern:

I hereby authorize Goldsmith, Prest & Ringwall, Inc., 39 Main Street, Suite 301, Ayer, MA, 978.772.1590, to act as my agent in administrative and civil engineering matters pertaining to the proposed Commercial Development Parking Lot Expansion at the subject site. This authorization covers the execution of application forms, presentation of plans and designs, and communication with involved parties.

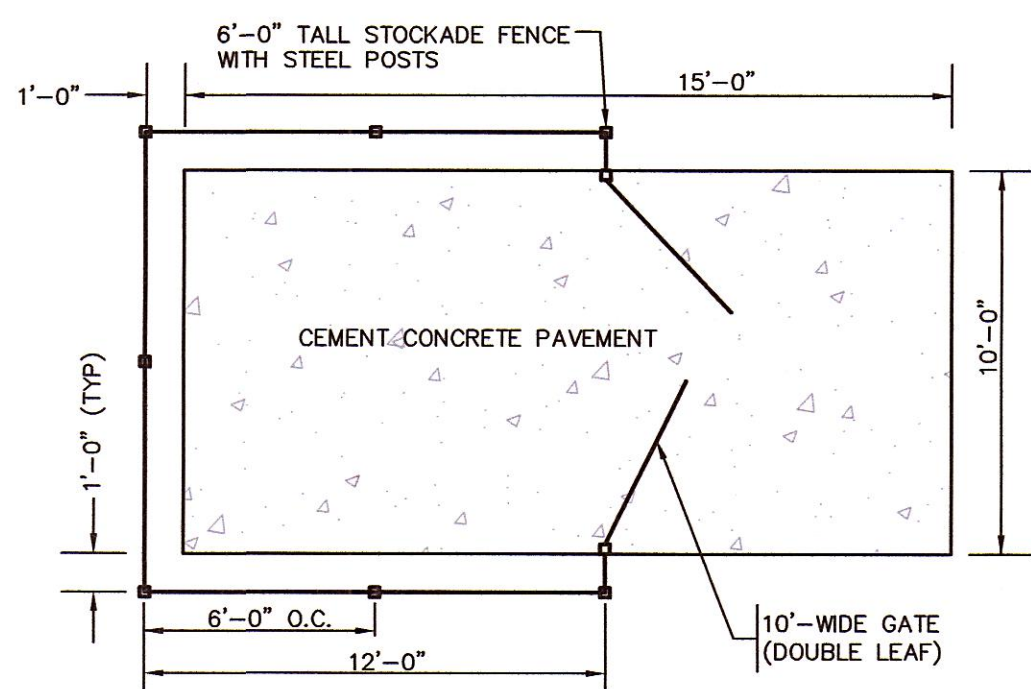
Respectfully,



Office at 257 Ayer Rd LLC  
79 Canterbury Hill Road  
Acton, MA 01720

Copy: Goldsmith, Prest & Ringwall, Inc.  
231018

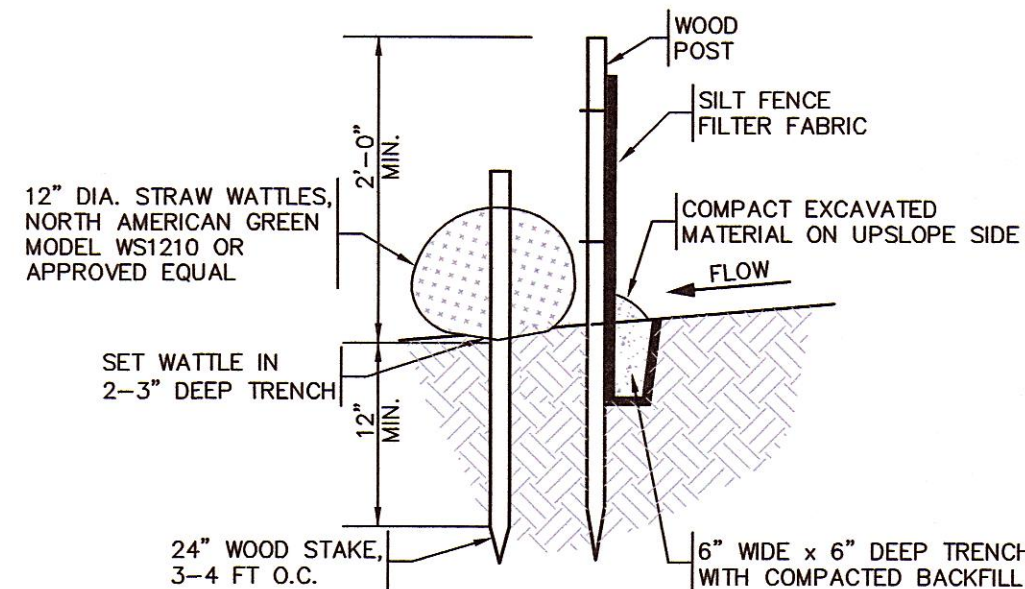




NOTES:  
[1] FENCE DIMENSIONS ARE INTERIOR.

### 1-BAY TRASH ENCLOSURE

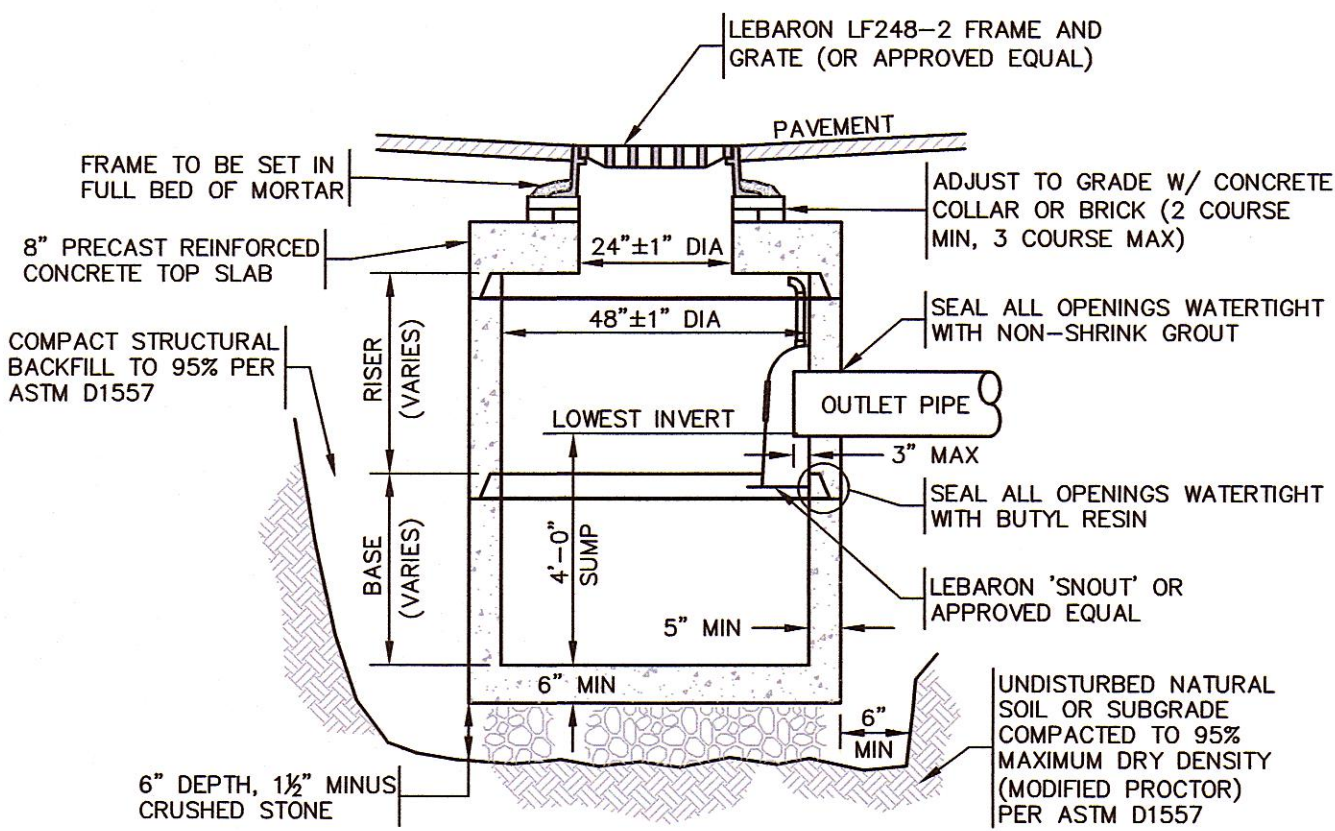
PLAN VIEW  
NOT TO SCALE



NOTES:  
[1] INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.  
[2] TRAPPED SEDIMENT SHALL BE REMOVED TO A NON-SENSITIVE UPLAND AREA.

### SILT FENCE / STRAW WATTLE BARRIER

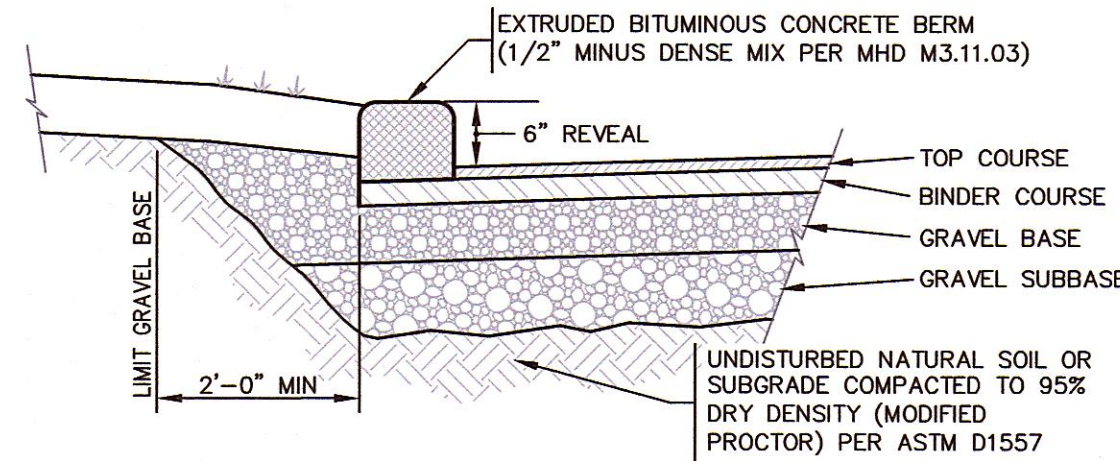
TYPICAL CROSS SECTION  
NOT TO SCALE



NOTES:  
[1] 4,000 PSI PRECAST CONCRETE AT 28 DAYS CONFORMING WITH LATEST ASTM C478  
[2] REINFORCING PER LATEST ASTM A185.  
[3] STRUCTURE SHALL BE RATED FOR H-20 LOADING UNLESS SPECIFIED OTHERWISE.

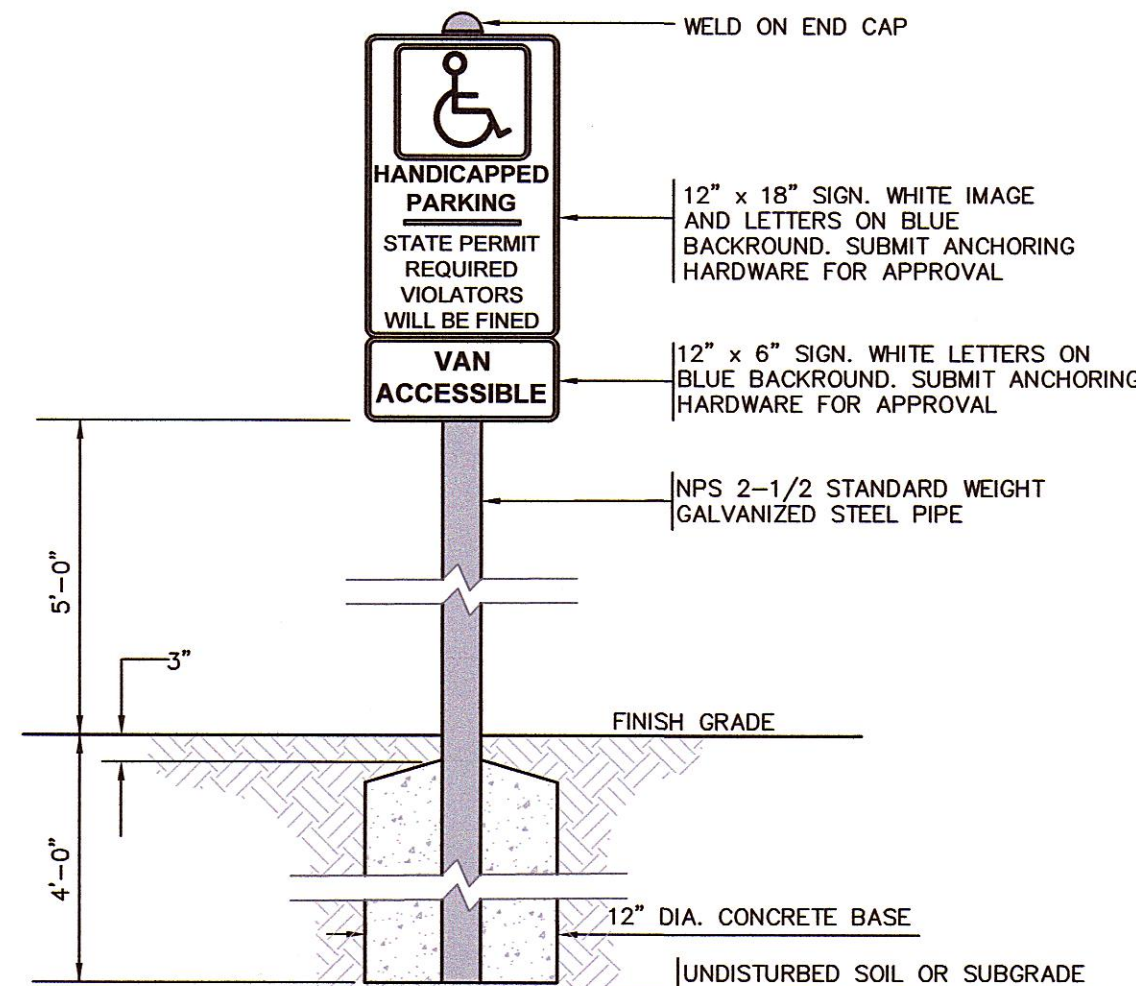
### CATCH BASIN

TYPICAL CROSS SECTION  
NOT TO SCALE



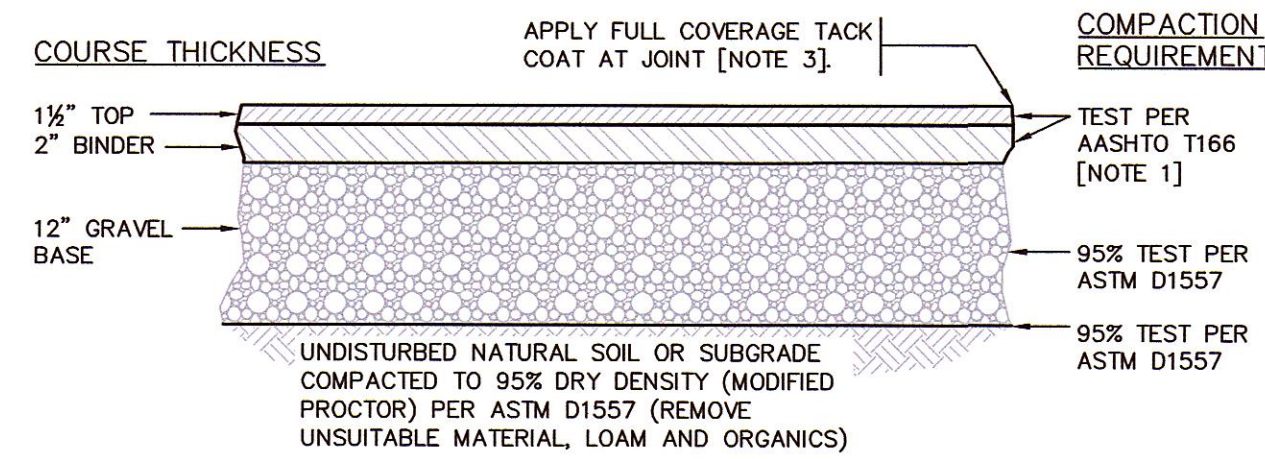
### BITUMINOUS BERM

TYPICAL CROSS SECTION  
NOT TO SCALE



### HANDICAP PARKING SIGN

NOT TO SCALE

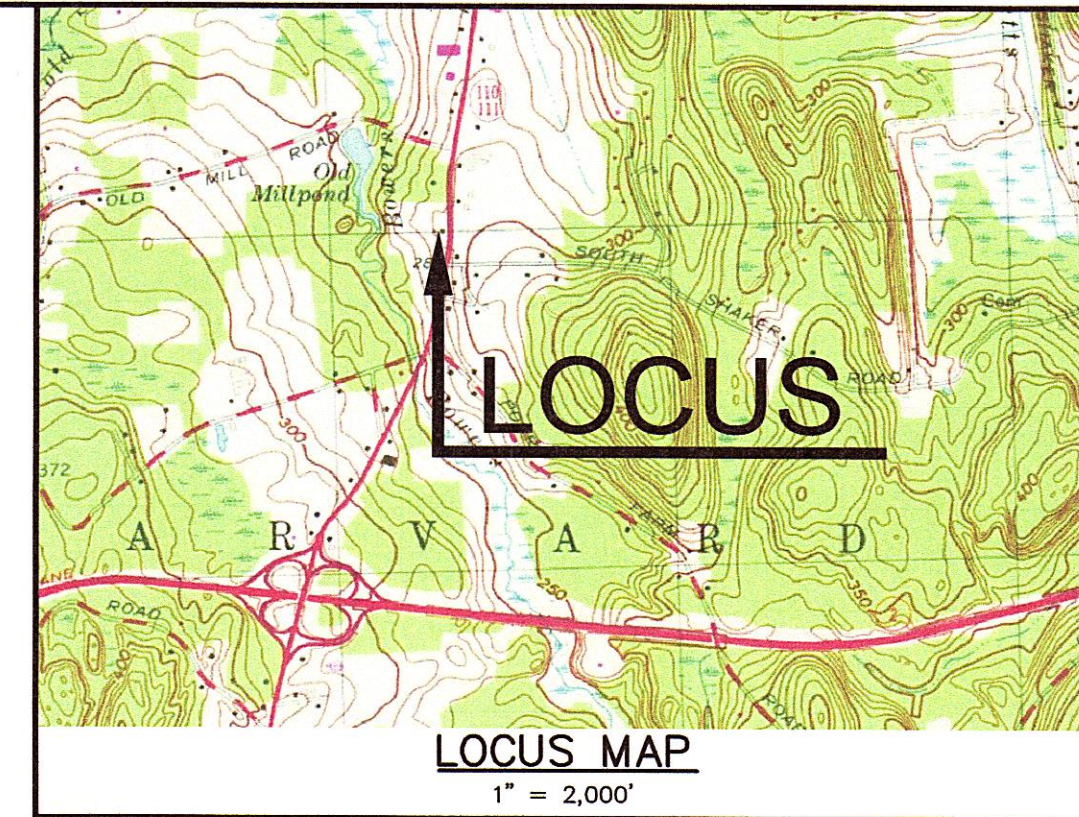


COURSE	MATERIAL	SPECIFICATION PER MASS HIGHWAY DEPARTMENT (MHD)	MAX AGG. SIZE (INCH)
TOP	BITUMINOUS CONCRETE	M3.11.03 CLASS I, TYPE I-1	1 1/2
BINDER	BITUMINOUS CONCRETE	M3.11.03 CLASS I, TYPE I-1	3/4
BASE	GRAVEL BORROW [2]	M1.03.0 TYPE B	3
UNSUITABLE SUBGRADE	ORDINARY BORROW	ON-SITE EXCAVATED MATERIAL	12

NOTES:  
[1] COMPACT TO TEST AVERAGE OF 95% NO TEST LOWER THAN 93%.  
[2] ACCEPTABLE SUBSTITUTE MATERIAL: 3/4" MINUS DENSE GRADED CRUSHED STONE.  
[3] EXISTING PAVEMENT SHALL BE SAW CUT VERTICALLY AT FINAL JOINT LOCATIONS.

### BITUMINOUS CONCRETE PAVEMENT

TYPICAL CROSS SECTION  
NOT TO SCALE



**Coverage Computation:**

Existing Lot area	=	55,974 SF
Open Space area	=	33,742 SF
Min. Req open space	=	27,987 SF
Allowable Imp. Area	=	5,755 SF
Prop. Impervious Area	=	4,905 SF

### Plant List

Symbol	No.	Botanical Name	Common Name	Size
Pa	1	Pyrus calleryana 'Aristocrat'	Aristocrat Callery Pear	1.5" - 2" cal.
<b>Shrubs</b>				
Pf	5	Potentilla fruticosa 'Abbotswood'	Abbotswood Potentilla	18" - 24"
Jh	3	Juniperus chinensis 'Hetzi'	Hetzi Juniper	18" - 24"
Fs	5	Forsythia intermedia 'Spring Glory'	Spring Glory Forsythia	18" - 24"

### PLAN REFERENCES:

1. "SPECIAL PERMIT SITE PLAN - PROFESSIONAL OFFICE BUILDING, HARVARD, MASS." AS PREPARED BY JOSEPH R. HENRY & ASSOCIATES, INC. DATED AUGUST 1994. JOB NO. 1599.

### EXISTING CONDITIONS NOTES:

1. EXISTING CONDITION INFORMATION BASED ON AN ON-THE-GROUND TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY GOLDSMITH, PREST & RINGWALL, INC. DATED MARCH 16, 2023.

### DRAWING ISSUED FOR:

☐ CONCEPT ☐ CONSTRUCTION  
☒ PERMIT ☐ CONSTRUCTION RECORD

THIS DRAWING MAY NOT SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, AND MAY NOT IDENTIFY ALL CONSTRUCTION WORK ITEMS/AREAS OF CONTRACTOR JURISDICTION.

PER 250 CMR 5.03(13), THE FOLLOWING ARE EXCLUDED FROM THE PROFESSIONAL ENGINEER'S RESPONSIBILITY: ALL BOUNDARY INFORMATION; LOCATION OF EXISTING STRUCTURES, TREES, UTILITIES, TOPOGRAPHY OR SIMILAR FEATURES; DESIGN OF RETAINING WALLS, PROPRIETARY EQUIPMENT. SEE EXISTING CONDITION NOTES.

NO.	DATE	BY	APP.	REVISION	DESCRIPTION
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**GPR** Engineering Solutions for Land & Structures

**GOLDSMITH, PREST & RINGWALL, INC.**  
38 MAIN STREET, SUITE 301, AYER, MA 01432  
CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING  
VOICE: 978.772.1590 FAX: 978.772.1591  
www.gpr-inc.com

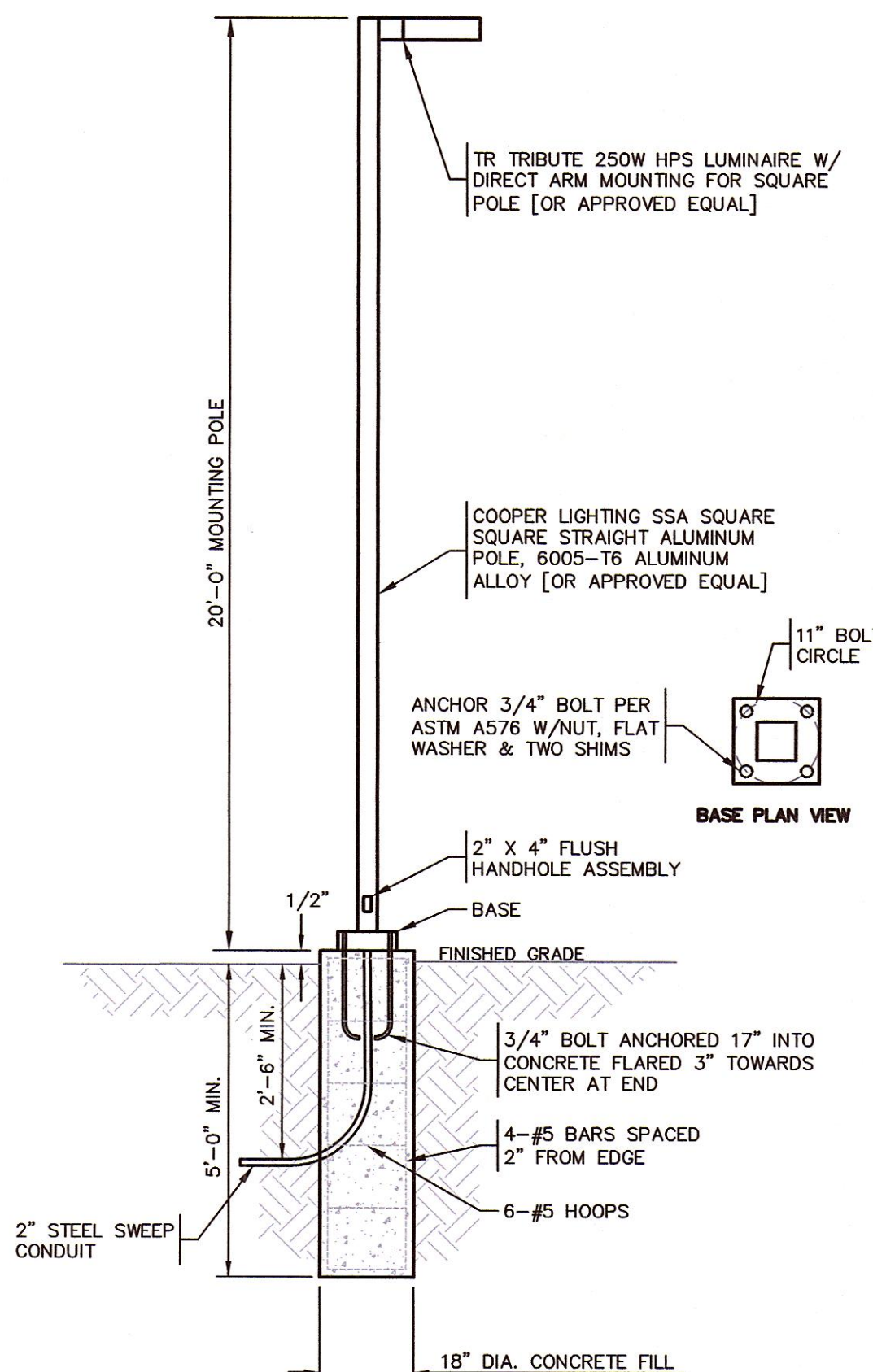
### COMMERCIAL DEVELOPMENT PARKING LOT EXPANSION

### SITE PLAN

257 AYER ROAD  
HARVARD, MA

PREPARED FOR:  
OFFICE AT 257 AYER RD LLC  
257 AYER ROAD  
HARVARD, MA

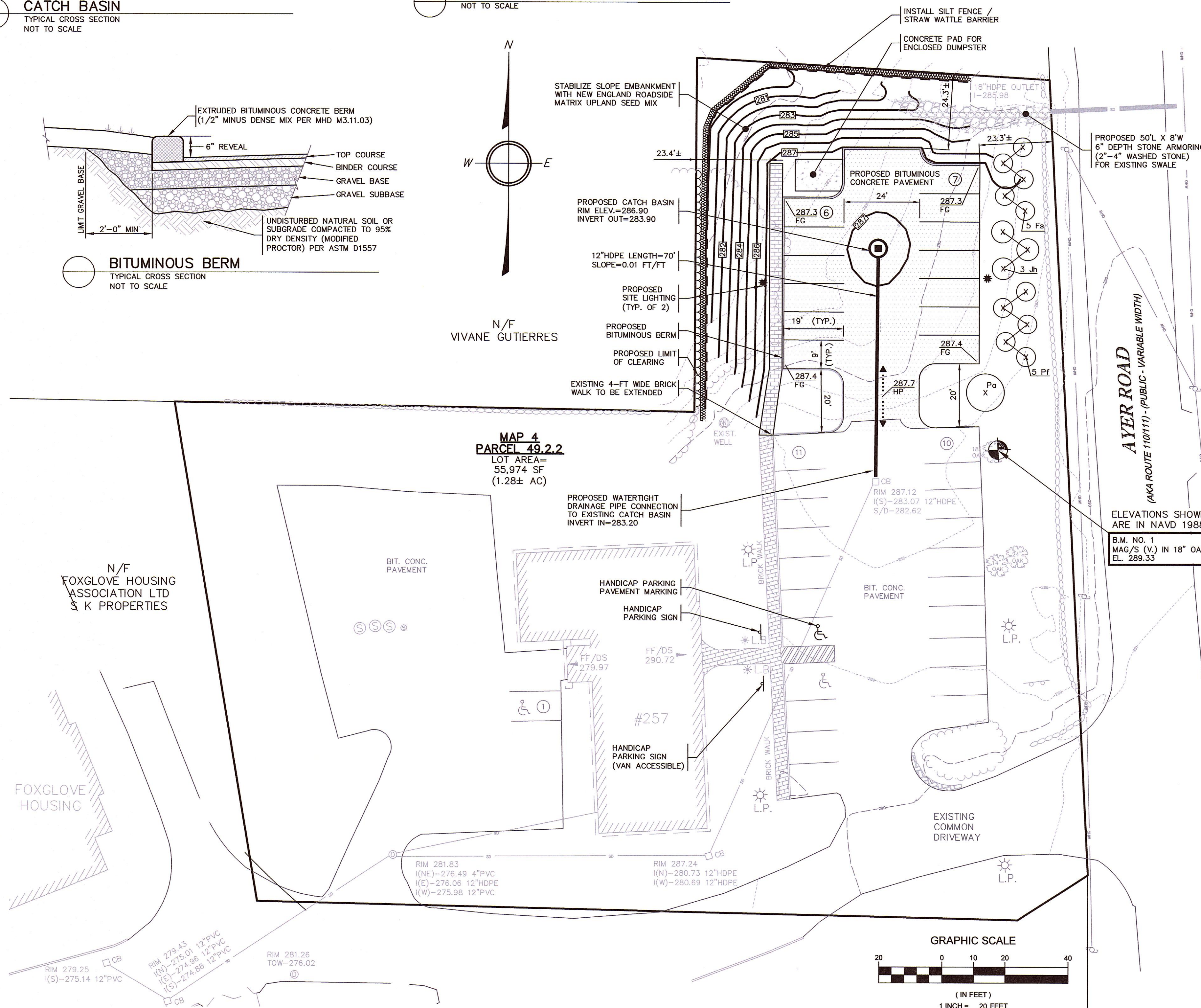
DES. BY: LT	DATE: MAY 2023	JOB 231018	1 OF 1
CHK. BY: NMP			



NOTES:  
[1] CONTRACTOR TO CONFIRM WITH MANUFACTURER ON PROPER INSTALLATION OF BALLAST, BALLAST MOUNTING, LIGHT POLE, BASE PLATE & ANCHORING.  
[2] APPROVED EQUALS MAY BE USED IN LUMINAIRE ASSEMBLY PROVIDED IT MEETS MANUFACTURER'S SPECIFICATIONS.  
[3] OUTDOOR LIGHTING FIXTURES SHALL BE FULL CUTOFF FIXTURES AND DIRECT RAYS FROM THE LIGHT SOURCE SHALL BE CONFINED TO THE PROPERTY BOUNDARIES.

### SITE LIGHTING ASSEMBLY

TYPICAL CROSS SECTION  
NOT TO SCALE









**TOWN OF HARVARD**  
**The Commonwealth of Massachusetts**



**FORM A and CHECKLIST**

**APPLICATION FOR ENDORSEMENT OF PLAN  
BELIEVED NOT TO REQUIRE APPROVAL UNDER  
THE SUBDIVISION CONTROL LAW (Ch. 41)  
(A.N.R.)**

File ten (10) completed copies of this form, and associated plans as described in Planning Board Procedural Rules and Regulations, Chapter 133 of the Code of the Town of Harvard, with the Town Clerk and in accordance with the requirements of Section 81P

No. \_\_\_\_\_

May 12, \_\_\_\_\_, 20 23

**To the Planning Board:**

The undersigned wishes to record the accompanying plan and requests a determination and endorsement by said Board that approval by it under the Subdivision Control Law is not required. The undersigned believes that such approval is not required for the following reasons (circle as appropriate):

1. The accompanying plan is not a subdivision because the plan does not show a division of land.
2. The division of the tract of land shown on the accompanying plan is not a subdivision because every lot shown on the plan has frontage of at least such distance as is presently required by the Protective (Zoning) Bylaw under Section 125-29 which requires 180 feet for erection of a building on such lot; and every lot shown on the plan has such frontage on:

☒ a public way or way which the Town Clerk certifies is maintained and used as a public way, namely Littleton Road; or

☐ a way shown on a plan theretofore approved and endorsed in accordance with the Subdivision Control Law, namely \_\_\_\_\_ on \_\_\_\_\_, and subject to the following conditions \_\_\_\_\_; or

☐ a private way in existence on February 6, 1954, the date when the Subdivision Control Law became effective in the Town of Harvard having, in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely \_\_\_\_\_.

3. The division of the tract of land shown on the accompanying plan is not a "subdivision" because it shows a proposed conveyance/other instrument, namely Parcel "A" which adds to/takes away from/changes the size and shape of, lots in such a manner so that no lot affected is left without frontage as required by the Protective (Zoning) Bylaw under Section 125-29, which requires 180 feet.

4. The division of the tract of land shown on the accompanying plan is not a subdivision because two or more buildings, specifically \_\_\_\_\_ buildings were standing on the plan prior to February 6, 1954, the date when the subdivision control law went into effect in the Town of Harvard, and one of such buildings remains standing on each of the lots/said buildings as shown and located on the accompanying plan. Evidence of the existence of such buildings prior to the effective date of the subdivision control law is submitted as follows:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

5. Other reasons or comments (See MGL Chapter 41, Section 81L) \_\_\_\_\_

PARCEL "A" IS NOT A BUILDING LOT AS DENOTED ON THE PLAN

\_\_\_\_\_

\_\_\_\_\_

The owner's title to the land is derived under deed from Emanuel Lindo, dated December 21, 1992, and record in Worcester County Registry of Deeds, Book 14814, Page 315 or Land Court Certificate of Title No. \_\_\_\_\_, registered in Worcester District Book \_\_\_\_\_, Page \_\_\_\_\_, and Harvard Assessors' Book 9, Page 54.1.

6. Fee paid (\$150 per lot) \_\_\_\_\_.

APPLICANT'S NAME (Please print) Corbett Realty Trust

Applicant's signature [Signature] Phone No. \_\_\_\_\_

Applicant's address 214 Littleton Road Harvard, Ma. 01451

OWNER'S SIGNATURE and address if not the applicant, or applicant's authorization if not the owner

E. Lindo  
Revised 1/26/09  
222 Littleton Rd  
Harvard, MA 01451

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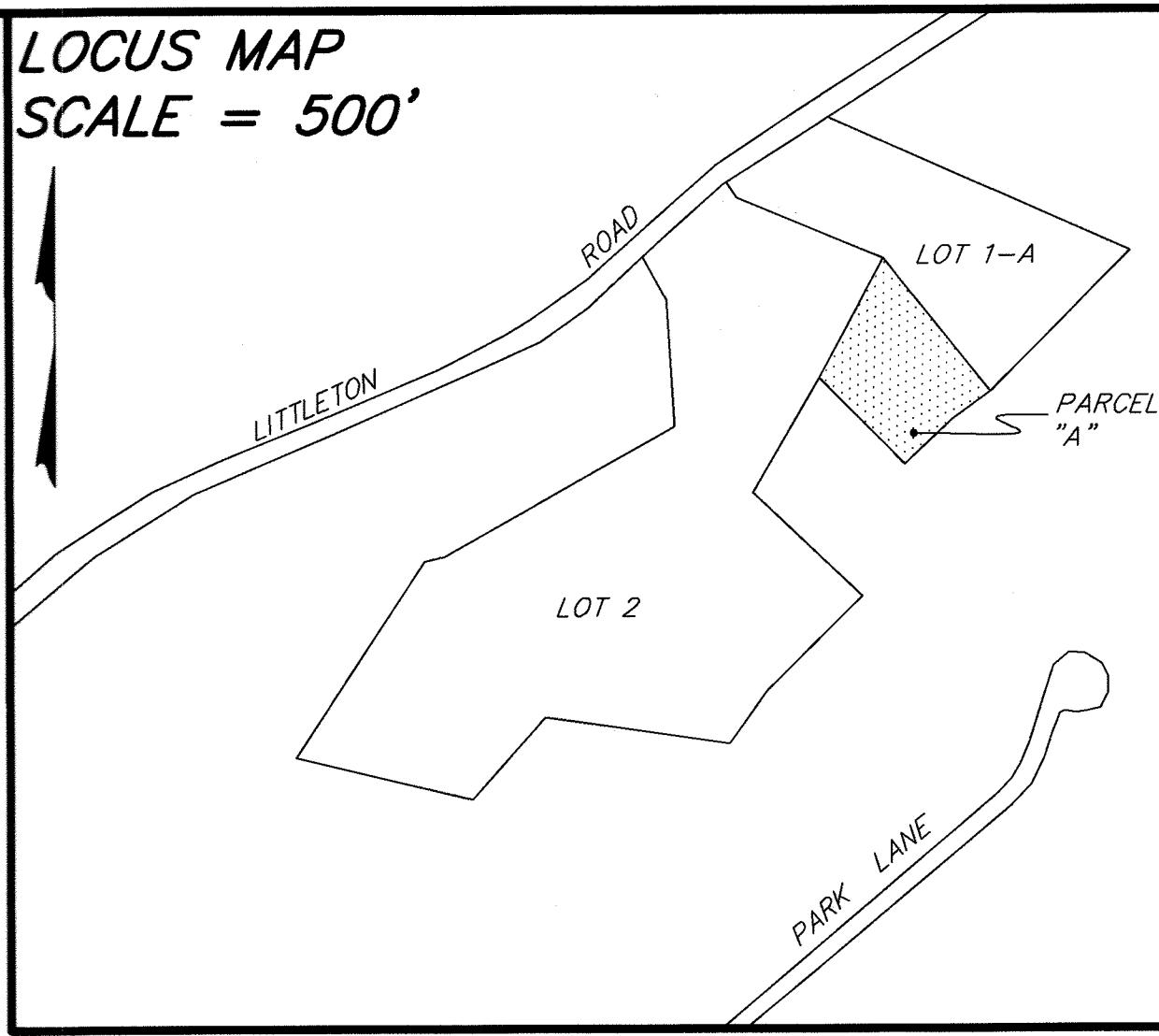
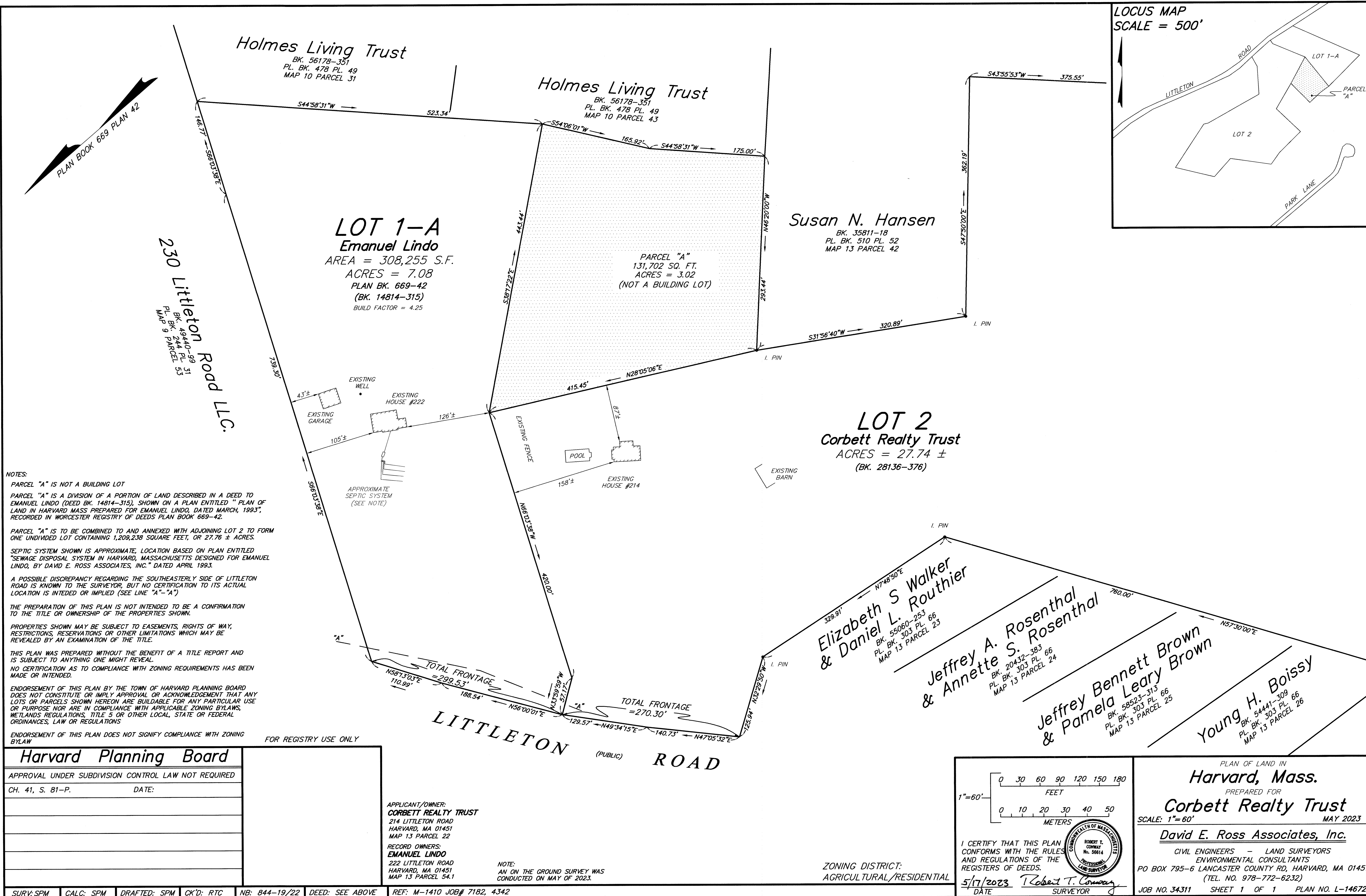
THE PLANNING BOARD'S ENDORSEMENT ON THIS PLAN, THAT THE APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS NOT REQUIRED, SHALL NOT BE CONSTRUED AS THE PLANNING BOARD FINDING THAT THE LOTS CREATED BY THIS PLAN CONFORM TO THE REQUIREMENTS OF THE HARVARD PROTECTIVE (ZONING) BYLAWS EXCEPT AS TO AREA AND FRONTAGE.

Received by Town Clerk:

---

Date/Time: \_\_\_\_\_





NOTES:

PARCEL "A" IS NOT A BUILDING LOT

PARCEL "A" IS A DIVISION OF A PORTION OF LAND DESCRIBED IN A DEED TO EMANUEL LINDO (DEED BK. 14814-315), SHOWN ON A PLAN ENTITLED "PLAN OF LAND IN HARVARD MASS PREPARED FOR EMANUEL LINDO, DATED MARCH, 1993", RECORDED IN WORCESTER REGISTRY OF DEEDS PLAN BOOK 669-42.

PARCEL "A" IS TO BE COMBINED TO AND ANNEXED WITH ADJOINING LOT 2 TO FORM ONE UNDIVIDED LOT CONTAINING 1,209,238 SQUARE FEET, OR 27.76 ± ACRES.

SEPTIC SYSTEM SHOWN IS APPROXIMATE, LOCATION BASED ON PLAN ENTITLED "SEWAGE DISPOSAL SYSTEM IN HARVARD, MASSACHUSETTS DESIGNED FOR EMANUEL LINDO, BY DAVID E. ROSS ASSOCIATES, INC." DATED APRIL 1993.

A POSSIBLE DISCREPANCY REGARDING THE SOUTHEASTERLY SIDE OF LITTLETON ROAD IS KNOWN TO THE SURVEYOR, BUT NO CERTIFICATION TO ITS ACTUAL LOCATION IS INTENDED OR IMPLIED (SEE LINE "A"- "A")

THE PREPARATION OF THIS PLAN IS NOT INTENDED TO BE A CONFIRMATION TO THE TITLE OR OWNERSHIP OF THE PROPERTIES SHOWN.

PROPERTIES SHOWN MAY BE SUBJECT TO EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANYTHING ONE MIGHT REVEAL.

NO CERTIFICATION AS TO COMPLIANCE WITH ZONING REQUIREMENTS HAS BEEN MADE OR INTENDED.

ENDORSEMENT OF THIS PLAN BY THE TOWN OF HARVARD PLANNING BOARD DOES NOT CONSTITUTE OR IMPLY APPROVAL OR ACKNOWLEDGEMENT THAT ANY LOTS OR PARCELS SHOWN HEREON ARE BUILDABLE FOR ANY PARTICULAR USE OR PURPOSE NOR ARE IN COMPLIANCE WITH APPLICABLE ZONING BYLAWS, WETLANDS REGULATIONS, TITLE 5 OR OTHER LOCAL, STATE OR FEDERAL ORDINANCES, LAW OR REGULATIONS

ENDORSEMENT OF THIS PLAN DOES NOT SIGNIFY COMPLIANCE WITH ZONING BYLAW

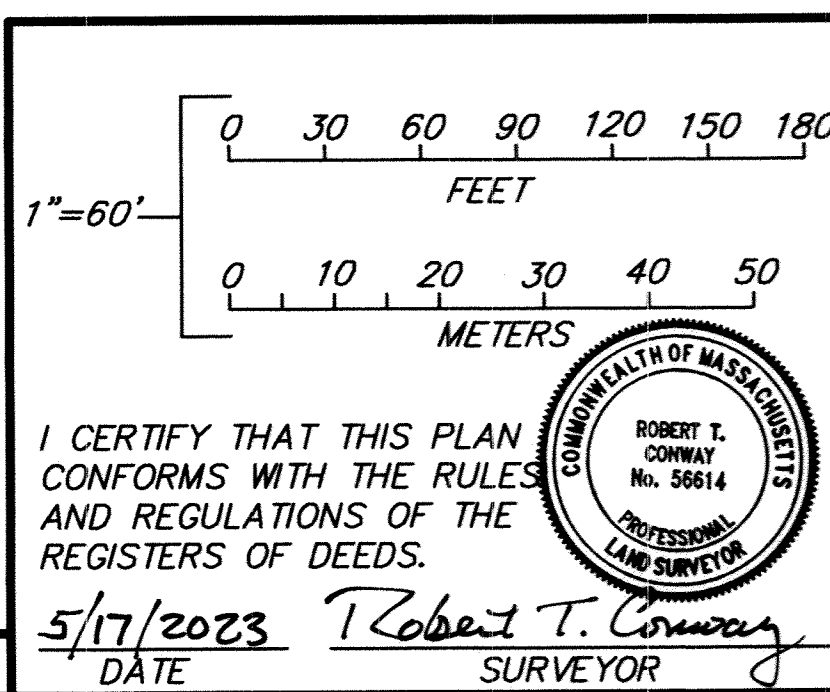
Harvard Planning Board	
APPROVAL UNDER SUBDIVISION CONTROL LAW NOT REQUIRED	
CH. 41, S. 81-P.	DATE:

APPLICANT/OWNER:  
**CORBETT REALTY TRUST**  
214 LITTLETON ROAD  
HARVARD, MA 01451  
MAP 13 PARCEL 22

RECORD OWNERS:  
**EMANUEL LINDO**  
222 LITTLETON ROAD  
HARVARD, MA 01451  
MAP 13 PARCEL 54.1

NOTE:  
AN ON THE GROUND SURVEY WAS CONDUCTED ON MAY OF 2023.

ZONING DISTRICT:  
AGRICULTURAL/RESIDENTIAL



PLAN OF LAND IN	
Harvard, Mass.	
PREPARED FOR	
Corbett Realty Trust	
SCALE: 1"=60'	MAY 2023
David E. Ross Associates, Inc.	
CIVIL ENGINEERS - LAND SURVEYORS	
ENVIRONMENTAL CONSULTANTS	
PO BOX 795-6 LANCASTER COUNTY RD, HARVARD, MA 01451	
(TEL. NO. 978-772-6232)	
JOB NO. 34311	SHEET 1 OF 1
PLAN NO. L-14672	



# Site Plan Review Application

**247 Littleton County Road  
Harvard, MA**

**May 2023**

**Submitted to:  
Harvard Planning Board  
13 Ayer Road  
Harvard, MA 01451**

**Submitted by:  
William Ference  
40 Massachusetts Ave  
Harvard, MA 01451**

**Prepared by:  
Goldsmith, Prest & Ringwall, Inc.  
39 Main Street, Suite 301  
Ayer, MA 01432**

**Project No:  
211137**



## Table of Contents

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Narrative

Site Plan Review Application

Erosion Control Application

Scenic Road Application

## Appendix

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Agent Authorization Letter

Harvard Certified List of Abutters

Boxborough Certified List of Abutters

Site Photos

## Attachments

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Commercial Development - Site Plan Review Application

247 Littleton County Road, Harvard, MA (24"x36")

*Prepared by Goldsmith, Prest & Ringwall, Inc.*

## NARRATIVE

to accompany

### SITE PLAN REVIEW APPLICATION

247 Littleton County Road, Harvard, MA 01451

#### GENERAL

The property at 247 Littleton County Road ("the property") is an existing lot consisting of 24.57 acres± with an existing building, associated driveway, and agricultural land. The property is also known as Friendly Crossways and has functioned as an event venue, retreat and conference center with lodging, and hostel for the past 75 years, dating back to at least 1947. A Special Permit was issued by the ZBA on April 22, 2022, recorded at the WSRD in book 68247 page 319, allowing the continued non-conforming use as an events venue and allowing the construction of a commercial kitchen and tent platform. The property is referenced by the Town of Harvard Assessors as Map 14, Parcels 53.1 & 53.2 and is zoned as Agricultural-Residential (AR).

#### PROJECT DESCRIPTION

The applicant would like to construct a commercial kitchen that is critical to the continued use as an event venue and is required by the Board of Health in order to prepare food on-site. The proposed kitchen addition will be approximately 1,650 square feet (sf) and located in the back of the existing building at basement level. Past events at the property traditionally took place under a tent set up outside in the spacious lawn behind the building to the north. The applicant is proposing to enhance this area by installing a 4,500-sf concrete platform to support a seasonal tent for future events. Gas and electrical lines will be installed to service the platform. Other structures such as a trailer containing restrooms, raised garden beds and a 480-sf barn are being proposed in the vicinity of the tent platform to support events that will take place on-site. Previous guests to the property have parked in an abutting lot, based solely on a handshake agreement with the property owner. To provide greater safety and experience, a new gravel parking lot will be constructed in the southeastern corner adjacent to the existing corn field on-site. The entrance to the gravel parking will be paved with a traffic island and be located directly across from the entrance to the Harvard Sportsman's Club. The paved area located next to the existing building will be reclaimed as lawn surface, with an ADA accessible parking spot and VIP parking to remain. The proposed parking has been designed to meet Harvard's parking requirements pursuant to Section 125-39 Site Standards.

The current septic system is very old and without a grease trap, therefore it will be inadequate to service the proposed commercial kitchen. The current system will be abandoned in accordance with Title 5 requirements. A grease trap will be installed for the proposed kitchen which will be connected to a new upgraded subsurface sewage disposal system located south of the proposed tent platform and north of the existing building as shown on the site plans. The existing building sewer will be rerouted to the proposed system via new piping. The system will include a pump station that will connect to the proposed soil absorption area through a force main. The soil absorption area shall be located in the corn field, north of the proposed gravel parking lot.

Erosion control shall be performed using a straw wattle and silt fence barrier as shown on the site plans. A temporary stone construction entrance shall be installed for the construction of the gravel parking lot and proposed soil absorption area. There are no trees proposed to be cut or removed for the project. Trees outside of the limit of work will be preserved and protected

throughout construction. A portion of the existing stone wall along Littleton County Road will be relocated to the south in order to construct the gravel parking entrance. The stones removed for the opening will be used to enhance the adjacent sections of the wall. Further, the applicant will be removing invasive and other vegetation from the stone wall to make the wall visible again.

The site currently provides recharge through the naturally occurring depression (recharge basin) located west of the cornfield. Much of the project site will continue to drain to this area for recharge. Roof runoff from the proposed kitchen will be routed to the recharge basin via 6" HDPE piping. A proposed landscape catch basin located near the kitchen will receive incoming stormwater flows which will be connected to the same pipe outlet.

It is our belief that the continued use and the proposed alterations to enhance and bring the property into conformance will adhere to the provisions of Chapter 125 Protective Bylaw.



### APPLICATION TO THE HARVARD PLANNING BOARD

Applicants should review the Harvard Protective (Zoning) Bylaw, Chapter 125 of the Code of the Town of Harvard, the Planning Board's Rules and Regulations, Chapter 133 of the Code of the Town of Harvard and the Requirements regarding Driveway Inspections (Chapter 125 of the Protective Bylaw). Copies of the Bylaw may be purchased from the Town Clerk and copies of the Rules and Regulations may be purchased from the Land Use Office. Information is also available online at [www.harvard.ma.us](http://www.harvard.ma.us). The Rules and Regulations specify the documents that are required as a part of the application. The Application, with certified abutters list and filing fee, must be filed with the Town Clerk.

Name of Applicant: William Ference

Address: 40 Mass. Ave, Harvard, MA 01451 Phone: 267-566-2637 Email: Bill.Ference@gmail.com

Applicant is (check one): Owner X Agent \_\_\_\_\_ Prospective Buyer \_\_\_\_\_

Location of Property: 247 Littleton County Rd Zoning District: AR

Harvard Assessors' Map 14 Parcel 53.1 & 53.2

Registry of Deeds: Book Number 67898 Page Number 271

Owner's Name: Same as Applicant Email: \_\_\_\_\_

Owner's Address: Same as Applicant Owner's Phone: \_\_\_\_\_

Seventeen (17) copies of the application must be submitted to the Town Clerk. This application is for:

<input type="checkbox"/> Special Permits*	\$500/required permit
<input type="checkbox"/> Driveway Site Plan	\$180
<input type="checkbox"/> Inspections of Driveways	\$300
<input type="checkbox"/> Approval of Covenant	\$100
<input type="checkbox"/> Wireless Communication Tower	\$2500
<input type="checkbox"/> Consultant Review Fee**	\$1000
<input type="checkbox"/> Site Plan Review with a Special Permit	\$180
<input checked="" type="checkbox"/> Site Plan Review without a Special Permit	\$500
<input type="checkbox"/> Modification/Extension	½ of original application fee

Specific bylaw section(s) you are applying under 125-39.A(4)

\* Unless otherwise specified

\*\* Required with all Special Permit Applications. This is a deposit to cover costs of Planning Board consultants and additional amounts may be required depending on the complexity of the Application. All unused monies will be returned. Please submit "Request for New Vendor" form with application. (Available on line at [www.harvard.ma.us](http://www.harvard.ma.us) under Forms & Documents)

All applications associated with a Wireless Communication Tower requires proof of compliance with § 125-27H(2)

All filing fees are cumulative. All Special Permits and uses subject to Site Plan Approval require Driveway Inspections and written approval by the Planning Board, or its agent, prior to issuance of an occupancy permit or use of the premises (§ 125-31 C) All Shared (common) Driveways require an approved covenant running with the land in accordance with § 125-31 B (4) (b). The applicant will be required to pay a local newspaper of general circulation for the current cost of advertising the hearing. The applicant will be billed directly from the newspaper for the cost of the advertised hearing or all advertising must be paid for in full prior to submittal to the newspaper. The undersigned hereby requests a hearing before the Planning Board with reference to this application.

Signed: 

Bruce Ringwall, Pres., GPR, as Agent for Owner

## EROSION CONTROL APPLICATION

Applicants should review the Harvard Protective (Zoning) Bylaw, Chapter 125-58 of the Code of the Town of Harvard, the Planning Board's Rules and Regulations, Chapter 133 of the Code of the Town of Harvard. Copies of the Bylaw may be purchased from the Town Clerk and copies of the Rules and Regulations may be purchased from the Land Use Office. Information is also available online at [www.harvard-ma.gov](http://www.harvard-ma.gov). The Rules and Regulations specify the documents that are required as a part of the application.

Applicant's Name: William Ference

Address: 40 Mass. Ave, Harvard, MA 01451 Phone: 267-566-2637 Email: Bill.Ference@gmail.com

Applicant is (check one): Owner X Agent \_\_\_\_\_ Prospective Buyer \_\_\_\_\_

Location of Property: 247 Littleton County Road Zoning District: AR

Harvard Assessors' Map 14 Parcel 53.1 & 53.2

Owner's Name: Same as Applicant Email: \_\_\_\_\_

Owner's Address: Same as Applicant Owner's Phone: \_\_\_\_\_

Signed: 

Bruce Ringwall, Pres., GPR, as Agent for Owner

### APPLICATION CHECK LIST

#### Minor Permit

- ☐ Sketch plan showing limits, scope of work and proposed Best Management Practices (BMPs)
- ☐ Project narrative that includes a description of the proposed project and a description of how and where stormwater will be controlled and erosion and sediment controls to be used
- ☐ \$25.00 filing fee

#### Major Permit

- ☒ Applicants shall file one (1) original completed application packet and seven (7) copies
- ☒ Project narrative that includes a description of the proposed project and a description of how and where stormwater will be controlled and erosion and sediment controls to be used, plus a description of any specimen trees within the project area.
- ☒ Engineered plan set, signed and stamped by a professional engineer or a professional land surveyor registered in the Commonwealth of Massachusetts, and drawn at a legible scale and including:

- **Existing and proposed conditions plans**, which shall identify significant natural features and native trees greater than a diameter of (6) inches within the project area.
- **Erosion control plan**, which shall include the following related specifically to the disturbance area:
  - Location of all structural and non-structural erosion and sediment control measures and BMPs;
  - Locations where stabilization practices are expected to occur;
  - Locations for storage of materials, waste, vehicles, equipment, soil, snow, and other potential contaminants;
  - Operations and Maintenance Plan for BMP's including inspections and maintenance activities as noted in §133-41 below;
  - Areas where previous stabilization has been accomplished and no further construction-phase permit requirements apply; and
  - Any other information deemed necessary by the Planning Board.

■ \$200.00 filing fee



TOWN OF HARVARD PLANNING BOARD



APPLICATION & CHECKLIST FOR A HEARING UNDER THE  
SCENIC ROAD BYLAW, CHAPTER 90 CODE OF THE TOWN  
OF HARVARD & M.G.L. Chapter 40 §15C SCENIC ROAD ACT

The Scenic Road Bylaw provides that any repair, maintenance, reconstruction or paving work done with respect to any road designated as a Scenic Road shall not involve or include the cutting or removal of trees or tearing down or destruction of stone walls, or portions thereof, except with prior written consent of the Planning Board after a public hearing.

Seventeen (17) copies of the application, checklist, abutters list, accompanying plans and statements along with a filing fee of \$150.00 shall be submitted to the Planning Board.

Applicant's Name: William Ference

Mailing Address: 40 Mass. Ave, Harvard, MA 01451 Phone#: 267-566-2637

Property Owner's Name: Same as Applicant

Mailing Address: Phone #:

Location of Subject Property: 247 Littleton County Road

Assessor's Map: 14 Parcel: 53.1 & 53.2

Deed Recorded in the Worcester Registry of Deeds in Book: 67898 Page: 271

Or Certificate #:

Representatives Name: Goldsmith, Prest & Ringwall, Inc.

Mailing Address: 39 Main St, Suite 301, Ayer, MA 01432 Phone#: 978-772-1590

What type of project is proposed: Applicant is proposing to construct a commercial kitchen, tent platform, associated parking and utilities, and other structures for the continued use of the site as an event venue.

Applicant's Signature: Bruce Ringwall, Pres., GPR, as Agent for Owner Date: 5/2/2023

NOTE: If applicant is not the owner of the property please attach written consent from the owner.



**A Representative may sign on behalf of the applicant with written consent.**

### **SCENIC ROAD APPLICATION CHECKLIST**

The following checklist is a part of the Scenic Road Application Form to be completed by the Applicant.

- ☒ A written description and plans or drawings showing the entire frontage and the location and nature of the proposed disturbance area. The description should enable readers to locate the area of disturbance with reasonable specificity on the ground without the need for additional plans or references;
- ☒ Photographs of all stone walls and trees within and adjacent to the proposed disturbance area prior to any work,
- ☐ If tree removal is required, a separate application shall be submitted to the Tree Warden for a hearing under the Shade Tree Act, MGL Chapter 87, which may be held concurrently with the Scenic Road Hearing;
- ☐ A statement explaining the reason for the cutting or removal of a tree(s) or the tearing down or destruction of stone walls, or portions thereof, in the proposed disturbance area;
- ☐ A statement outlining possible alternatives, proposed compensatory actions, and mitigation measures including restoration, to the proposed cutting or removal of a tree(s) or the tearing down or destruction of stone walls, or portions thereof;
- ☒ A list, certified by the Assessor's office, of abutters, as defined herein;
- ☒ Except in the case of town agencies, a Scenic Road Consent fee as specified on the Planning Board's application form made payable to the Town of Harvard,
- ☐ Any other explanatory material useful to adequately inform the Planning Board and Tree Warden prior to the public hearing.

## APPENDIX

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March 9, 2022

**Subject: 247 Littleton County Rd, Harvard, MA**  
**Map 14, Parcels 53.1 & 53.2**

To Whom It May Concern:

I hereby authorize Goldsmith, Prest & Ringwall, Inc., 39 Main Street, Suite 301, Ayer, MA, 978.772.1590, to act as my agent in administrative and civil engineering matters pertaining to permitting of existing uses at the subject site. This authorization covers the execution of application forms, presentation of plans and designs, and communication with involved parties.

Respectfully,

A handwritten signature in black ink, appearing to read "Bill Ference".

Bill Ference  
40 Mass Ave.  
Harvard, Ma 01451

Copy: Goldsmith, Prest & Ringwall, Inc.  
File - 211137



TOWN OF HARVARD  
ASSESSORS OFFICE  
13 AYER ROAD  
HARVARD, MA 01451  
978-456-4100 X315

RECEIVED  
MAR 16 2023

BOARD OF ASSESSORS  
TOWN OF HARVARD

## REQUEST FOR CERTIFIED ABUTTERS LIST

**PROPERTY LOCATION:** 247 Littleton County Road

**MAP/BLOCK/LOT:** 14 / 53.1 & 53.2 (2 parcels)

**PROPERTY OWNERS:** 247 Littleton County Road LLC

**REQUIRED FOOTAGE:** 300'

I've attached the one prepared for this address one year ago to assist with preparation.

### CONTACT INFORMATION

**EMAIL ADDRESS:** bringwall@gpr-inc.com or reception@gpr-inc.com (Susan Durant)

### MAILING ADDRESS IF DIFFERENT FROM PROPERTY LOCATION:

GPR, Inc., 39 Main St, Ste 301, Ayer, MA 01432

**FEE: \$25.00**

To be paid with completed Abutters List request by Cash or Check

payable to the Town of Harvard

**\*\*Please allow 10 working days for your request to be processed\*\***

If you have questions or concerns, please contact the Assessors office at

assessingdept@havard-ma.gov or 978-456-4100x315

Emailed: 3-16-23  
Package

Sent  
originals: 3-16-23  
USPS



## Abutters List Report

Town of Harvard, MA

Date: March 16, 2023

Parcel Number: 014-053-001  
014-053-002

Property Address: 247 Littleton Cnty Rd  
0 Littleton Cnty Rd

Abutters To: 300ft

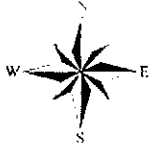
The above Certified Abutters List is a true copy of the records in the Town of Harvard Assessor's office for the last known names and addresses of owners of land located within the above stated range of the subject property.

Signed: \_\_\_\_\_

Carol Dearborn  
Assistant Assessor  
(978) 456-4100 x315

Date: \_\_\_\_\_

3/16/23



247 LITTLETON CNTY RD/0 LITTLETON CNTY RD

Town of Harvard, MA



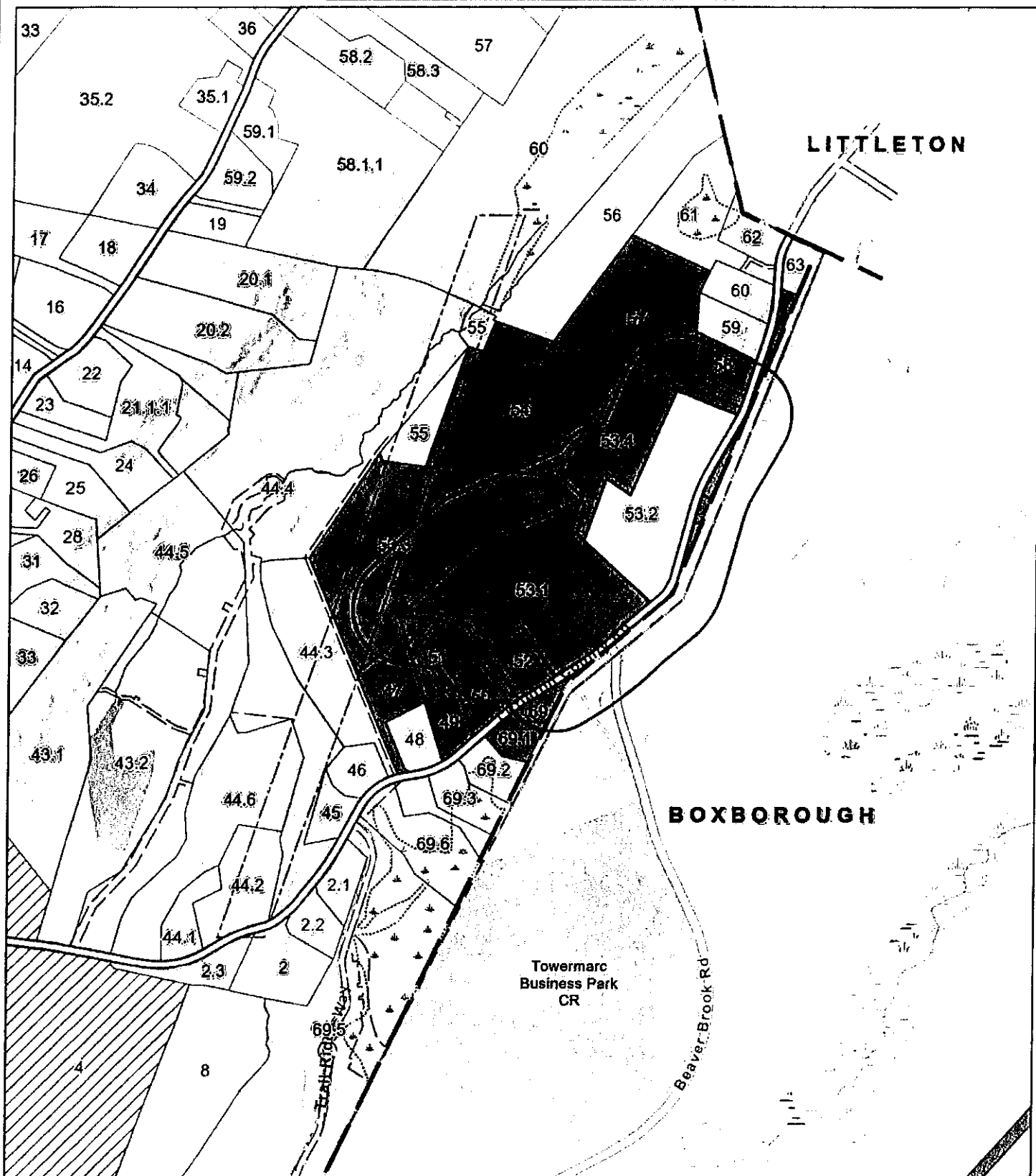
Technologies

1 inch = 752 Feet

www.cai-tech.com

March 16, 2023

0 752 1504 2256



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



# 300 feet Abutters List Report

Harvard, MA  
March 16, 2023

## Subject Properties:

Parcel Number:	014-053-001-000	Mailing Address:	247 LITTLETON COUNTY ROAD LLC
CAMA Number:	014-053-001-000		1 BOLTON RD
Property Address:	247 LITTLETON CNTY RD		HARVARD, MA 01451

Parcel Number:	014-053-002-000	Mailing Address:	247 LITTLETON COUNTY ROAD LLC
CAMA Number:	014-053-002-000		1 BOLTON RD
Property Address:	LITTLETON CNTY RD		HARVARD, MA 01451

## Abutters:

Parcel Number:	014-047-000-000	Mailing Address:	BANDLOW, JONATHAN A
CAMA Number:	014-047-000-000		223 LITTLETON CNTY RD
Property Address:	223 LITTLETON CNTY RD		HARVARD, MA 01451

Parcel Number:	014-049-000-000	Mailing Address:	BURWELL, JEFFREY A & LINDSAY M
CAMA Number:	014-049-000-000		225 LITTLETON CNTY RD
Property Address:	225 LITTLETON CNTY RD		HARVARD, MA 01451

Parcel Number:	014-050-000-000	Mailing Address:	SUGAI, DON P & BUKATKO, DANUTA
CAMA Number:	014-050-000-000		233 LITTLETON CNTY RD
Property Address:	233 LITTLETON CNTY RD		HARVARD, MA 01451

Parcel Number:	014-051-000-000	Mailing Address:	MICHAEL MANDELLO
CAMA Number:	014-051-000-000		235 LITTLETON CNTY RD
Property Address:	235 LITTLETON CNTY RD		HARVARD, MA 01451

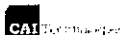
Parcel Number:	014-052-000-000	Mailing Address:	BUELL, MARK
CAMA Number:	014-052-000-000		237 LITTLETON CNTY RD
Property Address:	237 LITTLETON CNTY RD		HARVARD, MA 01451

Parcel Number:	014-053-001-000	Mailing Address:	247 LITTLETON COUNTY ROAD LLC
CAMA Number:	014-053-001-000		1 BOLTON RD
Property Address:	247 LITTLETON CNTY RD		HARVARD, MA 01451

Parcel Number:	014-053-003-000	Mailing Address:	HARVARD, TOWN OF, CONSERVATION
CAMA Number:	014-053-003-000		13 AYER RD
Property Address:	LITTLETON CNTY RD		HARVARD, MA 01451

Parcel Number:	014-053-004-000	Mailing Address:	HARVARD, TOWN OF, CONSERVATION
CAMA Number:	014-053-004-000		13 AYER RD
Property Address:	LITTLETON CNTY RD		HARVARD, MA 01451

Parcel Number:	014-054-000-000	Mailing Address:	BOSTON, CATHERINE J.
CAMA Number:	014-054-000-000		281 LITTLETON CNTY RD
Property Address:	281 LITTLETON CNTY RD		HARVARD, MA 01451



www.cai-tech.com

3/16/2023

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Page 1 of 2



## 300 feet Abutters List Report

Harvard, MA  
March 16, 2023

Parcel Number: 014-057-000-000  
CAMA Number: 014-057-000-000  
Property Address: 283 LITTLETON CNTY RD

Mailing Address: BRITTAIN, SCOTT & JENNIFER  
283 LITTLETON CNTY RD  
HARVARD, MA 01451

Parcel Number: 014-058-000-000  
CAMA Number: 014-058-000-000  
Property Address: 279 LITTLETON CNTY RD

Mailing Address: BROWN, TODD & CULLINANE, F  
ROBERT  
279 LITTLETON CNTY RD  
HARVARD, MA 01451

Parcel Number: 014-064-000-000  
CAMA Number: 014-064-000-000  
Property Address: LITTLETON CNTY RD

Mailing Address: HARVARD SPORTSMEN CLUB INC  
PO BOX 114  
HARVARD, MA 01451

Parcel Number: 014-065-000-000  
CAMA Number: 014-065-000-000  
Property Address: LITTLETON CNTY RD

Mailing Address: HARVARD SPORTSMEN CLUB INC  
PO BOX 114  
HARVARD, MA 01451

Parcel Number: 014-066-000-000  
CAMA Number: 014-066-000-000  
Property Address: LITTLETON CNTY RD

Mailing Address: CAMPANELLI-TRIGATE BOXBOROUGH  
SUB, LLC  
ONE CAMPANELLI DR  
BRAINTREE, MA 02184

Parcel Number: 014-068-000-000  
CAMA Number: 014-068-000-000  
Property Address: LITTLETON CNTY RD

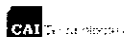
Mailing Address: HARVARD SPORTSMENS CLUB INC  
PO BOX 114  
HARVARD, MA 01451

Parcel Number: 014-069-000-000  
CAMA Number: 014-069-000-000  
Property Address: LITTLETON CNTY RD

Mailing Address: COSGROVE REALTY LLC  
441 MAYNARD RD  
SUDBURY, MA 01776

Parcel Number: 014-069-001-000  
CAMA Number: 014-069-001-000  
Property Address: 230 LITTLETON CNTY RD

Mailing Address: REN, XI & GAO, YA  
230 LITTLETON CNTY RD  
HARVARD, MA 01451



[www.cai-tech.com](http://www.cai-tech.com)

3/16/2023

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Page 2 of 2



247 LITTLETON COUNTY ROAD  
1 BOLTON RD  
HARVARD, MA 01451

HARVARD SPORTSMENS CLUB I  
PO BOX 114  
HARVARD, MA 01451

BANDLOW, JONATHAN A  
223 LITTLETON CNTY RD  
HARVARD, MA 01451

HARVARD, TOWN OF, CONSERV  
13 AYER RD  
HARVARD, MA 01451

BOSTON, CATHERINE J.  
281 LITTLETON CNTY RD  
HARVARD, MA 01451

MICHAEL MANDELLO  
235 LITTLETON CNTY RD  
HARVARD, MA 01451

BRITTAIN, SCOTT & JENNIFE  
283 LITTLETON CNTY RD  
HARVARD, MA 01451

REN, XI & GAO, YA  
230 LITTLETON CNTY RD  
HARVARD, MA 01451

BROWN, TODD & CULLINANE,  
279 LITTLETON CNTY RD  
HARVARD, MA 01451

SUGAI, DON P & BUKATKO, D  
233 LITTLETON CNTY RD  
HARVARD, MA 01451

BUELL, MARK  
237 LITTLETON CNTY RD  
HARVARD, MA 01451

BURWELL, JEFFREY A & LIND  
225 LITTLETON CNTY RD  
HARVARD, MA 01451

CAMPANELLI-TRIGATE BOXBOR  
ONE CAMPANELLI DR  
BRAintree, MA 02184

COSGROVE REALTY LLC  
441 MAYNARD RD  
SUDBURY, MA 01776

HARVARD SPORTSMEN CLUB IN  
PO BOX 114  
HARVARD, MA 01451



**TOWN OF BOXBOROUGH**  
Assessors  
29 Middle Road  
Boxborough, Massachusetts 01719  
978-264-1721 • FAX 978-264-3127  
klim@boxborough-ma.gov

OFFICE ☐  
TOWN BOARD ☐  
**RECEIVED**

**MAR 15 2023**

Assessors  
Boxborough, MA

**REQUEST FOR ABUTTERS**

DATE OF REQUEST: 3/14/2023 DATE LIST NEEDED: asap

PROPERTY LOCATION: 247 Littleton County Road, Harvard (across the street from parcel 01-006-000)

MAP \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

PROPERTY OWNER: 247 Littleton County Road LLC

To assist I've attached the list your office prepared one year ago. Same property with a minor modification. Thank you.

**REASON FOR LIST**

- ☐ CONSERVATION COMMISSION  
☒ ZONING BOARD OF APPEALS (Harvard ZBA)  
☐ PLANNING BOARD  
☐ PRELIMINARY PLAN  
☐ SITE PLAN  
☐ DEFINITIVE PLAN  
☐ SPECIAL PERMIT  
☐ BOARD OF SELECTMEN  
☐ OTHER \_\_\_\_\_

**RADIUS OF 300 FEET WILL BE USED FOR ALL ABUTTERS' LIST REQUEST**

**REQUESTER INFORMATION**

NAME Bruce Ringwall  
ADDRESS Goldsmith, Prest & Ringwall, Inc (GPR)  
39 Main Street, Suite 301, Ayer, MA 01432  
PHONE 978-772-1590 EMAIL bringwall@gpr-inc.com

**OFFICE USE ONLY**

DATE LIST PREPARED: 3/15/2023  
FEE CHARGED: \$ 10 AMOUNT PAID \$ 10.00  
DATE PAID: 3/20/2023 ☒ CHECK # 2248  
☐ CASH

FEE SCHEDULE: \$1.00 PER NAME IF THE LIST IS FOR CONSERVATION COMMISSION, \$2.00 PER NAME OTHERWISE  
\$10.00 MINIMUM  
\$30.00 MAXIMUM

LIST IS VALID FOR SIX (6) MONTHS. TOWN ASSESSOR IS ALLOWED TEN (10) BUSINESS DAYS FROM DATE OF REQUEST TO PROVIDE CERTIFIED LIST OF ABUTTERS.



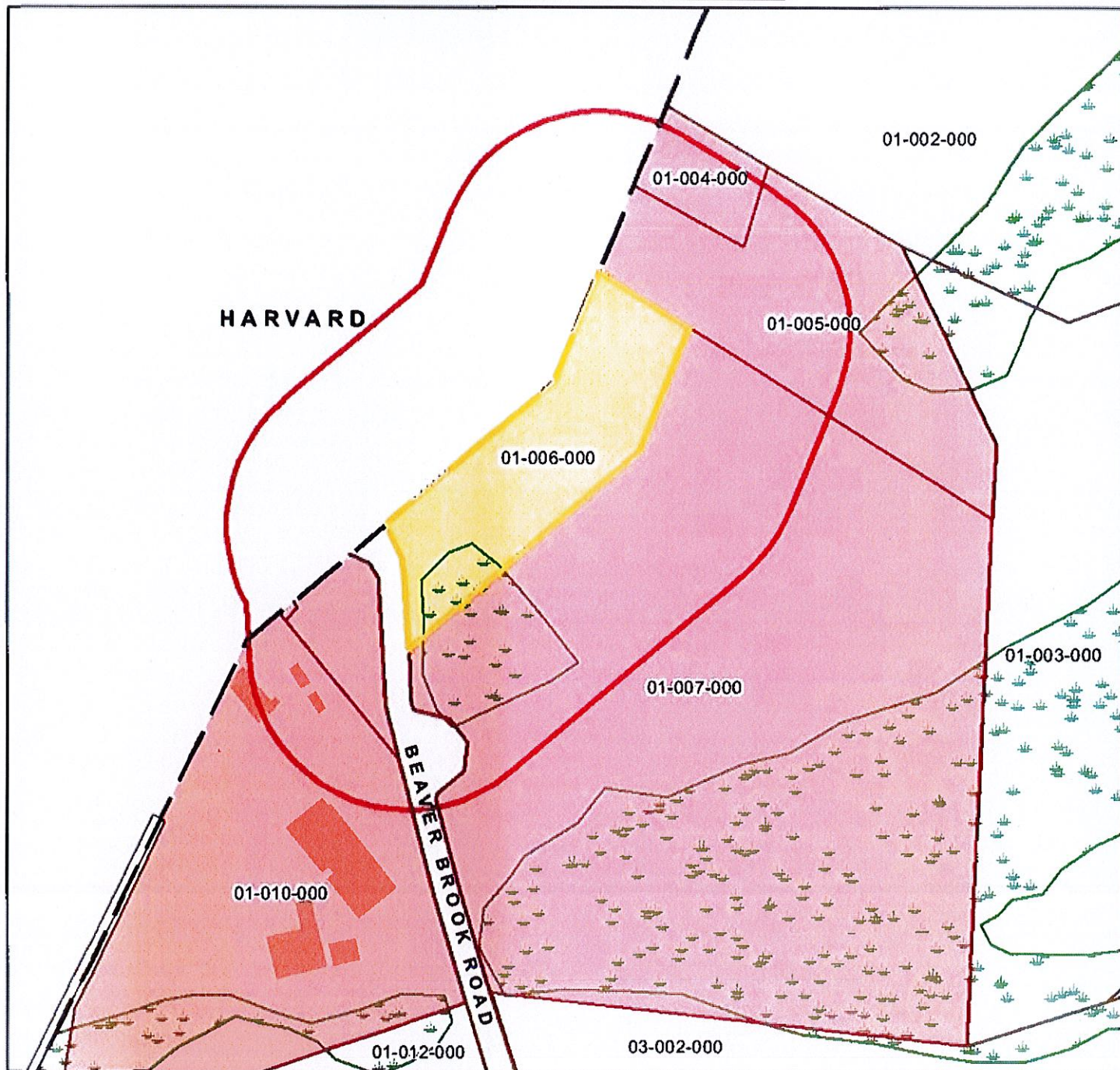
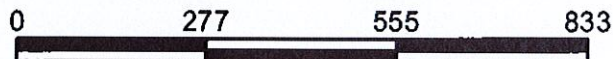


Boxborough, MA

March 15, 2023

1 inch = 277 Feet

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Large Scale	Outside Town Line
CAI Town Line	Buildings
Property Line	Right of Ways
Road	Wet Areas

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Boxborough, MA  
March 15, 2023

**Subject Property:**

Parcel Number: 01-006-000  
CAMA Number: 01-006-000  
Property Address: 999 BEAVER BROOK ROAD

Mailing Address: CAMPANELLI-TRIGATE BOXBOROUGH  
C/O CAMPANELLI COMPANIES  
ONE CAMPANELLI DRIVE  
BRAINTREE, MA 02184

**Abutters:**

Parcel Number: 01-004-000  
CAMA Number: 01-004-000  
Property Address: 999 REAR BEAVER BROOK ROAD

Mailing Address: HARVARD SPORTSMEN'S CLUB, INC.  
P.O. BOX 114  
HARVARD, MA 01451

Parcel Number: 01-005-000  
CAMA Number: 01-005-000  
Property Address: 995 REAR BEAVER BROOK ROAD

Mailing Address: HARVARD SPORTSMENS CLUB, INC  
PO BOX 114  
HARVARD, MA 01451

Parcel Number: 01-007-000  
CAMA Number: 01-007-000  
Property Address: 995 BEAVER BROOK ROAD

Mailing Address: CAMPANELLI-TRIGATE BOXBOROUGH  
C/O CAMPANELLI COMPANIES  
ONE CAMPANELLI DRIVE  
BRAINTREE, MA 02184

Parcel Number: 01-008-000  
CAMA Number: 01-008-000  
Property Address: 1000 BEAVER BROOK ROAD

Mailing Address: CAMPANELLI-TRIGATE BOXBOROUGH  
C/O CAMPANELLI COMPANIES  
ONE CAMPANELLI DRIVE  
BRAINTREE, MA 02184

Parcel Number: 01-009-000  
CAMA Number: 01-009-000  
Property Address: 1000 REAR BEAVER BROOK  
ROAD

Mailing Address: CAMPANELLI-TRIGATE BOXBOROUGH  
C/O CAMPANELLI COMPANIES  
ONE CAMPANELLI DRIVE  
BRAINTREE, MA 02184

Parcel Number: 01-010-000  
CAMA Number: 01-010-000  
Property Address: 240 LITTLETON COUNTY ROAD

Mailing Address: COSGROVE JAMES  
240 LITTLETON COUNTY RD  
HARVARD, MA 01451

THIS IS A CERTIFIED ABUTTERS LIST FROM THE  
TOWN OF BOXBOROUGH. WE CERTIFY THAT ALL  
THE NAMES AND ADDRESSES OF ALL  
PROPERTY OWNERS ARE ACCURATE TO  
THE BEST OF OUR KNOWLEDGE.

Office of the Board of Assessors

Date



www.cai-tech.com

3/15/2023

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Page 1 of 1

Abutters List Report - Boxborough, MA





Area where planting to be added.



Proposed parking access.



COMMERCIAL DEVELOPMENT  
247 LITTLETON COUNTY RD  
HARVARD, MA

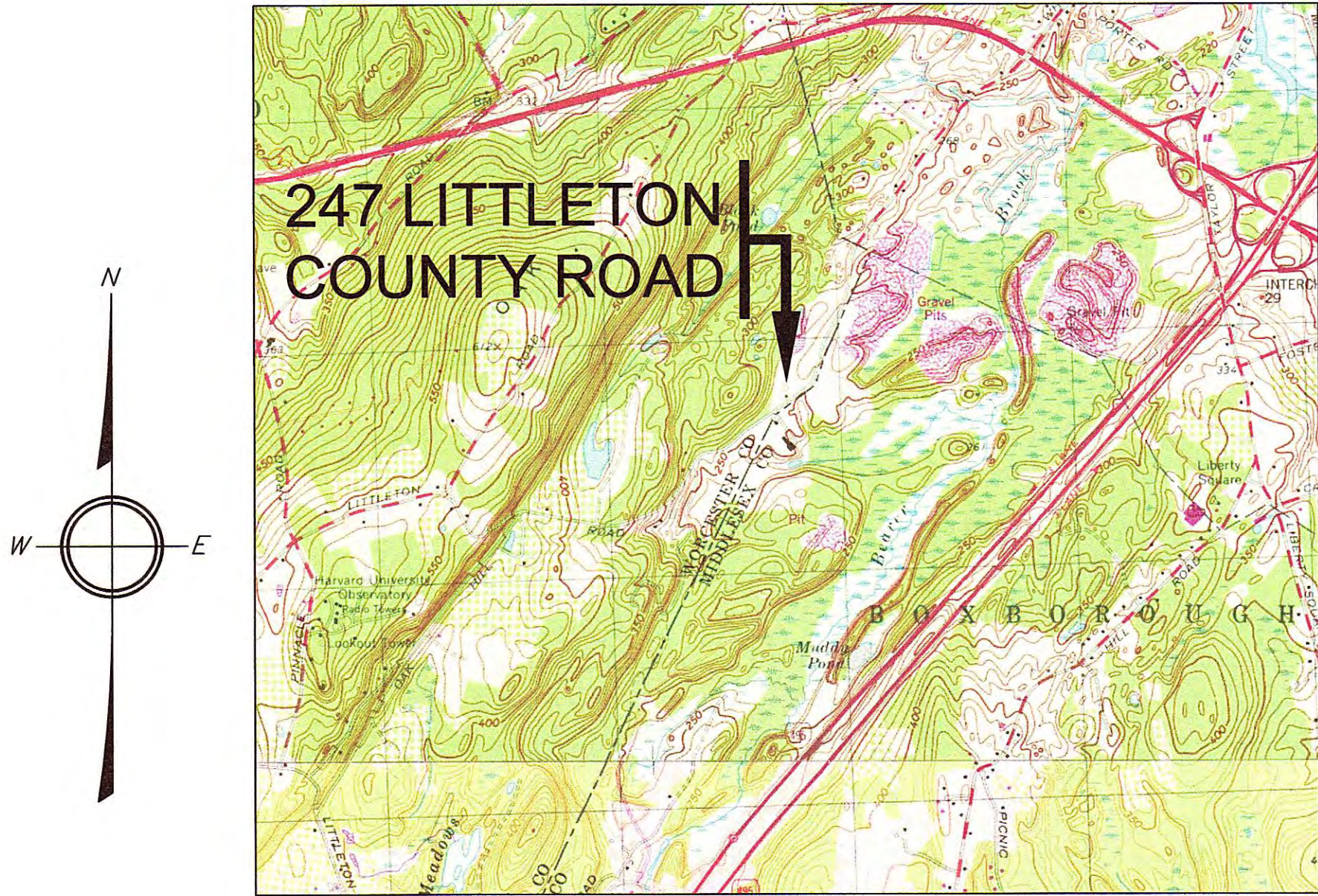
SITE DATA

LOT AREA: 24.57± AC. (1,070,269± SF)  
WATER SUPPLY: NON-MUNICIPAL (PWS - TNC)  
APPROXIMATE WATER USE: 1,980 GPD  
SEWAGE DISPOSAL: ONSITE SEWAGE DISPOSAL SYSTEM  
APPROXIMATE SEWAGE FLOW: 1,980 GPD  
ZONING DISTRICT: AGRICULTURE & SINGLE FAMILY RESIDENCE  
OVERLAY DISTRICT: WIRELESS COMMUNICATIONS

GENERAL NOTES

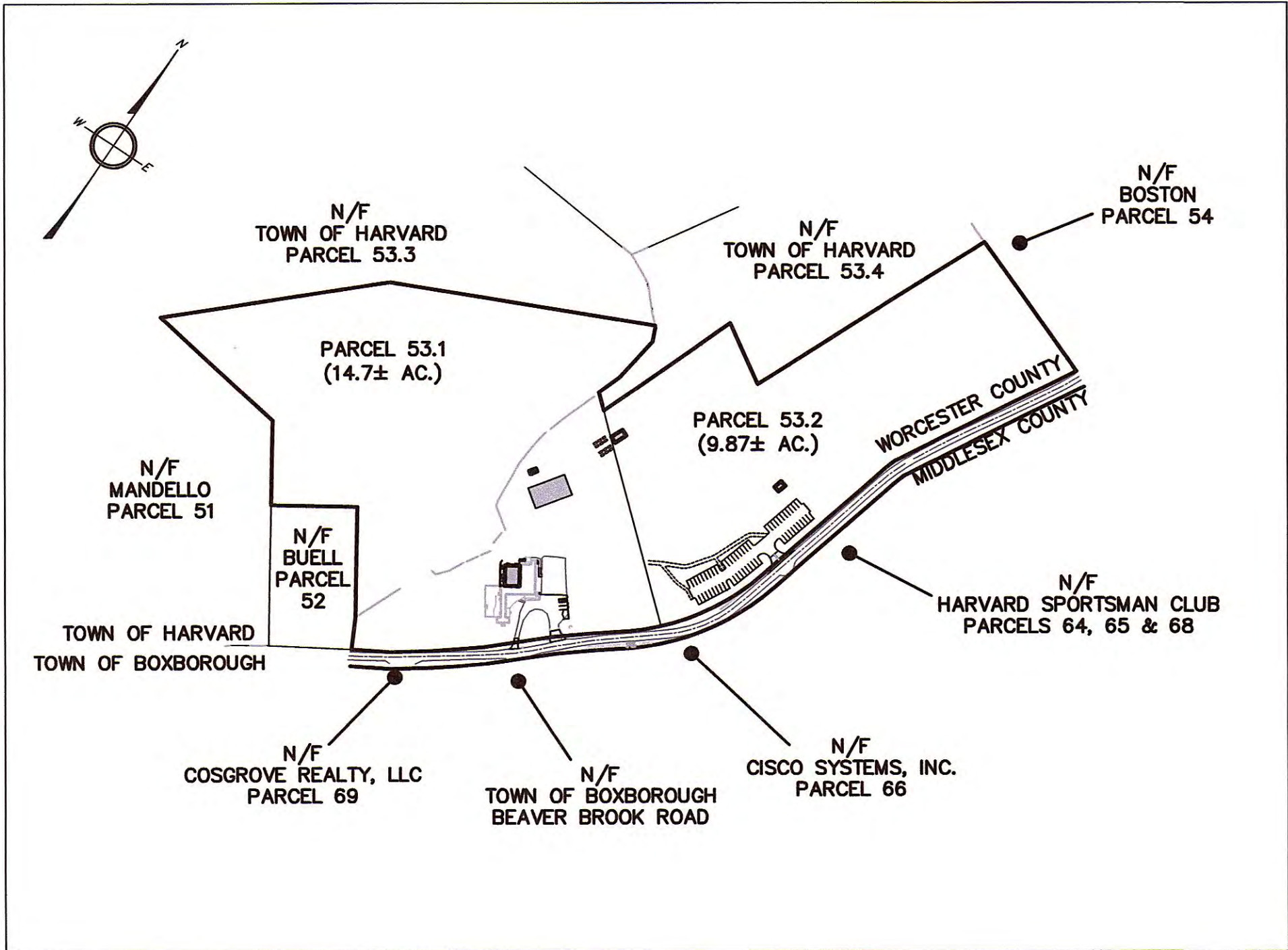
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- BURIED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR RESPECTIVE COMPANY SPECIFICATIONS.
- CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS SHALL BE PERFORMED BY A LICENSED PROFESSIONAL LAND SURVEYOR. LOCATIONS OF EXISTING FEATURES OR PROPOSED IMPROVEMENTS DERIVED BY SCALING DRAWINGS MAY NOT BE ACCURATE. PROPERTY LINES SHOWN HEREON ARE APPROXIMATE. SEE PLAN REFERENCE HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS, AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING UTILITY OR STRUCTURE DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND/OR REMOVAL HEREON. DAMAGED UTILITY OR STRUCTURE SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- CONTRACTOR SHALL NOTIFY ENGINEER UPON COMMENCEMENT OF CONSTRUCTION IN ORDER TO ENSURE THAT REQUIRED INSPECTIONS ARE PERFORMED IN A TIMELY AND EFFICIENT MANNER.
- CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER UPON DISCOVERY OF ANY UNFORESEEN SURFACE OR SUBSURFACE CONDITIONS THAT MAY IMPACT SITE CONSTRUCTION.
- FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EROSION CONTROL MEASURES, SUCH AS SILT FENCE OR HAY BALES AS MAY BE SHOWN HEREON, SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.
- WHERE THE WORD "INSTALL" IS USED HEREIN, IT IS INTENDED TO DIRECT CONTRACTOR TO "FURNISH, INSTALL, AND PLACE IN OPERATION" THE COMPONENT REFERRED TO.
- LIMITS OF WORK SHALL BE STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL STORM DRAIN PIPE TO BE SMOOTH INTERIOR HDPE PIPE, 2.0 PSI GASKETED JOINT, UNLESS OTHERWISE NOTED.
- WHERE SHOWN, CONSTRUCTION NOTES ARE INTENDED TO SUMMARIZE AND CLARIFY MAJOR ITEMS OF WORK. THESE NOTES SHOULD NOT BE CONSTRUED AS AN EXHAUSTIVE LISTING OF ALL WORK REQUIRED. CONTRACTOR SHOULD CONTACT ENGINEER WHEN FURTHER CLARIFICATION OF DEPICTED WORK IS DESIRED.
- CONSTRUCTION OF FIRE AND DOMESTIC WATER SUPPLY IMPROVEMENTS SHALL CONFORM TO TOWN OF HARVARD REQUIREMENTS.
- WHERE DIMENSIONS INVOLVE CURB, DIMENSIONS ARE TO FACE OF CURB. WHERE SLOPED GRANITE CURB OR CAPE COD BERM SPECIFIED, FACE OF CURB IS EDGE OF FINISH PAVEMENT AT TOE OF CURB.
- NO DEBRIS, JUNK, RUBBISH OR OTHER NON-BIODEGRADABLE MATERIALS, FILL CONTAINING HAZARDOUS MATERIALS OR WASTES, OR STUMPS SHALL BE BURIED ON ANY LAND ON THIS SITE, OR LEFT ON ANY LOT OR ON THE STREET RIGHT OF WAY.
- CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 888.344.7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL GIVE TWENTY-FOUR (24)-HOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- CONTRACTOR SHALL BE AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
- GENERAL COMPLIANCE WITH 28 CFR PART 36 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND 521 CMR PART C, EXTERIOR OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS IS INTENDED. CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION AND SHALL NOTIFY THE OWNER OF ANY NON-COMPLIANCE ISSUES AS SOON AS DISCOVERED.

REGULATORY NOTES



VICINITY MAP

SCALE: 1" = 2,000'



PLOT PLAN

SCALE: 1" = 300'

ZONING

Parameter	Section [1]	Requirement	Remarks
Zoning District	125-21	AR	Agriculture & Single Family Residence
Overlay Districts	125-27		Wireless Communications
Proposed Use	125-3.D	SP from ZBA	Existing non-conforming uses & building (See Plan Reference #1)
Lot Area	125-29.B(1)	1.5 acres	24.57 acres total
Frontage	125-29.B(3)	180 FT	1,862.1 FT along Littleton County Road
Yard	Front 125-30.E(4) Side 125-30.E(3) Rear 125-30.E(3)	125 FT 80 FT 80 FT	71'± 326'± 62'±
Open Space	125-39.C(1) 125-39.C(2)	20' buffer strip (lot perimeter) 50% of lot area	Provided Provided
Floor Area Ratio	125-30.B	10% land area of lot	Or 8,000 sf GFA, whichever is greater; Provided
Building Height	125-30.C	<35 FT and <3 stories	Provided
Site Plans	125-38.A(4)		Site Plan review and approval by Planning Board for commercial uses
Parking	125-39.A		Quantity not regulated 20 FT green strip for every 160 FT of parking or 10 ft green strip for every 80 FT of parking 24 FT aisle width 9' X 19' parking space

NOTES:  
[1] Reference to section of Zoning Bylaw, where applicable.

ABBREVIATIONS:  
SF=square feet; CF=cubic feet; FT=feet; GFA=gross floor area; GPD=gallons per day; AC=acres; A=Aquifer Overlay District; WR=Water Resource Overlay District; ZBA=Zoning Board of Appeals.

PARKING COMPUTATIONS

USE	FORMULA	VARIABLE	REQUIRED SPACES	PROPOSED SPACES
Functions	None			60*
*Includes 2 ADA accessible parking				

NOTES:  
1. See Zoning Bylaw section 125-39.A.

COVERAGE COMPUTATIONS

PARAMETER	AREA (ACRES)	AREA (SQUARE FEET)	FRACTION OF TOTAL LOT AREA (%)
EXISTING CONDITION			
Lot Area	24.57	1,070,269	100%
Building Footprint	0.12	5,212	0.5%
Other Impervious Area	0.29	12,594	1.2%
Total Impervious Coverage	0.41	17,806	1.7%
DEVELOPED CONDITION			
Lot Area	24.57	1,070,269	100%
Building Footprint	0.27	11,788	1.1%
Other Impervious Area	0.63	27,498	2.6%
Total Impervious Coverage	0.90	39,286	3.7%
NET CHANGE in Total Impervious Coverage	+0.49	+21,480	+2.0%

SHEET INDEX

- TITLE SHEET
- EXISTING CONDITIONS
- EROSION & SEDIMENT CONTROL
- LANDSCAPE & SITE LAYOUT
- GRADING, DRAINAGE, & UTILITIES
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS

ASSESSORS REFERENCE

ASSESSORS MAP 14, BLOCK 53, PARCELS 1 & 2  
24.57± ACRES  
OWNER PER ASSESSOR RECORD:  
247 LITTLETON COUNTY ROAD LLC  
1 BOLTON ROAD  
HARVARD, MA 01451

PLAN REFERENCES

- "ZBA SPECIAL PERMIT PLAN - SITE PLAN 247 LITTLETON COUNTY ROAD," PREPARED BY GOLDSMITH, PREST & RINGWALL, INC. DATED MARCH 2022. SPECIAL PERMIT GRANTED BY TOWN OF HARVARD ZONING BOARD OF APPEALS ON JUNE 16, 2022. RECORDED AT WORCESTER SOUTH DISTRICT REGISTRY OF DEEDS ON SEPTEMBER 21, 2022. BK 68247 PG 318. DOCUMENT NO. 103841.
- "FERENCE CATERING - HARVARD, MA," PREPARED BY BECHTEL FRANK ERICKSON ARCHITECTS, INC. ISSUED FOR BID ON DECEMBER 9, 2022.

EXISTING CONDITIONS NOTES

- EXISTING CONDITION INFORMATION BASED ON AN ON-THE-GROUND TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY GOLDSMITH, PREST & RINGWALL, INC. DATED JANUARY 2022.

APPROVED BY THE TOWN OF  
HARVARD PLANNING BOARD

CHAIR  
APPLICATION FILED  
HEARING DATE  
PLAN APPROVED

DRAWING ISSUED FOR:

- ☐ CONCEPT ☐ CONSTRUCTION  
☒ PERMIT ☐ CONSTRUCTION RECORD

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PER 250 CMR 5.03(13), THE FOLLOWING ARE EXCLUDED FROM THE PROFESSIONAL ENGINEER'S RESPONSIBILITY: ALL BOUNDARY INFORMATION; LOCATION OF EXISTING STRUCTURES, TREES, UTILITIES, TOPOGRAPHY OR SIMILAR FEATURES; DESIGN OF RETAINING WALLS, PROPRIETARY EQUIPMENT. SEE EXISTING CONDITION NOTES.

NO.	DATE	BY	APP.	REVISION DESCRIPTION

**GPR** Engineering Solutions for Land & Structures

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www.gpr-inc.com

COMMERCIAL DEVELOPMENT  
SITE PLAN REVIEW APPLICATION  
TITLE SHEET

247 LITTLETON COUNTY ROAD  
HARVARD, MA

PREPARED FOR:  
WILLIAM FERENCE  
40 MASS. AVE.  
HARVARD, MA

DES. BY: DJG  
CHK. BY: NMP  
DATE: MAY 2023  
JOB 211137  
1 OF 6



P:\21-1137\DWG\PERMIT SITE PLAN-1.DWG 05-02-23 10:20:39 AM - LAYOUT 2-EC



LEGEND	
EXISTING	
	ELEVATION CONTOUR
	SPOT GRADE
	PROPERTY LINE
	WETLAND DELINEATION
	WETLAND BUFFER ZONE
	SHORELINE
	100-YEAR FLOODPLAIN LIMIT
	TREE LINE / EDGE OF VEGETATION
	EDGE OF PAVEMENT
	CAPE COD BERM CURBING
	GRANITE CURBING
	GRAVEL/DIRT ROAD
	STOCKADE FENCE
	STONE WALL
	WATER MAIN
	WATER SERVICE
	FIRE SERVICE
	WATER VALVE
	FIRE HYDRANT
	FORCE MAIN
	GRAVITY SEWER LINE
	SEWER MANHOLE
	GAS LINE
	GAS SERVICE
	GAS VALVE
	BURIED POWER LINE
	OVERHEAD POWER LINE
	UTILITY POLE
	GUY WIRE
	ELECTRIC BOX
	STORM DRAIN
	UNDERDRAIN
	ROOF DRAIN
	FOUNDATION DRAIN
	CATCH BASIN
	DRAIN MANHOLE
	SILT FENCE BARRIER
	STRAW WATTLES
	DEEP SOIL OBSERVATION HOLE
	SITE LUMINAIRE
	SIGN
	SURFACE RUNOFF DIRECTION
	STONE BOUND
	DRILL HOLE
	IRON ROD

ABBREVIATIONS	
EL	ELEVATION
INV	INVERT
SF	SQUARE FEET
AC	ACRES
FT	FEET
R	RADIUS
DIA	DIAMETER
BIT	BITUMINOUS
CONC	CONCRETE
L	LENGTH
S	SLOPE
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
N/F	NOW OR FORMERLY
VP	VERNAL POOL
WF	WETLAND FLAG
TW	TOP OF WALL
BW	BOTTOM OF WALL
FG	FINISH GRADE
BSMT	BASEMENT
FF	FINISH FLOOR

#### DRAWING ISSUED FOR:

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#### COMMERCIAL DEVELOPMENT SITE PLAN REVIEW APPLICATION

#### EXISTING CONDITIONS

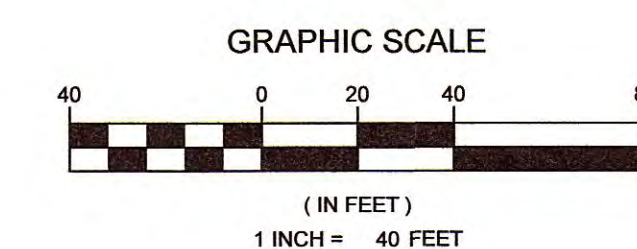
247 LITTLETON COUNTY ROAD  
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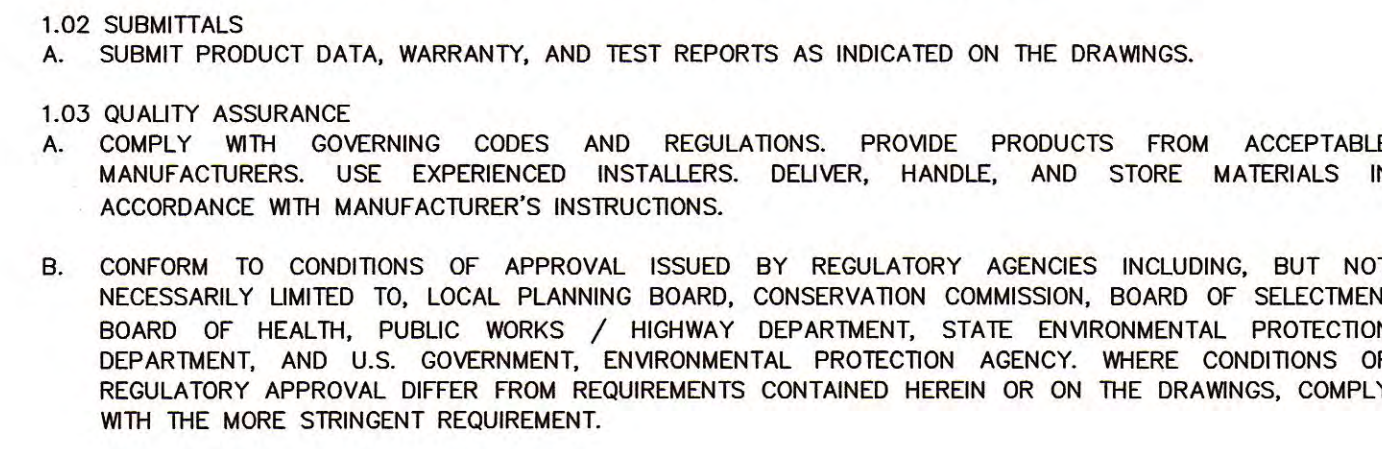
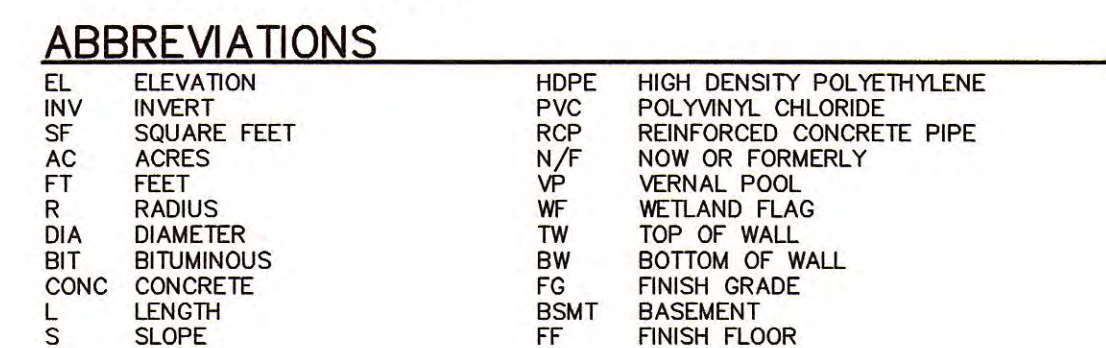
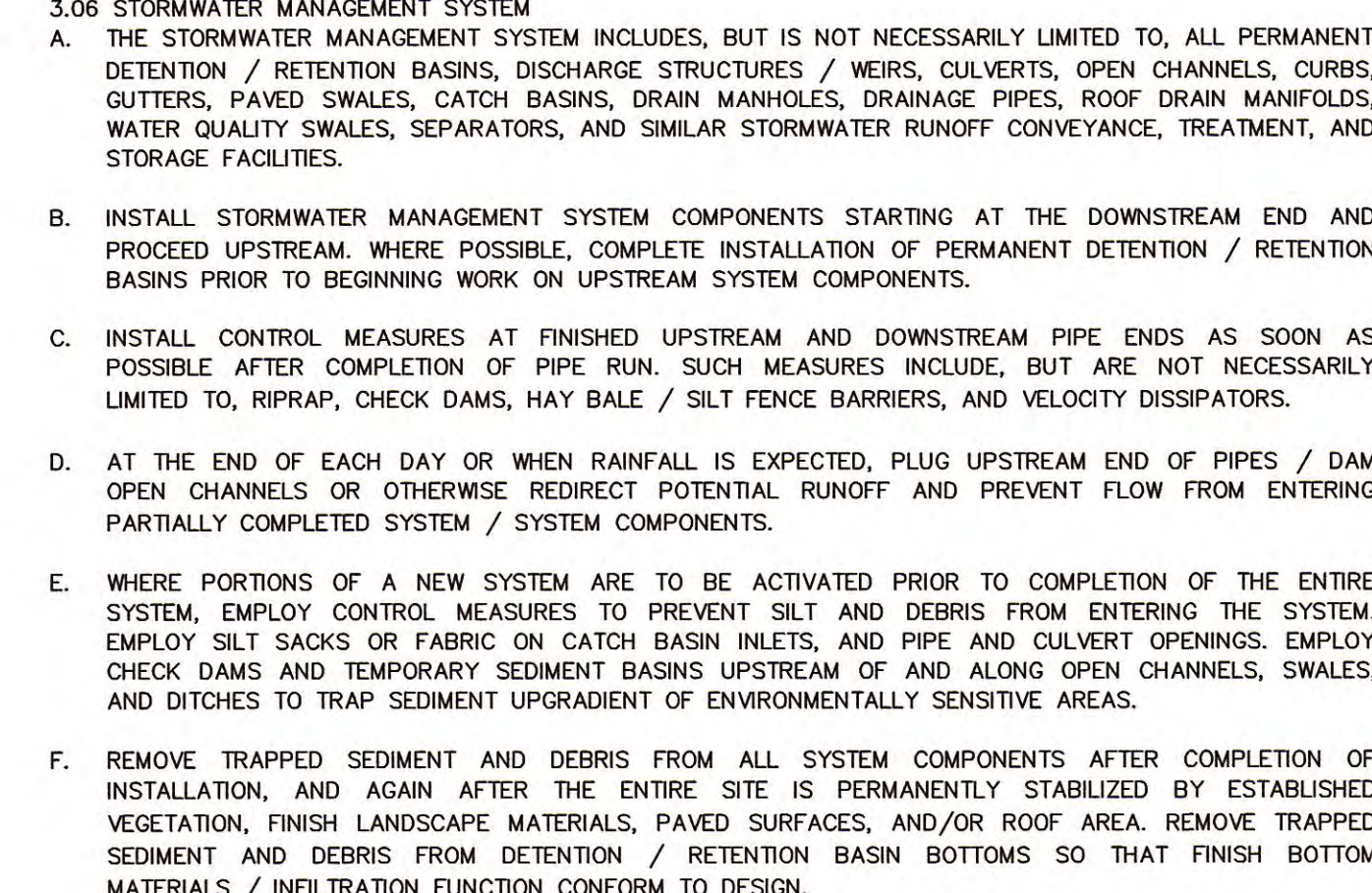
DES. BY: DJG	DATE: APRIL 2023	JOB 211137	2 OF 6
CHK. BY: NMP			

#### SURVEY NOTES:

1. SEE TITLE SHEET FOR NOTES AND REFERENCES.

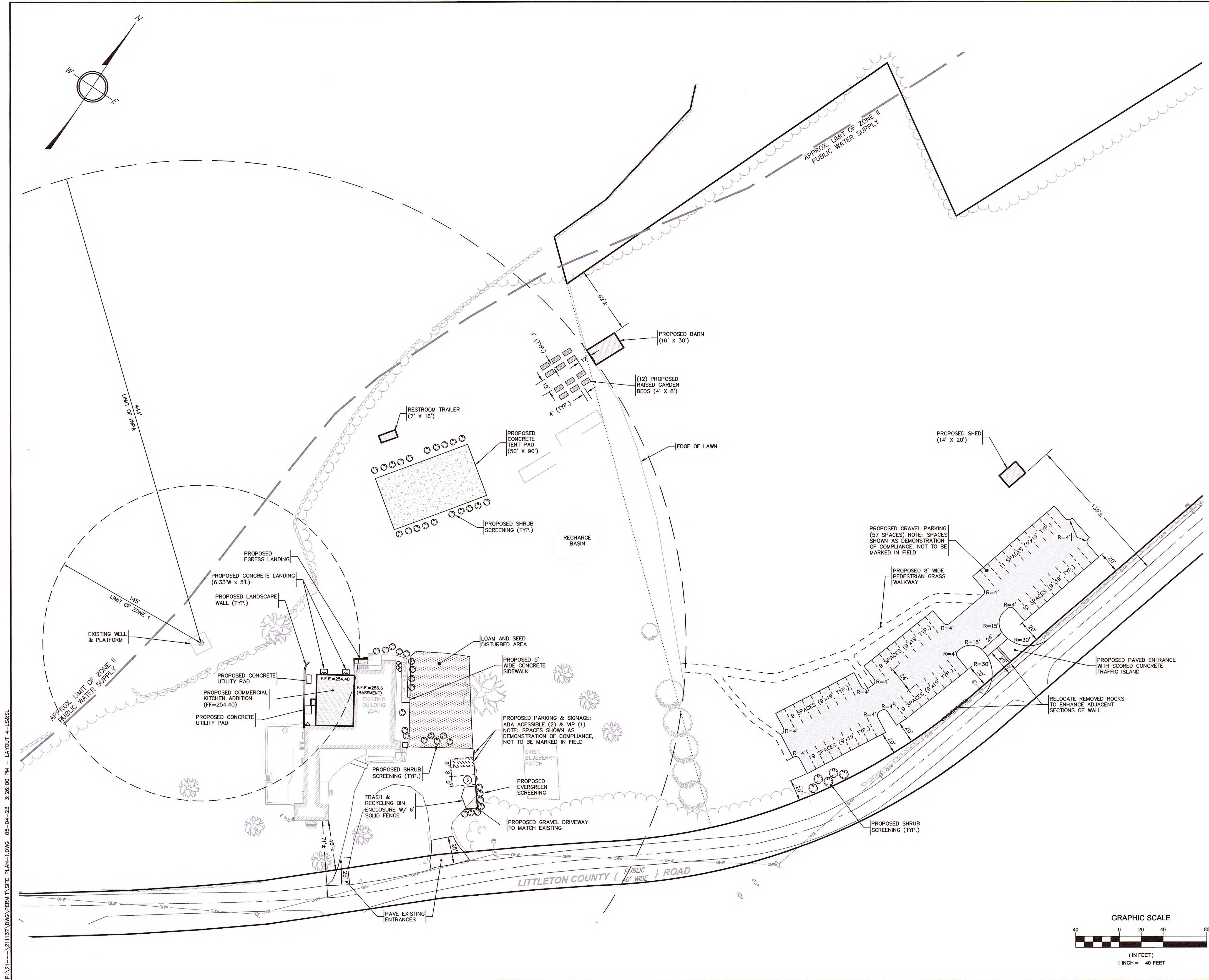






DES. BY: DJG	DATE: MAY 2023	JOB 211137	3 OF 6
CHK. BY: NMP			





LEGEND	
EXISTING	PROPOSED
100.0	ELEVATION CONTOUR
100.0	SPOT GRADE
---	PROPERTY LINE
---	WETLAND DELINEATION
---	WETLAND BUFFER ZONE
---	SHORELINE
---	100-YEAR FLOODPLAIN LIMIT
---	TREE LINE / EDGE OF VEGETATION
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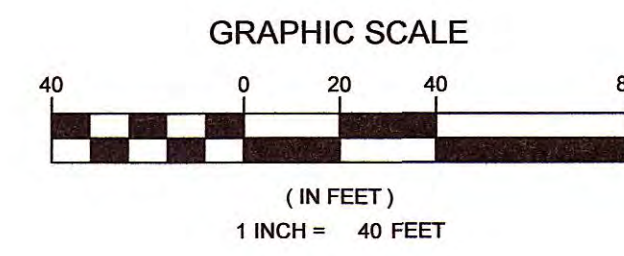
COMMERCIAL DEVELOPMENT  
SITE PLAN REVIEW APPLICATION

LANDSCAPE & SITE LAYOUT

247 LITTLETON COUNTY ROAD  
HARVARD, MA

PREPARED FOR:  
WILLIAM FERENC  
40 MASS. AVE.  
HARVARD, MA

DES. BY: DJG	DATE: MAY 2023	JOB 211137	4 OF 6
CHK. BY: NMP			



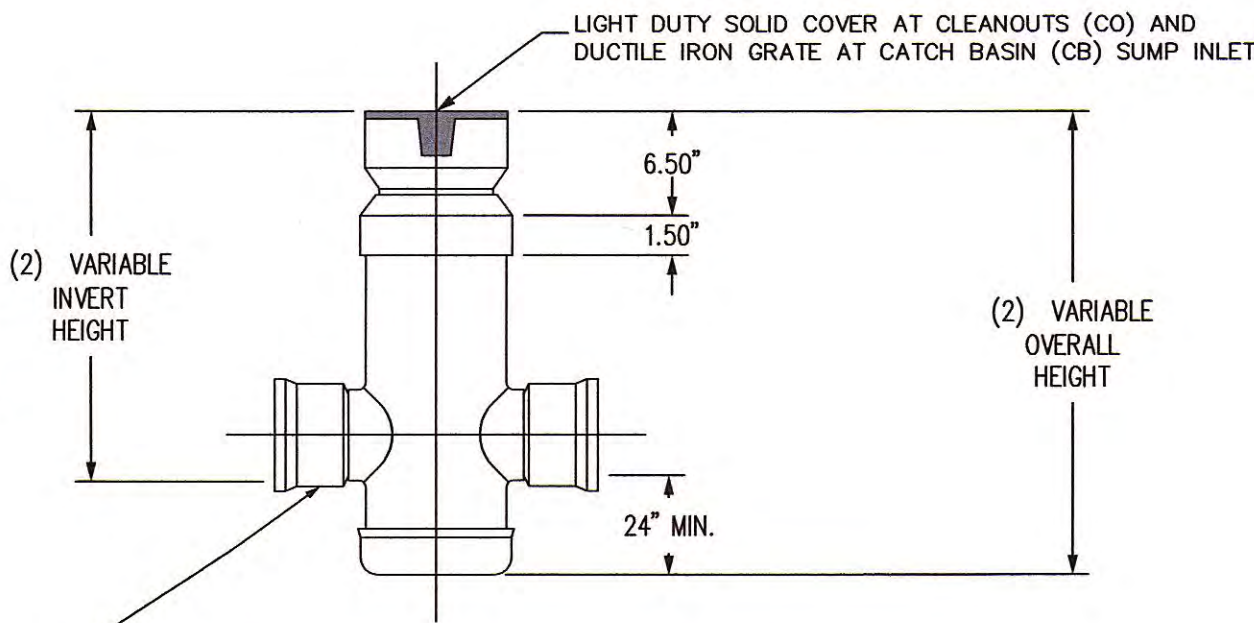






LCB NOTES:

- 1 - SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 2 - CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065
- 3 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
- 4 - STANDARD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS OF 0° & 180°. CUSTOM DRAIN BASIN ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 5 DIMENSIONS ARE FOR REFERENCE ONLY ACTUAL DIMENSIONS MAY VARY.



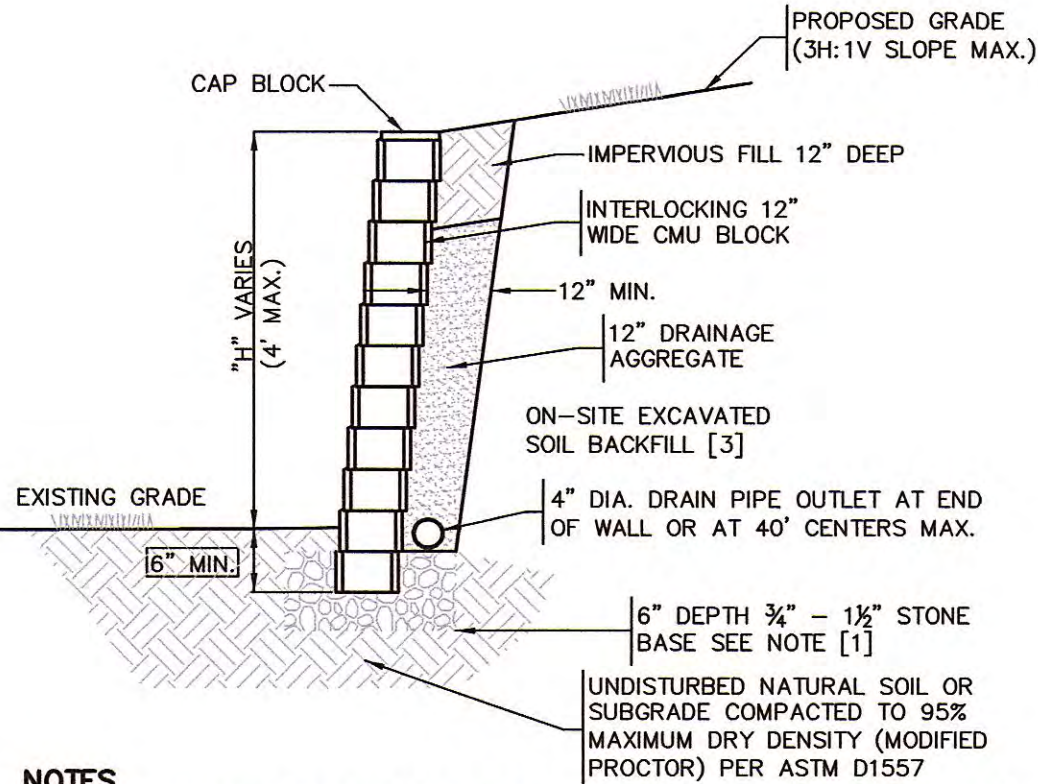
(3,4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE:  
4" - 8" FOR CORRUGATED HDPE (ADS-12/HANCOR DUAL WALL,  
ADS/HANCOR SINGLE WALL), PVC SEWER (EX: SDR 35), PVC DWV (EX:  
SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC



3130 VERONA AVE  
BUFORD, GA 30518  
PHN (770) 932-2443  
FAX (770) 932-2490  
www.nyloplast-us.com

"LCB" LANDSCAPE CATCH BASINS (OR EQUAL)

NOT TO SCALE

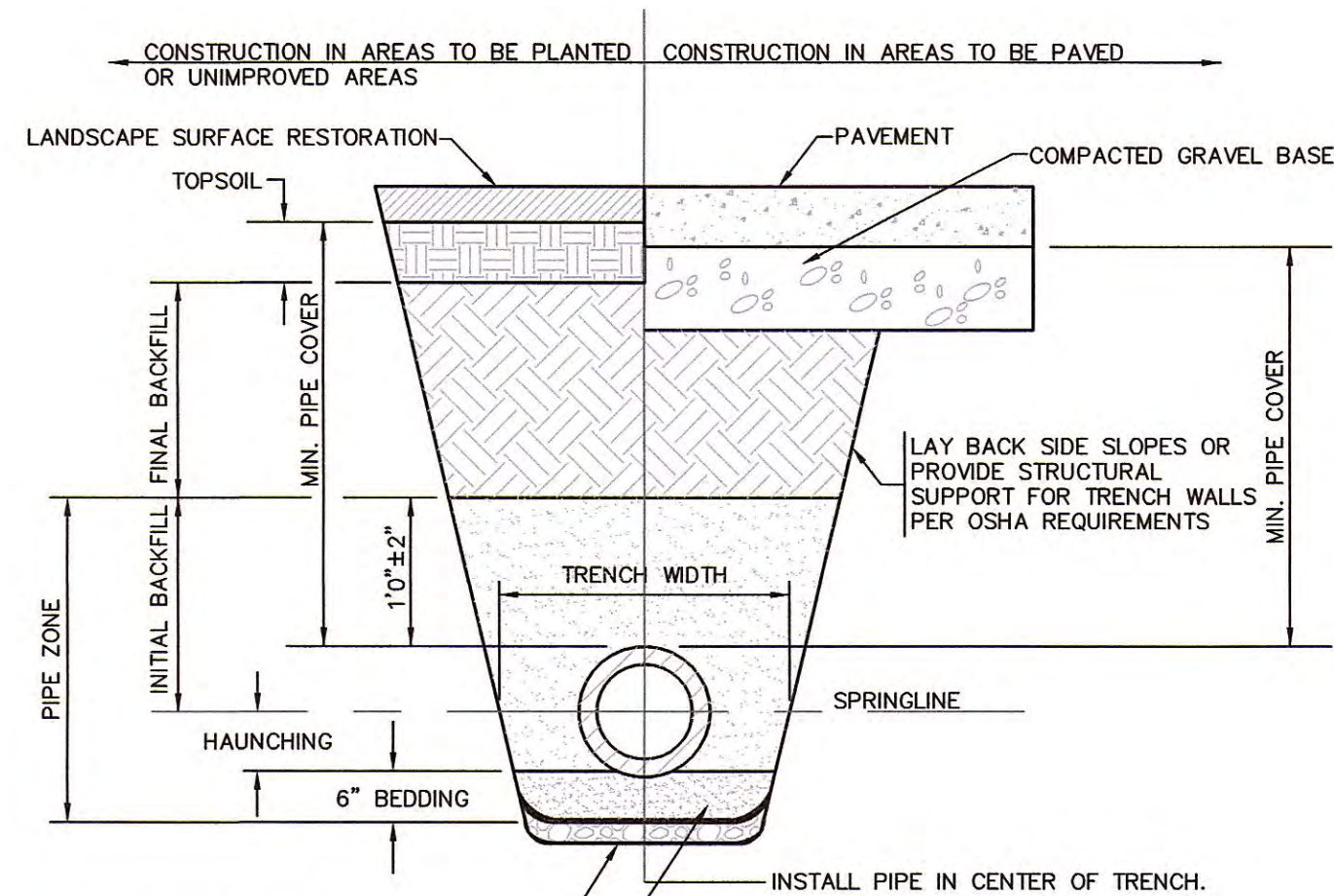


NOTES

- [1] REMOVE ORGANIC MATERIAL TO A MAX. DEPTH OF 2 FEET AND REPLACE WITH 3/4" TO 1 1/2" STONE BASE.
- [2] CONSTRUCT INTERLOCKING CMU BLOCK WALL IN ACCORDANCE W/ MFG. RECOMMENDATIONS.
- [3] PLACE FILL BEHIND WALL IN MAX. 8" LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY.
- [4] DESIGN ENGINEER SHALL OBSERVE SOILS IN BASE EXCAVATION FOR SUITABILITY OF USE PRIOR TO CONSTRUCTION OF RETAINING WALL.

LANDSCAPE RETAINING WALL

TYPICAL CROSS SECTION  
NOT TO SCALE



FOUNDATION STABILIZATION WHEN REQUIRED BY ENGINEER, OTHERWISE, PLACE BEDDING ON UNDISTURBED NATURAL SOIL.

SHAPE BEDDING BY HAND TO FIT BOTTOM OF PIPE. INSTALL PIPE ON STABLE BEDDING WITH UNIFORM BEARING UNDER FULL LENGTH OF PIPE BARREL.

TRENCH WIDTH:

[1] MINIMUM WIDTH OF TRENCH MEASURED AT SPRINGLINE OF PIPE, INCLUDING ANY NECESSARY SHEATHING:

PIPE I.D.	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

MINIMUM PIPE COVER:

[1] MINIMUM SOIL COVER OVER TOP OF PIPE.

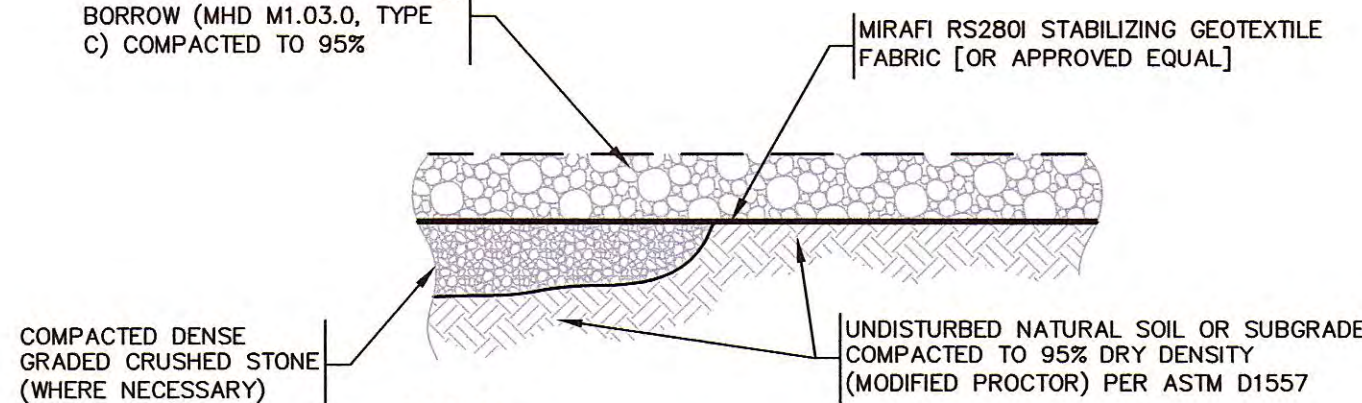
PIPE MATERIAL	HDPE, PVC	RC, DI
WATER	5' - 0"	5' - 0"
SEWER	4' - 0"	4' - 0"
DRAIN	2' - 0"	1' - 0"

MATERIAL KEY NOTES (SEE TABLE BELOW):

- [1] PLACE 2" MINUS CRUSHED STONE.
- [2] PLACE 1/2" MINUS SAND BORROW (MHD M1.04.1), AT OPTIMUM MOISTURE IN HORIZONTAL 8" DEEP LOOSE LAYERS, COMPACT TO 95% PER ASTM D-1557 MODIFIED PROCTOR METHOD.
- [3] IN PLANTED OR UNIMPROVED AREAS, USE 2-INCH MINUS ON-SITE EXCAVATED MATERIAL. COMPACT TO 80% PER ASTM D-1557. IN PAVED AREAS, OBTAIN ENGINEER APPROVAL OF 2-INCH MINUS ON-SITE EXCAVATED MATERIALS.

FOUNDATION, BEDDING AND BACKFILL MATERIALS		
PIPE MATERIAL	HDPE, PVC	RC, DI
FOUNDATION STABILIZATION	[NOTE 1]	[NOTE 1]
BEDDING	[NOTE 2]	[NOTE 2]
HAUNCHING	[NOTE 2]	[NOTE 2]
INITIAL BACKFILL	[NOTE 2]	[NOTE 2]
FINAL BACKFILL	[NOTE 3]	[NOTE 3]

6" LAYER OF 2" MINUS GRAVEL BORROW (MHD M1.03.0, TYPE C) COMPACTED TO 95%



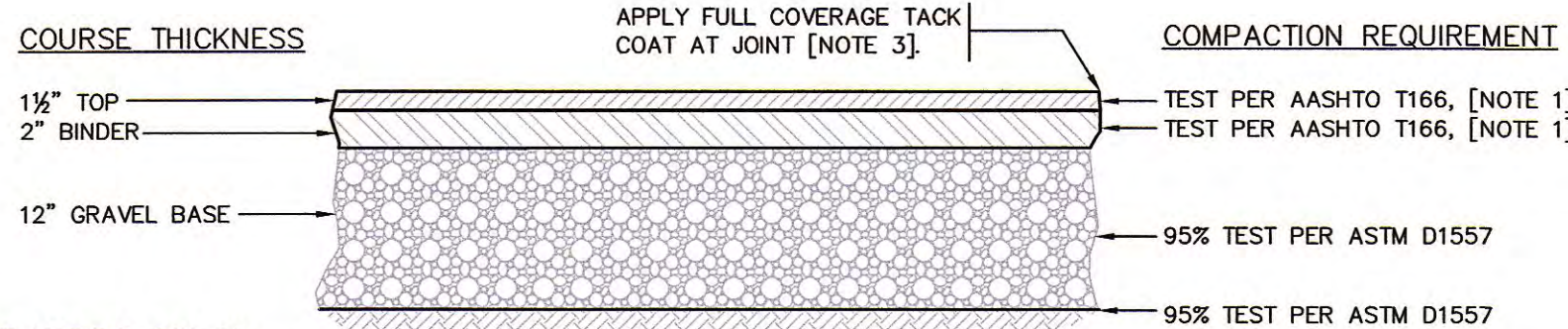
NOTES:

- [1] UNSUITABLE MATERIAL IN THE SUBGRADE SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SUBSTITUTE MATERIAL: 3/4" MINUS DENSE GRADED CRUSHED STONE.
- [2] FINAL GRAVEL DRIVEWAY STABILIZATION DESIGN TO BE CONFIRMED BY THE GEOTECHNICAL ENGINEER.

GRAVEL DRIVEWAY/PARKING

TYPICAL CROSS SECTION  
NOT TO SCALE

COURSE THICKNESS



UNDISTURBED NATURAL SOIL OR SUBGRADE COMPACTED TO 95% DRY DENSITY (MODIFIED PROCTOR) PER ASTM D1557 (REMOVE UNSUITABLE MATERIAL, LOAM AND ORGANICS)

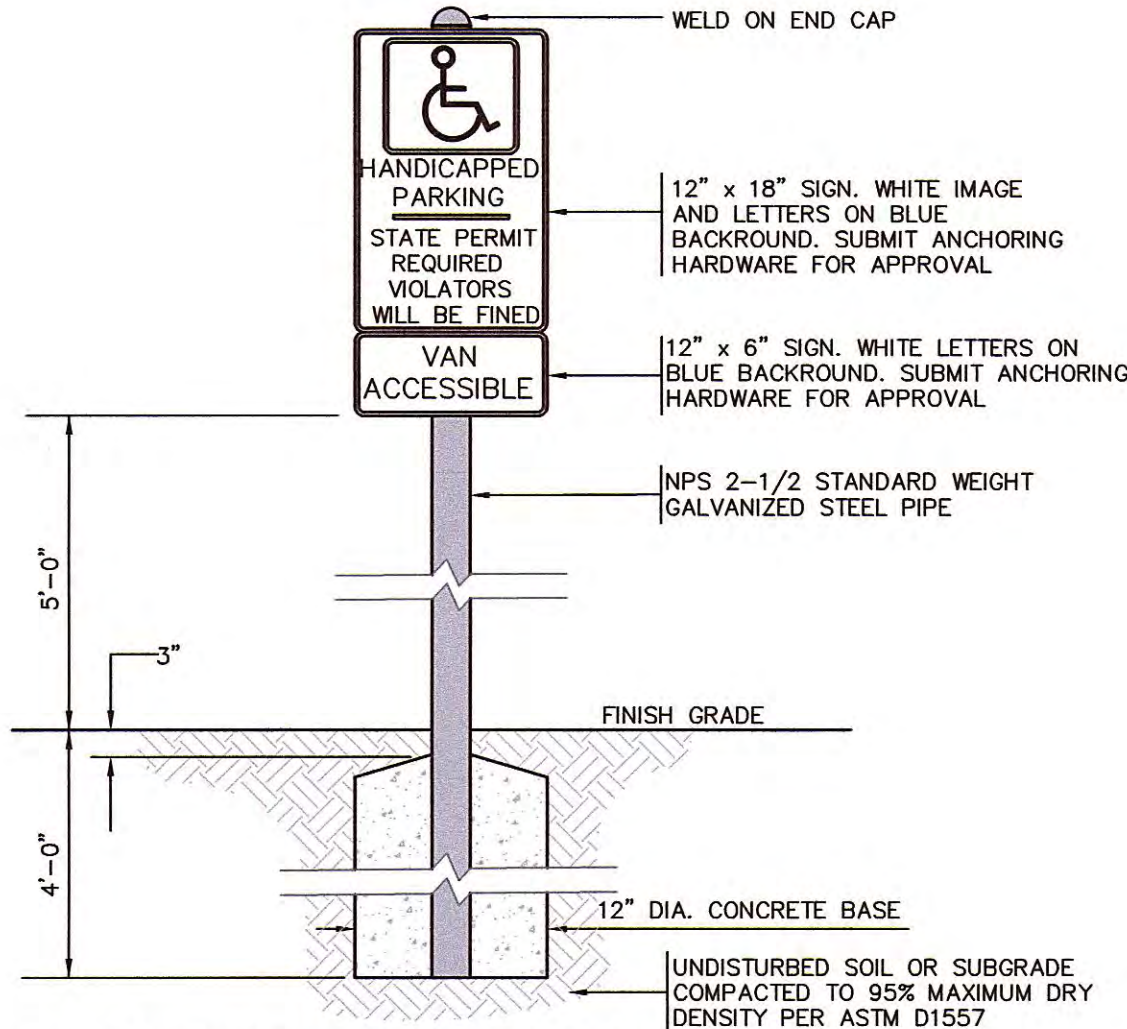
COURSE	MATERIAL	SPECIFICATION PER MASS HIGHWAY DEPARTMENT (MHD)	MAX AGG. SIZE (INCH)
TOP	BITUMINOUS CONCRETE	M3.11.03 CLASS I, TYPE I-1	1 1/2
BINDER	BITUMINOUS CONCRETE	M3.11.03 CLASS I, TYPE I-1	3/4
BASE	GRAVEL BORROW [2]	M1.03.0 TYPE B	3
UNSUITABLE SUBGRADE	ORDINARY BORROW	ON-SITE EXCAVATED MATERIAL	12

NOTES:

- [1] COMPACT TO TEST AVERAGE OF 95% NO TEST LOWER THAN 93%.
- [2] ACCEPTABLE SUBSTITUTE MATERIAL: 3/4" MINUS DENSE GRADED CRUSHED STONE.
- [3] EXISTING PAVEMENT SHALL BE SAW CUT VERTICALLY AT FINAL JOINT LOCATIONS.

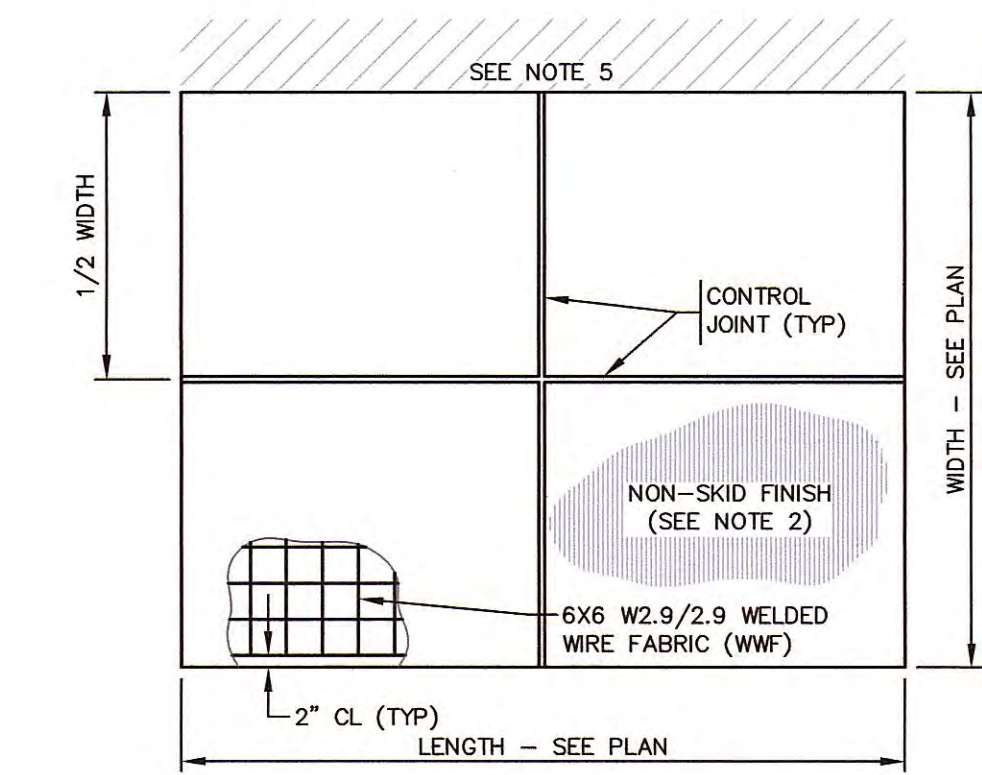
BITUMINOUS CONCRETE PAVEMENT

TYPICAL CROSS SECTION  
NOT TO SCALE

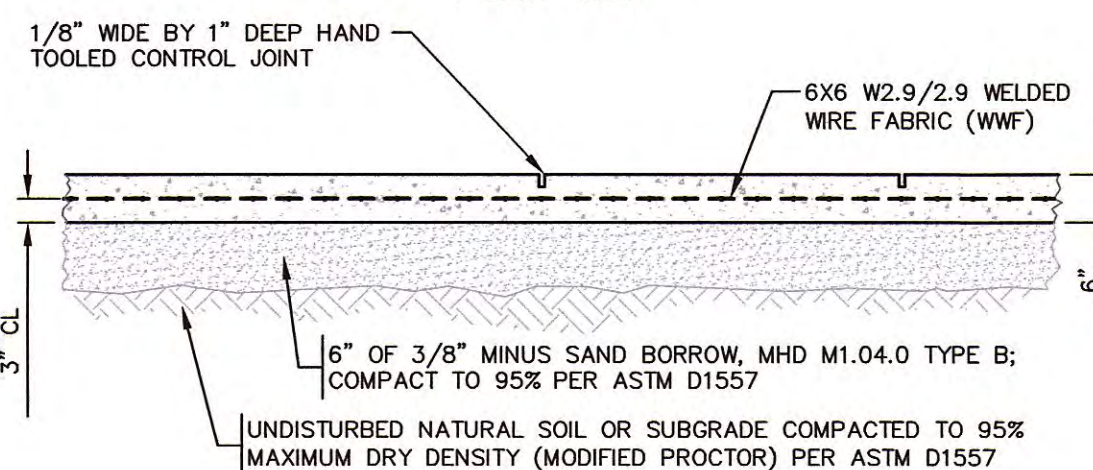


HANDICAP PARKING SIGN

NOT TO SCALE



PLAN VIEW



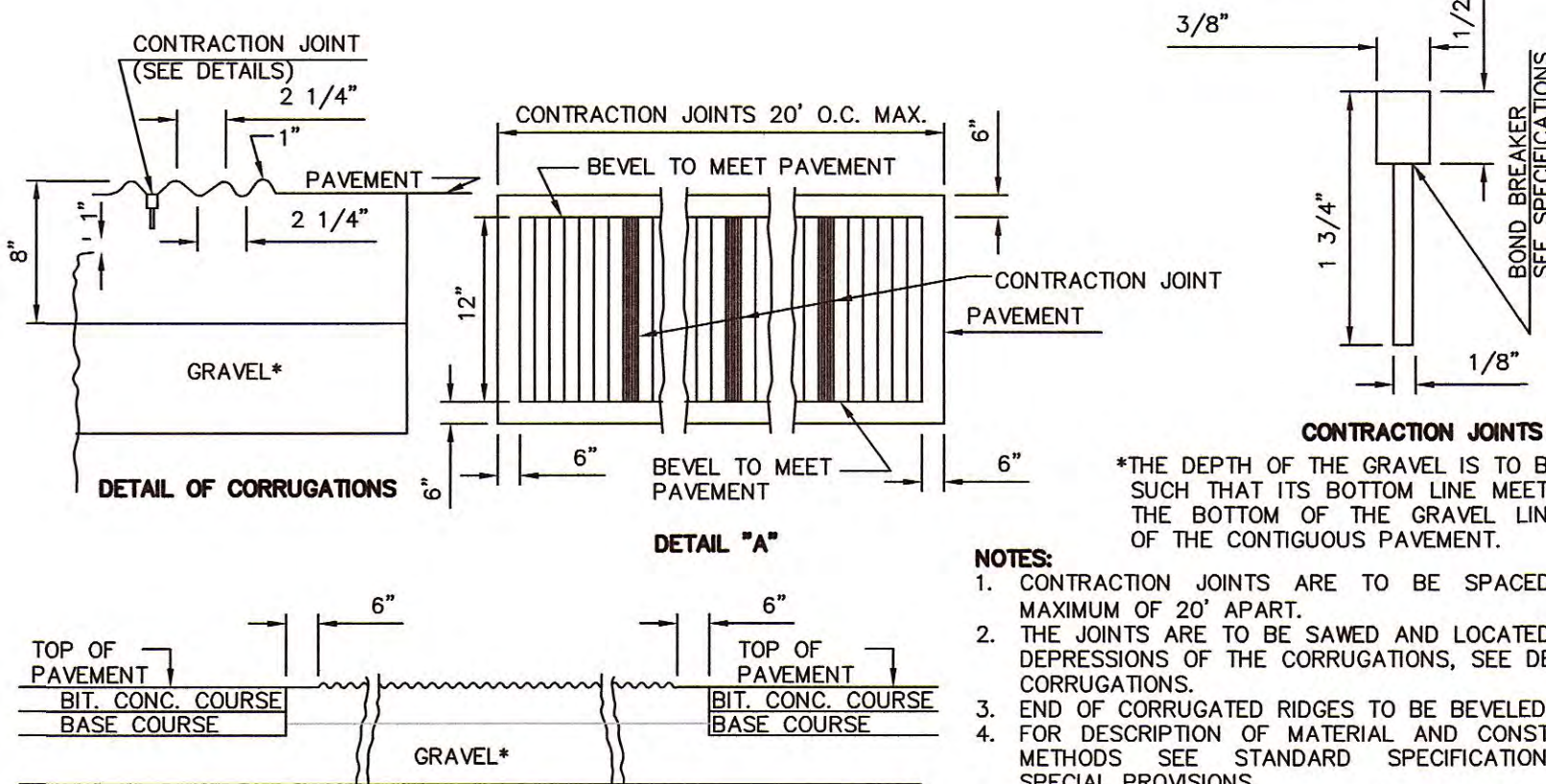
SECTIONAL VIEW

NOTES:

- [1] CEMENT CONCRETE: 4000 PSI AT 28 DAYS W/ 3/8" MINUS MAXIMUM PARTICLE SIZE (MHD M4.02.00).
- [2] PROVIDE MEDIUM HAIR BROOM FINISH TO ALL EXPOSED SURFACES. USE ROUGH HAIR BROOM ON GRADES OVER 6%.
- [3] WHERE SLAB ABUTS FACE OF BUILDING, AN ISOLATION JOINT SHALL BE USED BETWEEN SLAB AND BUILDING.

CEMENT CONCRETE SLAB

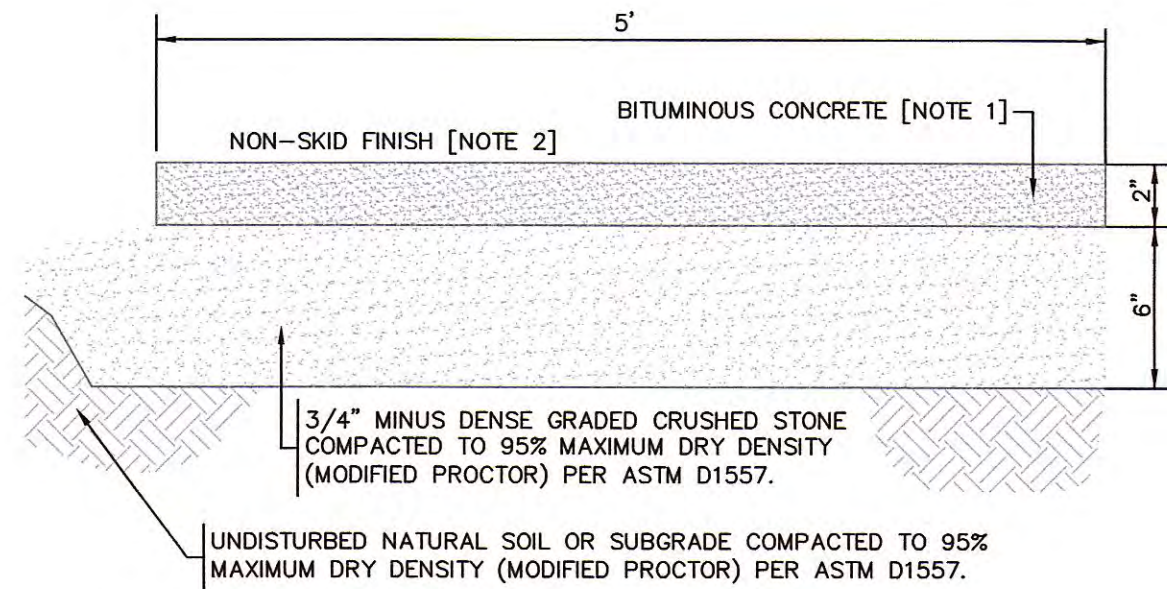
NOT TO SCALE



SECTION A-A

SCORED CEMENT CONCRETE PAVEMENT

NOT TO SCALE



NOTES:

- [1] MHD M3.11.03 CLASS I, TYPE I-1 BITUMINOUS CONCRETE. 1/2" MAXIMUM AGGREGATE OR PARTICLE SIZE. COMPACT TO TEST AVERAGE OF 95% NO TEST LOWER THAN 93%.
- [2] SLOPE 5% MAXIMUM.

BITUMINOUS CONCRETE WALK

TYPICAL CROSS SECTION  
NOT TO SCALE

DRAWING ISSUED FOR:

- ☐ CONCEPT ☐ CONSTRUCTION
- ☒ PERMIT ☐ CONSTRUCTION RECORD

THIS DRAWING MAY NOT SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, AND MAY NOT IDENTIFY ALL CONSTRUCTION WORK ITEMS/AREAS OF CONTRACTOR JURISDICTION.

PER 250 CMR 5.03(13), THE FOLLOWING ARE EXCLUDED FROM THE PROFESSIONAL ENGINEER'S RESPONSIBILITY: ALL BOUNDARY INFORMATION; LOCATION OF EXISTING STRUCTURES, TREES, UTILITIES, TOPOGRAPHY OR SIMILAR FEATURES; DESIGN OF RETAINING WALLS, PROPRIETARY EQUIPMENT. SEE EXISTING CONDITION NOTES.

NO.	DATE	BY	APP.	REVISION DESCRIPTION

**GPR** Engineering Solutions  
for Land & Structures

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COMMERCIAL DEVELOPMENT  
SITE PLAN REVIEW APPLICATION  
CONSTRUCTION DETAILS

247 LITTLETON COUNTY ROAD  
HARVARD, MA

PREPARED FOR:  
WILLIAM FERENC  
40 MASS. AVE.  
HARVARD, MA

DES. BY: DJG	DATE: MAY 2023	JOB 211137	6 OF 6
CHK. BY: NMP			



WETLAND REPLICATION

PART 1 GENERAL

- 1.01 EXTENT OF WORK
- A. THE TOWN OF HARVARD CONSERVATION COMMISSION WILL BE NOTIFIED 72 HOURS IN ADVANCE OF THE COMMENCEMENT OF THE WETLAND REPLICATION CONSTRUCTION.
- B. THE WORK INCLUDES THE FURNISHING OF ALL PLANT, LABOR, EQUIPMENT, MATERIALS AND REQUIRED PROFESSIONAL SERVICES WITH CONNECTION WITH THE PROTECTION, REPLICATION AND PROVISION OF SPECIFIC MITIGATION AND ENHANCEMENT MEASURES TO MINIMIZE AND COMPENSATE FOR IMPACTS TO WETLANDS.
- C. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO RETAIN A WETLAND SCIENTIST AND A MINIMUM OF FIVE YEARS EXPERIENCE IN SIMILAR WETLAND REPLICATIONS, AND THOROUGHLY VERSED IN THE COMMONWEALTH OF MASSACHUSETTS WETLANDS PROTECTION ACT (MGL CHAP. 131, SECTION 40) AND ALL OTHER RELEVANT REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION. THIS INDIVIDUAL, HEREIN REFERRED TO AS "WETLAND SCIENTIST", SHALL BE APPROVED BY THE TOWN OF HARVARD CONSERVATION COMMISSION.

PART 2 EXECUTION

- 2.01 GENERAL
- A. THE APPLICANT SHALL PLAN AND EXECUTE OPERATIONS IN A MANNER MINIMIZING THE AMOUNT OF EXCAVATED AND EXPOSED FILL, OR OTHER FOREIGN MATERIALS THAT MAY BE WASHED OR OTHERWISE CARRIED INTO THE REPLICATION AREAS.
- 2.02 EROSION/SEDIMENTATION CONTROL
- A. THE APPLICANT SHALL INSTALL STRAW WATTLES AND/OR SILTATION FENCING AND UTILIZE EROSION/SEDIMENTATION CONTROL METHODS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- 2.03A REPLICATION AREA PREPARATION
- A. THE REPLICATION AREAS ARE TO BE CONSTRUCTED IN FULL PRIOR TO THE COMMENCEMENT OF ANY OTHER SITE WORK. THIS WETLAND REPLICATION SHALL BE PERFORMED UNDER THE DIRECTION AND GUIDANCE OF A QUALIFIED WETLAND SCIENTIST AND AS SPECIFIED HEREIN.
- A.1. ONCE MACHINE WORK TO EXCAVATE THE REPLICATION AREA, TRANSFER THE ORGANIC SOILS AND FINALIZE PREPARATION FOR PLANTING HAS BEEN COMPLETED, SITE WORK CAN BEGIN ON OTHER JURISDICTIONAL AREAS PROVIDED THE HAND PLANTING OF TREES AND SEEDING IS BEING COMPLETED IN AN EXPEDIENT AND ONGOING MANNER.
- A.2. SITE WORK NOT WITHIN THE JURISDICTION OF THE HARVARD WETLAND BYLAW OR THE MASS WETLAND PROTECTION ACT IS NOT INCLUDED UNDER THIS REQUIREMENT.
- B. THE REPLICATION AREAS SHALL HAVE FINISHED GRADES WHICH MEET THE EXISTING GRADES IN THE ADJACENT WETLAND AS SHOWN ON THIS SHEET.
- C. BEFORE PLANTING THE REPLICATION AREAS, THE APPLICANT SHALL REMOVE ALL TREES, SHRUBS, STUMPS, AND SOD FROM THE REPLICATION AREAS. THESE ARE NOT TO BE STOCKPILED IN THE RESOURCE AREAS OR BUFFER ZONES WHILE AWAITING DISPOSITION.
- D. DURING THE REMOVAL OF THE TREES, SHRUBS, STUMPS AND SOD, SOME OF THE SOILS (WITHIN THE REPLICATION AREAS) WILL LIKELY BE REMOVED DURING THE PROCESS. ADDITIONAL WETLAND SOILS SHALL BE PROVIDED IN QUANTITIES SUFFICIENT TO ESTABLISH GRADES AS SHOWN. THE REPLACEMENT SOIL SHALL BE PURCHASED BY THE APPLICANT AT A 1:1 MIX OF PEAT TO LOAM.
- D.1. THE REPLICATION AREAS SHALL BE EXCAVATED TO A DEPTH OF 12 INCHES BELOW PROPOSED FINISH GRADES. THE REPLICATION AREAS ARE TO THEN BE BACKFILLED WITH A 1:1 MIXTURE OF LOAM TO PEAT.
- D.2. THE WETLAND SOILS SHALL BE DEPOSITED IN THE REPLICATION AREAS IN A MANNER MINIMIZING TRAVEL AND SUBSEQUENT COMPACTION OF THE UNDERLYING MATERIAL AND REPLACEMENT WETLAND SOILS.
- D.3. THE REPLICATION AREAS SHALL NOT HAVE FINISHED GRADING WHICH RESULTS IN A COMPLETELY FLAT TOPOGRAPHY. THE FINISH GRADING SHOULD RESULT IN A SHALLOW PIT AND MOUND TOPOGRAPHY THROUGHOUT THE REPLICATION AREAS.
- E. ALL FILL MUST BE STOCKPILED BEYOND THE RESOURCE AREAS AND BUFFER ZONES. PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO PREVENT EROSION OF THE STOCKPILED MATERIAL. BEFORE FILL IS PUT INTO PLACE, ALL TREES, BRUSH AND STUMPS SHALL BE REMOVED FROM THE AREAS TO BE FILLED. THESE ARE NOT TO BE STOCKPILED IN THE RESOURCE AREAS OR BUFFER ZONES WHILE AWAITING DISPOSITION.
- F. ANY SIGNIFICANT CHANGES DEEMED NECESSARY TO ACHIEVE FINAL GRADING WITHIN TWELVE INCHES FROM THE GROUNDWATER TABLE, MUST BE APPROVED BY THE WETLAND SCIENTIST (IN THE FIELD) AND REPORTED TO THE CONSERVATION COMMISSION IN THE WEEKLY REPORT.
- G. THE OUTER EDGES OF THE REPLICATION AREAS SHALL BE BERMED TO PREVENT WATER DRAINING FROM THE REPLICATION AREAS.
- H. UPON COMPLETION OF THE REPLICATION AREAS, SILTATION FENCE SHALL BE PLACED AROUND THE ENTIRE PERIMETER (OF THE REPLICATION AREAS) TO PROTECT THE REPLICATION AREAS DURING THE REMAINDER OF CONSTRUCTION.
- I. AFTER REPLICATION CONSTRUCTION IS COMPLETE, NO FERTILIZER, LIMESTONE, SUPERPHOSPHATE, MULCH OR OTHER AMENDMENTS SHALL BE ADDED TO THE WETLAND SOILS.

PART 3 REMOVING, STORING, AND REPLANTING OF EXISTING WETLAND TREES AND SHRUBS

- A. IN ANY DISTURBED WETLAND (WHERE PRACTICAL), THE APPLICANT MAY, AT HIS OPTION, DIG UP, STORE AND MAINTAIN EXISTING WETLAND TREES AND SHRUBS FOR USE IN THE REPLICATION AREAS. TREES SHALL BE A MINIMUM OF ONE INCH CALIPER AND SHRUBS SHALL BE TWENTY INCHES IN SPREAD OR HEIGHT. ALL PLANTS SHALL BE VIGOROUS AND WELL FORMED SPECIMENS. ALL PLANT MATERIALS DUG FOR THIS PURPOSE SHALL BE DUG BY HAND, HYDRAULIC TREE SPADE SPECIFICALLY DESIGNED FOR THIS PURPOSE OR OTHER SUITABLE EQUIPMENT OF SUFFICIENT SIZE TO REMOVE THE ROOTBALL. ROOTBALL SIZE SHALL BE THE MINIMUM SPECIFIED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR EACH SPECIES. FOR HAND DUG PLANTS, A SUITABLE BURLAP OR OTHER WRAP OR CONTAINER SHALL BE PROVIDED TO KEEP THE ROOTBALL INTACT.
- A.1. ALL PLANTS DUG FOR REUSE SHALL BE IMMEDIATELY MOVED TO A PROTECTIVE STORAGE AREA APPROVED BY THE WETLAND SCIENTIST. PLANTS SHALL BE SET PLUMB ON GRADE OR IN PREPARED HOLES AND GUYED AS NECESSARY. THE AREA OR HOLES SHALL BE BACKFILLED WITH SUITABLE TOPSOIL TO COVER THE ROOTBALLS ENTIRELY MULCHED TO PREVENT EROSION. ALL STORED VEGETATION SHALL BE MAINTAINED IN A DAMP CONDITION BY REGULAR WATERING. ALL HORTICULTURAL MEASURES REQUIRED FOR THE SURVIVAL OF COLLECTED PLANTINGS SHALL BE UTILIZED BY THE APPLICANT.
- A.2. AFTER THE REPLICATION AREAS HAVE BEEN CONSTRUCTED, STOCKPILED PLANTS SHALL BE REPLANTED IN LOCATIONS SPECIFIED AND APPROVED BY THE WETLAND SCIENTIST.

PART 4 WETLAND REPLICATION PLANTING

- A. WETLAND PLANTING SHALL BE PERFORMED BETWEEN MARCH 1 AND OCTOBER 30 OR AS RECOMMENDED BY THE WETLAND SCIENTIST.
- B. WETLAND PLANTINGS TYPE AND QUANTITY SHALL BE PER PROVIDED PLANT LIST. TREES SHALL BE PLANTED NO FARTHER APART THAN TWENTY-FIVE FEET ON CENTER AND SHRUBS PLANTED NO FARTHER APART THAN EIGHT FEET ON CENTER.
- C. THE APPLICANT SHALL HAVE THE OPTION OF DIGGING, STORING AND REPLANTING EXISTING TREES AND SHRUBS PER PART 3 OF THIS SCHEDULE, OR ALTERNATIVELY, PROVIDING AND PLANTING NEW WETLAND SPECIES, PURCHASED BY THE APPLICANT FROM NURSERY STOCK, AND APPROVED BY THE WETLAND SCIENTIST.
- D. EXISTING FALLEN TREE SECTIONS/LARGE BRANCHES ON SITE MAY BE USED FOR WETLAND REPLICATION AREA AS APPROVED BY THE WETLAND SCIENTIST.
- E. WETLAND PLANTING, IN THE REPLICATION AREAS, WILL BE PERFORMED IN A MANNER WHICH REPRODUCES THE PLACEMENT AND PROPORTIONS OF THE PLANT SPECIES THAT WERE FOUND IN THE ORIGINAL LOST WETLAND AREAS.
- F. ALL WETLAND PLANTINGS WILL BE PERFORMED BY HAND. BURLAP WILL BE REMOVED FROM THE TOP THIRD OF THE ROOTBALLS AND ROPES, TWINE AND WIRE BASKETS WILL BE COMPLETELY REMOVED FROM THE ROOTBALLS. COMPLETELY REMOVE ALL PLASTIC BURLAP, ROPE, TWINE AND WIRE BASKETS FROM THE REPLICATION AREAS. COMPLETELY REMOVE ALL CONTAINERS FROM THE POTTED PLANTS WHILE KEEPING THE SOIL AROUND THE ROOTS UNBROKEN.
- G. PRIOR TO THE START OF WETLAND CONSTRUCTION DETAILED MEASUREMENTS OF THE DEPTH OF THE SOIL 0 AND A HORIZONS WITHIN THE WETLAND TO BE LOST DURING CONSTRUCTION SHALL BE CONDUCTED. THE PROJECT SHALL USE THIS INFORMATION TO DETERMINE THE SUITABILITY OF THESE HORIZONS FOR REUSE IN THE REPLICATION AREA AND TO CALCULATE THE NEED FOR ADDITIONAL SOIL MATERIALS. THE TOP 12 INCHES OF SOIL FROM THE ORIGINAL WETLAND MUST BE TRANSPORTED WITH SOIL STRUCTURE, ESPECIALLY LAMINATION AND DENSITY PROFILE, INTACT TO THE REPLICATION AREA. THIS IS INTENDED TO PRESERVE PLANT, INVERTEBRATE AND PLANKTONIC COMMUNITIES OF THE WETLAND AND INHIBIT THE BLOSSOMING OF INVASIVE SPECIES.
- H. SOIL MATERIALS TO BE REUSED (FROM THE WETLAND TO BE LOST DURING CONSTRUCTION) SHALL BE REMOVED AND PLACED IN THE PREPARED REPLICATION AREA WITHIN ONE DAY. IF THIS IS NOT POSSIBLE, THESE SOILS SHALL BE STOCKPILED FOR THE MINIMUM AMOUNT OF TIME FEASIBLE AND KEPT LOOSELY COVERED AND MOIST AT ALL TIMES. EACH DAY ANY SOILS ARE STOCKPILED, THE PROJECT MANAGER SHALL NOTIFY THE COMMISSION IN WRITING OF THE STOCKPILING. THE VOLUME OF SOILS STOCKPILED, THE REASON THEREFORE, AND THE EXPECTED DURATION OF THE STOCKPILING, THE NOTIFICATION SHALL CONTAIN A CERTIFICATION SIGNED BY THE WETLAND SCIENTIST THAT HE/SHE HAS INSPECTED THE STOCKPILE THAT DAY AND THAT IT IS LOOSELY COVERED AND MOIST.
- I. THE PROPOSED REPLICATION AREA SHALL BE EXCAVATED TO A DEPTH OF ONE FOOT BELOW THE PROPOSED FINAL GRADE AND TO BE REFERRED TO IN THE

- ORDER OF CONDITIONS. THE SUBSOIL WITHIN THE REPLICATION AREA SHALL BE EXAMINED BY THE WETLAND SCIENTIST TO DETERMINE WHETHER IT IS FINE TEXTURED (FINE SANDY LOAM OR FINER, AS DEFINED BY NRCS STANDARDS). IF THE SUBSOIL IS COARSE-TEXTURED, IT SHALL BE REPLACED WITH FINE-TEXTURED MATERIAL TO ALLOW FOR THE DEVELOPMENT OF A CAPILLARY FRINGE BETWEEN THE GROUNDWATER AND THE SOIL SURFACE.
- J. FOLLOWING REPLACEMENT OF TOP SOIL, A MINIMUM OF 48 HOURS SHALL PASS PRIOR TO PLANTING OF WETLAND VEGETATION TO ALLOW FOR REBOUND OF BURIED OR COMPACTED PEAT. THE FINAL GRADE SHALL BE ADJUSTED AS NECESSARY.
- K. AFTER PLANTINGS ARE COMPLETED, THE REPLICATION AREAS SHALL BE HAND RAKED TO ELIMINATE ANY DEPRESSIONS, GREATER THAN FOUR INCHES IN DEPTH, WHICH MAY BE CREATED DURING DIGGING AND TO ELIMINATE COMPACTION OF THE SOIL AS MUCH AS POSSIBLE.
- K.1. ONCE PLANTING IS COMPLETED, LEAVES (COLLECTED FROM UPLAND AREAS OF THE PROPOSED SITE CONSTRUCTION) SHALL BE SPREAD THROUGHOUT THE REPLICATION AREAS.
- L. THE INTENT OF THIS SCHEDULE IS TO INSURE THAT AT LEAST 75 PERCENT OF THE REPLICATION SURFACE AREA IS RE-ESTABLISHED WITH INDIGENOUS WETLAND PLANT SPECIES WITHIN THREE GROWING SEASONS OF THEIR PLANTING. IN ACCORDANCE WITH THE MASSACHUSETTS DEP WETLANDS PROTECTION ACT REGULATIONS, PURPLE LOOSESTRIPE (LYTHRUM SALICARI) AND EUROPEAN BUCKTHORN (RIHAMNUS FRANGULA) SHALL NOT BE PLANTED IN THE REPLICATION AREAS. IF AFTER THREE GROWING SEASON, IT IS EVIDENT IN THE OPINION OF THE BOTANIST THAT IT IS UNLIKELY THAT THE 75 PERCENT RE-ESTABLISHMENT REQUIREMENT WILL BE ACHIEVED, THE APPLICANT SHALL SUPPLEMENT THE PLANTINGS AS NECESSARY TO ACHIEVE THE REQUIRED COVERAGE. IF AFTER THE END OF THREE GROWING SEASONS, 75 PERCENT RE-ESTABLISHMENT HAS NOT BEEN ACHIEVED, THE APPLICANT SHALL PROVIDE AND PLANT HEALTHY WETLAND VEGETATION IN SUFFICIENT QUANTITIES TO ACHIEVE THE 75 PERCENT RE-ESTABLISHMENT.

PART 5 WETLAND REPLICATION MONITORING

- A. ONCE JAPANESE KNOTWEED AND OTHER INVASIVE SPECIES HAVE BEEN REMOVED AND THE AREAS SEEDED, THEY SHALL BE MONITORED IN THE FOLLOWING YEAR TO ENSURE NO NEW INVASIVE GROWTH AND RESTORATION OF NATURAL CONDITION HAS BEEN SUCCESSFUL.
- B. THE WETLAND SCIENTIST SHALL VISIT THE REPLICATION AREA WEEKLY FOLLOWING PLANTING AND SEEDING FOR THE DURATION OF THE FIRST GROWING SEASON TO DETERMINE THE NEED FOR IRRIGATION AND ADDITIONAL FERTILIZATION AND TO INFORM THE SITE CONTRACTOR OF THESE REQUIREMENTS.
- C. THE WETLAND SCIENTIST SHALL INSPECT WETLAND REPLICATION AREA TWICE A YEAR DURING LATE SPRING AND DURING THE MID TO LATE SUMMER OF THE FIRST TWO FULL GROWING SEASONS. A WRITTEN REPORT SHALL BE SUBMITTED TO THE COMMISSION AT THE END OF EACH GROWING SEASON.
- D. A BOND SHALL BE POSTED THAT WILL ENABLE THE COMMISSION TO COMPLETE THE REPLICATION SHOULD THE APPLICANT FAIL TO FULFILL OBLIGATIONS SET FORTH IN THE ORDER OF CONDITIONS.

REPLICATION NOTES:

1. SELECTION AND QUANTITY OF WETLAND REPLICATION PLANTS SHALL BE DETERMINED BY WETLAND SCIENTIST, AS APPROVED BY THE TOWN OF HARVARD CONSERVATION COMMISSION.
2. EXISTING TREES WITHIN WETLAND REPLICATION AREAS SHALL BE MAINTAINED TO THE MAXIMUM PRACTICABLE, AS DETERMINED BY THE WETLAND SCIENTIST.
3. NEW ENGLAND WETMIX SEED MIX SHALL BE SPREAD WITHIN THE LIMIT OF THE PROPOSED WETLAND REPLICATION AREA.

INVASIVE PLANT CONTROL:

INVASIVE SPECIES ONSITE INCLUDE BUT NOT LIMITED TO: JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM)

BACKGROUND:

JAPANESE KNOTWEED SPREADS QUICKLY TO FORM DENSE THICKETS THAT EXCLUDE NATIVE VEGETATION AND GREATLY ALTERS NATURAL ECOSYSTEMS. IT POSES A SIGNIFICANT THREAT TO RIPARIAN AREAS, WHERE IT CAN SURVIVE SEVERE FLOODS AND RAPIDLY COLONIZE SCoured SHORES AND ISLANDS. ONCE ESTABLISHED, POPULATIONS ARE EXTREMELY PERSISTENT. JAPANESE KNOTWEED SPREADS PRIMARILY BY VEGETATIVE MEANS WITH THE HELP OF ITS LONG, STOUT RHIZOMES. IT IS OFTEN TRANSPORTED TO NEW SITES AS A CONTAMINANT IN FILL. SEEDS ARE FREQUENTLY DISTRIBUTED BY WATER, AND CARRIED TO A LESSER EXTENT BY WIND. DISCARDED CUTTINGS ARE COMMON ROUTES OF DISPERSAL. KNOTWEED PREVENTS ESTABLISHMENT OF NATIVE TREES AND SHRUBS, REDUCES ACCESS TO THE WATER, AND ITS COARSE RHIZOMES DO NOT STABILIZE THE BANKS AS WELL AS THE FINER ROOTS OF TREES OR GRASSES. MANAGEMENT REQUIRES TREATMENT OF THE RHIZOME SYSTEM, AND WILL TAKE AT LEAST TWO YEARS.

CONTROL:

CUT AND PAINT METHOD DOES NOT WORK WHEN THE GROUND IS FROZEN AND IS LESS EFFECTIVE IN THE SPRING WHEN PLANT SAP IS RUNNING OUT OF THE ROOTS. CONTROL AT THE SITE SHALL CONSIST OF CUTTING THE STEM JUST AFTER FLOWERING (TYPICALLY LATE JUNE OR JULY) AND IMMEDIATELY INJECTING A 25% GLYPHOSATE SOLUTION INTO CUT STEMS. THE GLYPHOSATE PRODUCT SHALL BE ONE APPROVED FOR USE NEAR WETLANDS. A FOLLOW-UP TREATMENT SHALL OCCUR IN SEPTEMBER, FOLLOWING THE SAME PROCEDURE.

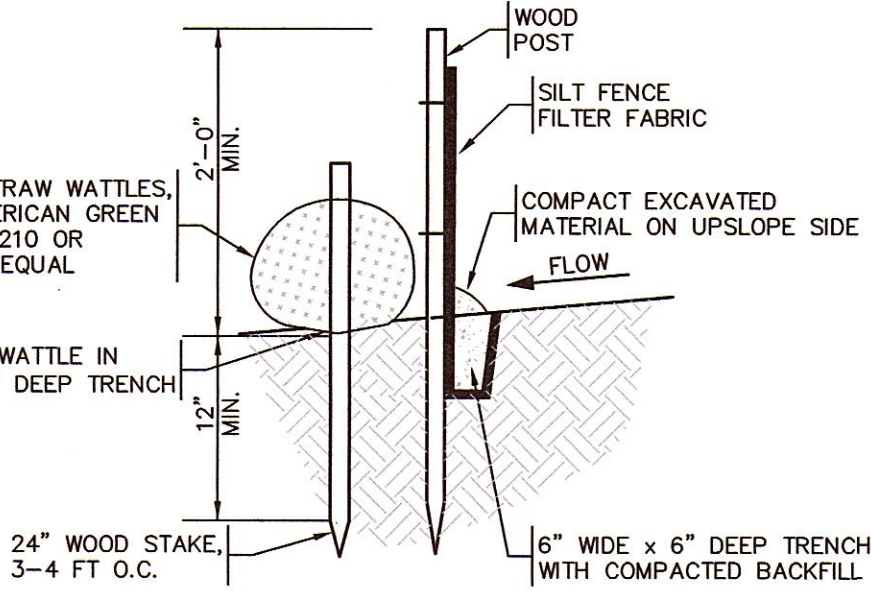
WETLAND REPLICATION PLANT LIST

Symbol	Botanical Name	Common Name	Size	Quantity	Condition
<b>TREES</b>					
AR	ACER RUBRUM	RED MAPLE	6'-8' HT. 1.5'-2' CAL	12	B & B
FP	FRAXINUS PENNSYLVANICA	GREEN ASH	6'-8' HT. 1.5'-2' CAL	6	B & B
<b>SHRUBS</b>					
VC	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2'-3' HT.	30	CONT. GROWN
IV	ILEX VERTICILLATA	WINTER BERRY	2'-3' HT.	45	CONT. GROWN
VD	VIBURNUM DENTATUM	NORTHERN ARROWWOOD	3'-4' HT.	45	CONT. GROWN
LB	UNDERA BENZON	SPICEBUSH	3'-4' HT.	45	CONT. GROWN
<b>HERBACIOUS PLANTS</b>					
OC	OSMUNDA CINNAMOMEA	CINNAMON FERN	#1 POT	90	CONT. GROWN
OS	ONOCLEA SENSIBILIS	SENSITIVE FERN	#1 POT	60	CONT. GROWN
OS	OSMUNDA REGALIS	ROYAL FERN	#1 POT	30	CONT. GROWN

SEED MIX

NEW ENGLAND WETMIX (WETLAND SEED MIX)  
APPLIED AT 18 LBS/ACRE :2,500 SF/LB OR GREATER.

BOTANICAL NAME	COMMON NAME
CAREX VULPINOIDEA	FOX SEDGE
CAREX SCOPARIA	BLUNT BROOM SEDGE
CAREX LURIDA	LIRIOD SEDGE
CAREX LUPULINA	HOP SEDGE
POA PALUSTRIS	FOWL BLUEGRASS
BIDENS FRONDOSA	BEGGAR TICKS
SCIRPUS ATROVIRENS	GREEN BULRUSH
ASCLEPIAS INCARNATA	SWAMP MILKWEED
CAREX CRINITA	FRINGED SEDGE
VERNONIA NOVEBORACENSIS	NEW YORK IRONWEED
JUNCUS EFFUSUS	SOFT RUSH
ASTER LATERIFLORUS	STARVED / CALICO ASTER
IRIS VERSICOLOR	BLUE FLAG
GLYCYRIA GRANDIS	AMERICAN MANNAGRASS
MIMULUS RINGENS	SQUARE STEMMED MONKEY FLOWER
EUPATORIUM MACULATUM	SPOTTED GEE PYE WEED



- NOTES:
- [1] INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
- [2] TRAPPED SEDIMENT SHALL BE REMOVED TO A NON-SENSITIVE UPLAND AREA.

SILT FENCE / STRAW WATTLE BARRIER  
TYPICAL CROSS SECTION  
NOT TO SCALE



PLOT PLAN  
1" = 200'

DRAWING ISSUED FOR:

- ☐ CONCEPT ☐ CONSTRUCTION  
☒ PERMIT ☐ CONSTRUCTION RECORD

THIS DRAWING MAY NOT SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, AND MAY NOT IDENTIFY ALL CONSTRUCTION WORK ITEMS/AREAS OF CONTRACTOR JURISDICTION.

PER 250 CMR 5.03(13), THE FOLLOWING ARE EXCLUDED FROM THE PROFESSIONAL ENGINEER'S RESPONSIBILITY: ALL BOUNDARY INFORMATION; LOCATION OF EXISTING STRUCTURES, TREES, UTILITIES, TOPOGRAPHY OR SIMILAR FEATURES; DESIGN OF RETAINING WALLS, PROPRIETARY EQUIPMENT. SEE EXISTING CONDITION NOTES.

NO.	DATE	BY	APP.	REVISION DESCRIPTION
3	5/23/23	JFB	NMP	PER REVIEW COMMENTS
2	4/24/23	JFB	NMP	PER REVIEW COMMENTS
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COMMERCIAL DEVELOPMENT  
NOTICE OF INTENT

WETLAND REPLICATION PLAN

203 AYER ROAD  
HARVARD, MA

PREPARED FOR:  
VYONNE CHERN  
7 GREEN WAY  
WAYLAND, MA 01778

WHEELER REALTY TRUST  
198 WHEELER TRUST  
HARVARD, MA 01451

DES. BY: LT  
CHK. BY: NMP  
DATE: MARCH 2022  
JOB 211009  
1 OF 1





Civil Engineering • Land Planning • Land Surveying

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May 30, 2023

Harvard Planning Board & Conservation Commission  
13 Ayer Road  
Harvard, MA 01451

Re: 203 Ayer Road, Harvard MA - Revision Summary Letter

Plan References:

1. "Commercial Development – Ayer Road Village Special Permit – 203 Ayer Road, Harvard, MA" prepared for Wheeler Realty Trust & Yvonne Chern by Goldsmith, Prest & Ringwall, Inc. dated March 2022, Revised through 5/23/23. Job No. 211009.
2. "Commercial Development – Wetland Replication Plan – 203 Ayer Road, Harvard, MA" prepared for Wheeler Realty Trust & Yvonne Chern by Goldsmith, Prest & Ringwall, Inc. dated March 2022, Revised through 5/23/23. Job No. 211009.

Dear Planning Board / Conservation Commission Members:

The intent of this Revision Summary Letter is to highlight the changes made in the latest round of revisions (5/23/2023) to the two plans noted above. The revisions are as follows.

- On Sheet C1.1 (of the *Commercial Development – Ayer Road Village Special Permit* plan set), the Site Data section has been revised to account for the basement area of Building A and the 2<sup>nd</sup> floor apartment area of Building B, with the total GFA updated to reflect the new areas.
- All Plan Sheets (of the *Commercial Development – Ayer Road Village Special Permit* plan set) that previously depicted the 25' radii of the driveway entrance from Ayer Road have been revised to have a 30' radius. Sheet C3.2 specifically calls out the 30' radii.

**Goldsmith, Prest & Ringwall, Inc.**

39 Main Street, Suite 301, Ayer, MA 01432 • (978) 772-1590 • Fax (978) 772-1591  
info@gpr-inc.com • www.gpr-inc.com

- All Plan Sheets (of the *Commercial Development – Ayer Road Village Special Permit* plan set) that previously depicted the edge of the approved wetland replication with an area of 23,660± SF have been revised to show a wetland replication with an area of 23,900± SF. The *Commercial Development – Wetland Replication Plan* specifically calls out the 23,900± SF area.

Please contact our office if you have any questions or need further documentation.

Sincerely,  
Goldsmith, Prest & Ringwall, Inc.

  
James, Project Engineer

Copy: File  
Client



WETLAND REPLICATION

PART 1 GENERAL

- 1.01 EXTENT OF WORK
- A. THE TOWN OF HARVARD CONSERVATION COMMISSION WILL BE NOTIFIED 72 HOURS IN ADVANCE OF THE COMMENCEMENT OF THE WETLAND REPLICATION CONSTRUCTION.
- B. THE WORK INCLUDES THE FURNISHING OF ALL PLANT, LABOR, EQUIPMENT, MATERIALS AND REQUIRED PROFESSIONAL SERVICES WITH CONNECTION WITH THE PROTECTION, REPLICATION AND PROVISION OF SPECIFIC MITIGATION AND ENHANCEMENT MEASURES TO MINIMIZE AND COMPENSATE FOR IMPACTS TO WETLANDS.
- C. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO RETAIN A WETLAND SCIENTIST AND A MINIMUM OF FIVE YEARS EXPERIENCE IN SIMILAR WETLAND REPLICATIONS, AND THOROUGHLY VERSED IN THE COMMONWEALTH OF MASSACHUSETTS WETLANDS PROTECTION ACT (MGL CHAP. 131, SECTION 40) AND ALL OTHER RELEVANT REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION. THIS INDIVIDUAL, HEREIN REFERRED TO AS "WETLAND SCIENTIST", SHALL BE APPROVED BY THE TOWN OF HARVARD CONSERVATION COMMISSION.

PART 2 EXECUTION

- 2.01 GENERAL
- A. THE APPLICANT SHALL PLAN AND EXECUTE OPERATIONS IN A MANNER MINIMIZING THE AMOUNT OF EXCAVATED AND EXPOSED FILL, OR OTHER FOREIGN MATERIALS THAT MAY BE WASHED OR OTHERWISE CARRIED INTO THE REPLICATION AREAS.
- 2.02 EROSION/SEDIMENTATION CONTROL
- A. THE APPLICANT SHALL INSTALL STRAW WATTLES AND/OR SILTATION FENCING AND UTILIZE EROSION/SEDIMENTATION CONTROL METHODS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- 2.03A REPLICATION AREA PREPARATION
- A. THE REPLICATION AREAS ARE TO BE CONSTRUCTED IN FULL PRIOR TO THE COMMENCEMENT OF ANY OTHER SITE WORK. THIS WETLAND REPLICATION SHALL BE PERFORMED UNDER THE DIRECTION AND GUIDANCE OF A QUALIFIED WETLAND SCIENTIST AND AS SPECIFIED HEREIN.
- A.1. ONCE MACHINE WORK TO EXCAVATE THE REPLICATION AREA, TRANSFER THE ORGANIC SOILS AND FINALIZE PREPARATION FOR PLANTING HAS BEEN COMPLETED, SITE WORK CAN BEGIN ON OTHER JURISDICTIONAL AREAS PROVIDED THE HAND PLANTING OF TREES AND SEEDING IS BEING COMPLETED IN AN EXPEDIENT AND ONGOING MANNER.
- A.2. SITE WORK NOT WITHIN THE JURISDICTION OF THE HARVARD WETLAND BYLAW OR THE MASS WETLAND PROTECTION ACT IS NOT INCLUDED UNDER THIS REQUIREMENT.
- B. THE REPLICATION AREAS SHALL HAVE FINISHED GRADES WHICH MEET THE EXISTING GRADES IN THE ADJACENT WETLAND AS SHOWN ON THIS SHEET.
- C. BEFORE PLANTING THE REPLICATION AREAS, THE APPLICANT SHALL REMOVE ALL TREES, SHRUBS, STUMPS, AND SOD FROM THE REPLICATION AREAS. THESE ARE NOT TO BE STOCKPILED IN THE RESOURCE AREAS OR BUFFER ZONES WHILE AWAITING DISPOSITION.
- D. DURING THE REMOVAL OF THE TREES, SHRUBS, STUMPS AND SOD, SOME OF THE SOILS (WITHIN THE REPLICATION AREAS) WILL LIKELY BE REMOVED DURING THE PROCESS. ADDITIONAL WETLAND SOILS SHALL BE PROVIDED IN QUANTITIES SUFFICIENT TO ESTABLISH GRADES AS SHOWN. THE REPLACEMENT SOIL SHALL BE PURCHASED BY THE APPLICANT AT A 1:1 MIX OF PEAT TO LOAM.
- D.1. THE REPLICATION AREAS SHALL BE EXCAVATED TO A DEPTH OF 12 INCHES BELOW PROPOSED FINISH GRADES. THE REPLICATION AREAS ARE TO THEN BE BACKFILLED WITH A 1:1 MIXTURE OF LOAM TO PEAT.
- D.2. THE WETLAND SOILS SHALL BE DEPOSITED IN THE REPLICATION AREAS IN A MANNER MINIMIZING TRAVEL AND SUBSEQUENT COMPACTION OF THE UNDERLYING MATERIAL AND REPLACEMENT WETLAND SOILS.
- D.3. THE REPLICATION AREAS SHALL NOT HAVE FINISHED GRADING WHICH RESULTS IN A COMPLETELY FLAT TOPOGRAPHY. THE FINISH GRADING SHOULD RESULT IN A SHALLOW PIT AND MOUND TOPOGRAPHY THROUGHOUT THE REPLICATION AREAS.
- E. ALL FILL MUST BE STOCKPILED BEYOND THE RESOURCE AREAS AND BUFFER ZONES. PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO PREVENT EROSION OF THE STOCKPILED MATERIAL. BEFORE FILL IS PUT INTO PLACE, ALL TREES, BRUSH AND STUMPS SHALL BE REMOVED FROM THE AREAS TO BE FILLED. THESE ARE NOT TO BE STOCKPILED IN THE RESOURCE AREAS OR BUFFER ZONES WHILE AWAITING DISPOSITION.
- F. ANY SIGNIFICANT CHANGES DEEMED NECESSARY TO ACHIEVE FINAL GRADING WITHIN TWELVE INCHES FROM THE GROUNDWATER TABLE, MUST BE APPROVED BY THE WETLAND SCIENTIST (IN THE FIELD) AND REPORTED TO THE CONSERVATION COMMISSION IN THE WEEKLY REPORT.
- G. THE OUTER EDGES OF THE REPLICATION AREAS SHALL BE BERMED TO PREVENT WATER DRAINING FROM THE REPLICATION AREAS.
- H. UPON COMPLETION OF THE REPLICATION AREAS, SILTATION FENCE SHALL BE PLACED AROUND THE ENTIRE PERIMETER (OF THE REPLICATION AREAS) TO PROTECT THE REPLICATION AREAS DURING THE REMAINDER OF CONSTRUCTION.
- I. AFTER REPLICATION CONSTRUCTION IS COMPLETE, NO FERTILIZER, LIMESTONE, SUPERPHOSPHATE, MULCH OR OTHER AMENDMENTS SHALL BE ADDED TO THE WETLAND SOILS.

PART 3 REMOVING, STORING, AND REPLANTING OF EXISTING WETLAND TREES AND SHRUBS

- A. IN ANY DISTURBED WETLAND (WHERE PRACTICAL), THE APPLICANT MAY, AT HIS OPTION, DIG UP, STORE AND MAINTAIN EXISTING WETLAND TREES AND SHRUBS FOR USE IN THE REPLICATION AREAS. TREES SHALL BE A MINIMUM OF ONE INCH CALIPER AND SHRUBS SHALL BE TWENTY INCHES IN SPREAD OR HEIGHT. ALL PLANTS SHALL BE VIGOROUS AND WELL FORMED SPECIMENS. ALL PLANT MATERIALS DUG FOR THIS PURPOSE SHALL BE DUG BY HAND, HYDRAULIC TREE SPADE SPECIFICALLY DESIGNED FOR THIS PURPOSE OR OTHER SUITABLE EQUIPMENT OF SUFFICIENT SIZE TO REMOVE THE ROOTBALL. ROOTBALL SIZE SHALL BE THE MINIMUM SPECIFIED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR EACH SPECIES. FOR HAND DUG PLANTS, A SUITABLE BURLAP OR OTHER WRAP OR CONTAINER SHALL BE PROVIDED TO KEEP THE ROOTBALL INTACT.
- A.1. ALL PLANTS DUG FOR REUSE SHALL BE IMMEDIATELY MOVED TO A PROTECTIVE STORAGE AREA APPROVED BY THE WETLAND SCIENTIST. PLANTS SHALL BE SET PLUMB ON GRADE OR IN PREPARED HOLES AND GUYED AS NECESSARY. THE AREA OR HOLES SHALL BE BACKFILLED WITH SUITABLE TOPSOIL TO COVER THE ROOTBALLS ENTIRELY MULCHED TO PREVENT EROSION. ALL STORED VEGETATION SHALL BE MAINTAINED IN A DAMP CONDITION BY REGULAR WATERING. ALL HORTICULTURAL MEASURES REQUIRED FOR THE SURVIVAL OF COLLECTED PLANTINGS SHALL BE UTILIZED BY THE APPLICANT.
- A.2. AFTER THE REPLICATION AREAS HAVE BEEN CONSTRUCTED, STOCKPILED PLANTS SHALL BE REPLANTED IN LOCATIONS SPECIFIED AND APPROVED BY THE WETLAND SCIENTIST.

PART 4 WETLAND REPLICATION PLANTING

- A. WETLAND PLANTING SHALL BE PERFORMED BETWEEN MARCH 1 AND OCTOBER 30 OR AS RECOMMENDED BY THE WETLAND SCIENTIST.
- B. WETLAND PLANTINGS TYPE AND QUANTITY SHALL BE PER PROVIDED PLANT LIST. TREES SHALL BE PLANTED NO FARTHER APART THAN TWENTY-FIVE FEET ON CENTER AND SHRUBS PLANTED NO FARTHER APART THAN EIGHT FEET ON CENTER.
- C. THE APPLICANT SHALL HAVE THE OPTION OF DIGGING, STORING AND REPLANTING EXISTING TREES AND SHRUBS PER PART 3 OF THIS SCHEDULE, OR ALTERNATIVELY, PROVIDING AND PLANTING NEW WETLAND SPECIES, PURCHASED BY THE APPLICANT FROM NURSERY STOCK, AND APPROVED BY THE WETLAND SCIENTIST.
- D. EXISTING FALLEN TREE SECTIONS/LARGE BRANCHES ON SITE MAY BE USED FOR WETLAND REPLICATION AREA AS APPROVED BY THE WETLAND SCIENTIST.
- E. WETLAND PLANTING, IN THE REPLICATION AREAS, WILL BE PERFORMED IN A MANNER WHICH REPRODUCES THE PLACEMENT AND PROPORTIONS OF THE PLANT SPECIES THAT WERE FOUND IN THE ORIGINAL LOST WETLAND AREAS.
- F. ALL WETLAND PLANTINGS WILL BE PERFORMED BY HAND. BURLAP WILL BE REMOVED FROM THE TOP THIRD OF THE ROOTBALLS AND ROPES, TWINE AND WIRE BASKETS WILL BE COMPLETELY REMOVED FROM THE ROOTBALLS. COMPLETELY REMOVE ALL PLASTIC BURLAP, ROPE, TWINE AND WIRE BASKETS FROM THE REPLICATION AREAS. COMPLETELY REMOVE ALL CONTAINERS FROM THE POTTED PLANTS WHILE KEEPING THE SOIL AROUND THE ROOTS UNBROKEN.
- G. PRIOR TO THE START OF WETLAND CONSTRUCTION DETAILED MEASUREMENTS OF THE DEPTH OF THE SOIL 0 AND A HORIZONS WITHIN THE WETLAND TO BE LOST DURING CONSTRUCTION SHALL BE CONDUCTED. THE PROJECT SHALL USE THIS INFORMATION TO DETERMINE THE SUITABILITY OF THESE HORIZONS FOR REUSE IN THE REPLICATION AREA AND TO CALCULATE THE NEED FOR ADDITIONAL SOIL MATERIALS. THE TOP 12 INCHES OF SOIL FROM THE ORIGINAL WETLAND MUST BE TRANSPORTED WITH SOIL STRUCTURE, ESPECIALLY LAMINATION AND DENSITY PROFILE, INTACT TO THE REPLICATION AREA. THIS IS INTENDED TO PRESERVE PLANT, INVERTEBRATE AND PLANKTONIC COMMUNITIES OF THE WETLAND AND INHIBIT THE BLOSSOMING OF INVASIVE SPECIES.
- H. SOIL MATERIALS TO BE REUSED (FROM THE WETLAND TO BE LOST DURING CONSTRUCTION) SHALL BE REMOVED AND PLACED IN THE PREPARED REPLICATION AREA WITHIN ONE DAY. IF THIS IS NOT POSSIBLE, THESE SOILS SHALL BE STOCKPILED FOR THE MINIMUM AMOUNT OF TIME FEASIBLE AND KEPT LOOSELY COVERED AND MOIST AT ALL TIMES. EACH DAY ANY SOILS ARE STOCKPILED, THE PROJECT MANAGER SHALL NOTIFY THE COMMISSION IN WRITING OF THE STOCKPILING. THE VOLUME OF SOILS STOCKPILED, THE REASON THEREFORE, AND THE EXPECTED DURATION OF THE STOCKPILING, THE NOTIFICATION SHALL CONTAIN A CERTIFICATION SIGNED BY THE WETLAND SCIENTIST THAT HE/SHE HAS INSPECTED THE STOCKPILE THAT DAY AND THAT IT IS LOOSELY COVERED AND MOIST.
- I. THE PROPOSED REPLICATION AREA SHALL BE EXCAVATED TO A DEPTH OF ONE FOOT BELOW THE PROPOSED FINAL GRADE AND TO BE REFERRED TO IN THE

- ORDER OF CONDITIONS. THE SUBSOIL WITHIN THE REPLICATION AREA SHALL BE EXAMINED BY THE WETLAND SCIENTIST TO DETERMINE WHETHER IT IS FINE TEXTURED (FINE SANDY LOAM OR FINER, AS DEFINED BY NRCS STANDARDS). IF THE SUBSOIL IS COARSE-TEXTURED, IT SHALL BE REPLACED WITH FINE-TEXTURED MATERIAL TO ALLOW FOR THE DEVELOPMENT OF A CAPILLARY FRINGE BETWEEN THE GROUNDWATER AND THE SOIL SURFACE.
- J. FOLLOWING REPLACEMENT OF TOP SOIL, A MINIMUM OF 48 HOURS SHALL PASS PRIOR TO PLANTING OF WETLAND VEGETATION TO ALLOW FOR REBOUND OF BURIED OR COMPACTED PEAT. THE FINAL GRADE SHALL BE ADJUSTED AS NECESSARY.
- K. AFTER PLANTINGS ARE COMPLETED, THE REPLICATION AREAS SHALL BE HAND RAKED TO ELIMINATE ANY DEPRESSIONS, GREATER THAN FOUR INCHES IN DEPTH, WHICH MAY BE CREATED DURING DIGGING AND TO ELIMINATE COMPACTION OF THE SOIL AS MUCH AS POSSIBLE.
- K.1. ONCE PLANTING IS COMPLETED, LEAVES (COLLECTED FROM UPLAND AREAS OF THE PROPOSED SITE CONSTRUCTION) SHALL BE SPREAD THROUGHOUT THE REPLICATION AREAS.
- L. THE INTENT OF THIS SCHEDULE IS TO INSURE THAT AT LEAST 75 PERCENT OF THE REPLICATION SURFACE AREA IS RE-ESTABLISHED WITH INDIGENOUS WETLAND PLANT SPECIES WITHIN THREE GROWING SEASONS OF THEIR PLANTING. IN ACCORDANCE WITH THE MASSACHUSETTS DEP WETLANDS PROTECTION ACT REGULATIONS, PURPLE LOOSESTRIPE (LYTHRUM SALICARI) AND EUROPEAN BUCKTHORN (RIHAMNUS FRANGULA) SHALL NOT BE PLANTED IN THE REPLICATION AREAS. IF AFTER THREE GROWING SEASON, IT IS EVIDENT IN THE OPINION OF THE BOTANIST THAT IT IS UNLIKELY THAT THE 75 PERCENT RE-ESTABLISHMENT REQUIREMENT WILL BE ACHIEVED, THE APPLICANT SHALL SUPPLEMENT THE PLANTINGS AS NECESSARY TO ACHIEVE THE REQUIRED COVERAGE. IF AFTER THE END OF THREE GROWING SEASONS, 75 PERCENT RE-ESTABLISHMENT HAS NOT BEEN ACHIEVED, THE APPLICANT SHALL PROVIDE AND PLANT HEALTHY WETLAND VEGETATION IN SUFFICIENT QUANTITIES TO ACHIEVE THE 75 PERCENT RE-ESTABLISHMENT.

PART 5 WETLAND REPLICATION MONITORING

- A. ONCE JAPANESE KNOTWEED AND OTHER INVASIVE SPECIES HAVE BEEN REMOVED AND THE AREAS SEEDED, THEY SHALL BE MONITORED IN THE FOLLOWING YEAR TO ENSURE NO NEW INVASIVE GROWTH AND RESTORATION OF NATURAL CONDITION HAS BEEN SUCCESSFUL.
- B. THE WETLAND SCIENTIST SHALL VISIT THE REPLICATION AREA WEEKLY FOLLOWING PLANTING AND SEEDING FOR THE DURATION OF THE FIRST GROWING SEASON TO DETERMINE THE NEED FOR IRRIGATION AND ADDITIONAL FERTILIZATION AND TO INFORM THE SITE CONTRACTOR OF THESE REQUIREMENTS.
- C. THE WETLAND SCIENTIST SHALL INSPECT WETLAND REPLICATION AREA TWICE A YEAR DURING LATE SPRING AND DURING THE MID TO LATE SUMMER OF THE FIRST TWO FULL GROWING SEASONS. A WRITTEN REPORT SHALL BE SUBMITTED TO THE COMMISSION AT THE END OF EACH GROWING SEASON.
- D. A BOND SHALL BE POSTED THAT WILL ENABLE THE COMMISSION TO COMPLETE THE REPLICATION SHOULD THE APPLICANT FAIL TO FULFILL OBLIGATIONS SET FORTH IN THE ORDER OF CONDITIONS.

REPLICATION NOTES:

1. SELECTION AND QUANTITY OF WETLAND REPLICATION PLANTS SHALL BE DETERMINED BY WETLAND SCIENTIST, AS APPROVED BY THE TOWN OF HARVARD CONSERVATION COMMISSION.
2. EXISTING TREES WITHIN WETLAND REPLICATION AREAS SHALL BE MAINTAINED TO THE MAXIMUM PRACTICABLE, AS DETERMINED BY THE WETLAND SCIENTIST.
3. NEW ENGLAND WETMIX SEED MIX SHALL BE SPREAD WITHIN THE LIMIT OF THE PROPOSED WETLAND REPLICATION AREA.

INVASIVE PLANT CONTROL:

INVASIVE SPECIES ONSITE INCLUDE BUT NOT LIMITED TO: JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM)

BACKGROUND:

JAPANESE KNOTWEED SPREADS QUICKLY TO FORM DENSE THICKETS THAT EXCLUDE NATIVE VEGETATION AND GREATLY ALTERS NATURAL ECOSYSTEMS. IT POSES A SIGNIFICANT THREAT TO RIPARIAN AREAS, WHERE IT CAN SURVIVE SEVERE FLOODS AND RAPIDLY COLONIZE SCoured SHORES AND ISLANDS. ONCE ESTABLISHED, POPULATIONS ARE EXTREMELY PERSISTENT. JAPANESE KNOTWEED SPREADS PRIMARILY BY VEGETATIVE MEANS WITH THE HELP OF ITS LONG, STOUT RHIZOMES. IT IS OFTEN TRANSPORTED TO NEW SITES AS A CONTAMINANT IN FILL. SEEDS ARE FREQUENTLY DISTRIBUTED BY WATER, AND CARRIED TO A LESSER EXTENT BY WIND. DISCARDED CUTTINGS ARE COMMON ROUTES OF DISPERSAL. KNOTWEED PREVENTS ESTABLISHMENT OF NATIVE TREES AND SHRUBS, REDUCES ACCESS TO THE WATER, AND ITS COARSE RHIZOMES DO NOT STABILIZE THE BANKS AS WELL AS THE FINER ROOTS OF TREES OR GRASSES. MANAGEMENT REQUIRES TREATMENT OF THE RHIZOME SYSTEM, AND WILL TAKE AT LEAST TWO YEARS.

CONTROL:

CUT AND PAINT METHOD DOES NOT WORK WHEN THE GROUND IS FROZEN AND IS LESS EFFECTIVE IN THE SPRING WHEN PLANT SAP IS RUNNING OUT OF THE ROOTS. CONTROL AT THE SITE SHALL CONSIST OF CUTTING THE STEM JUST AFTER FLOWERING (TYPICALLY LATE JUNE OR JULY) AND IMMEDIATELY INJECTING A 25% GLYPHOSATE SOLUTION INTO CUT STEMS. THE GLYPHOSATE PRODUCT SHALL BE ONE APPROVED FOR USE NEAR WETLANDS. A FOLLOW-UP TREATMENT SHALL OCCUR IN SEPTEMBER, FOLLOWING THE SAME PROCEDURE.

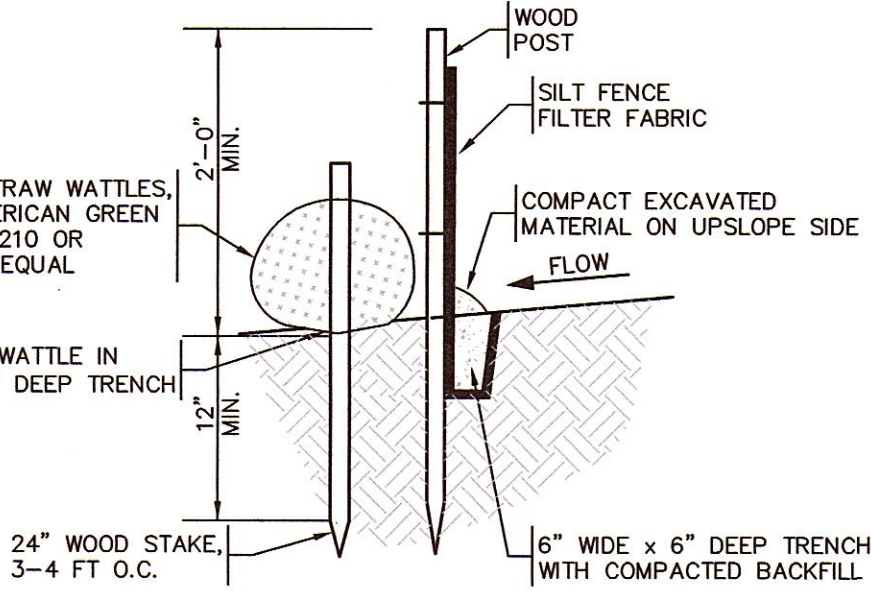
WETLAND REPLICATION PLANT LIST

Symbol	Botanical Name	Common Name	Size	Quantity	Condition
<b>TREES</b>					
AR	ACER RUBRUM	RED MAPLE	6'-8' HT. 1.5'-2' CAL	12	B & B
FP	FRAXINUS PENNSYLVANICA	GREEN ASH	6'-8' HT. 1.5'-2' CAL	6	B & B
<b>SHRUBS</b>					
VC	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2'-3' HT.	30	CONT. GROWN
IV	ILEX VERTICILLATA	WINTER BERRY	2'-3' HT.	45	CONT. GROWN
VD	VIBURNUM DENTATUM	NORTHERN ARROWWOOD	3'-4' HT.	45	CONT. GROWN
LB	UNDERA BENZON	SPICEBUSH	3'-4' HT.	45	CONT. GROWN
<b>HERBACIOUS PLANTS</b>					
OC	OSMUNDA CINNAMOMEA	CINNAMON FERN	#1 POT	90	CONT. GROWN
OS	ONOCLEA SENSIBILIS	SENSITIVE FERN	#1 POT	60	CONT. GROWN
OS	OSMUNDA REGALIS	ROYAL FERN	#1 POT	30	CONT. GROWN

SEED MIX

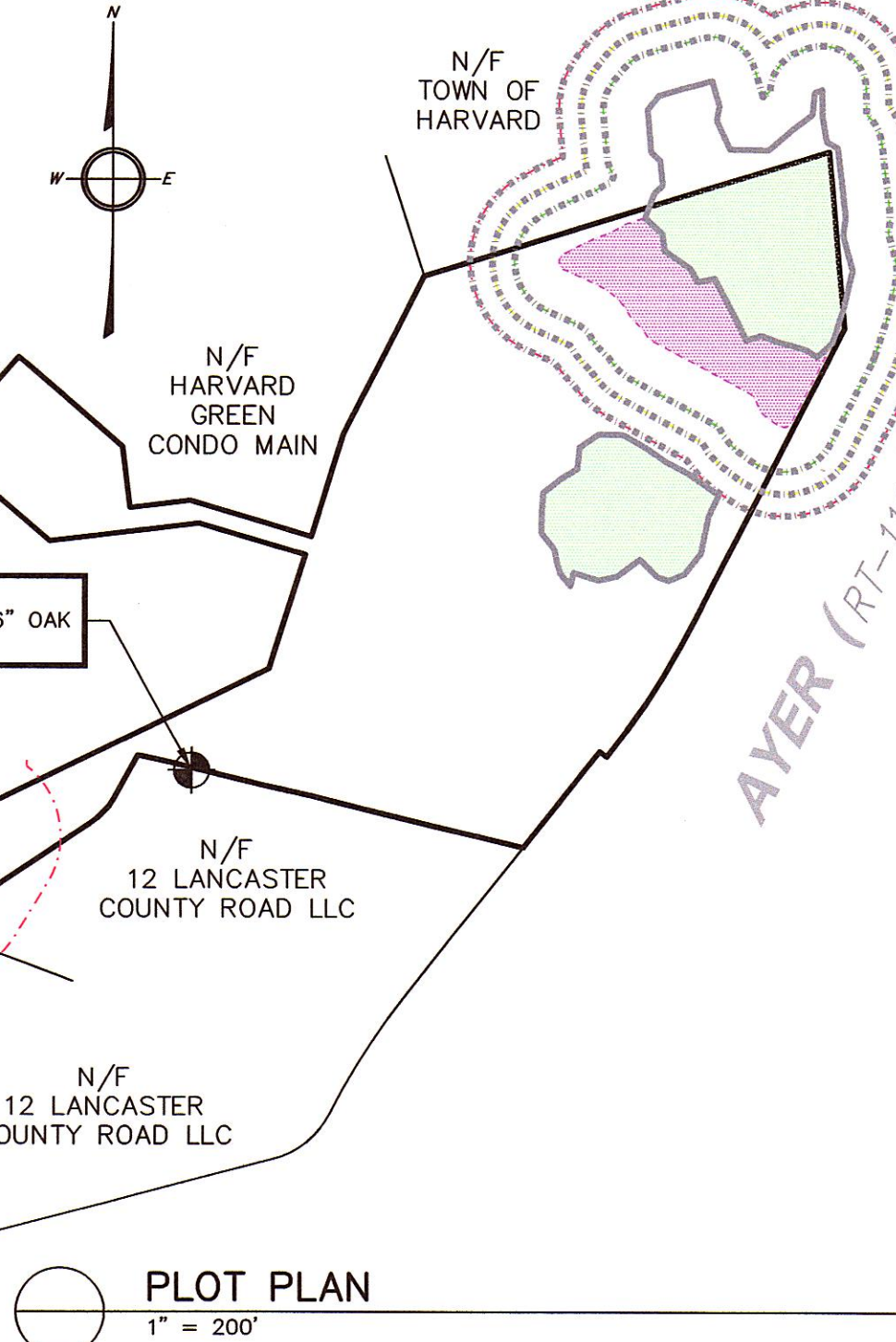
NEW ENGLAND WETMIX (WETLAND SEED MIX)  
APPLIED AT 18 LBS/ACRE :2,500 SF/LB OR GREATER.

BOTANICAL NAME	COMMON NAME
CAREX VULPINOIDEA	FOX SEDGE
CAREX SCOPARIA	BLUNT BROOM SEDGE
CAREX LURIDA	LIRIOD SEDGE
CAREX LUPULINA	HOP SEDGE
POA PALUSTRIS	FOWL BLUEGRASS
BIDENS FRONDOSA	BEGGAR TICKS
SCIRPUS ATROVIRENS	GREEN BULRUSH
ASCLEPIAS INCARNATA	SWAMP MILKWEED
CAREX CRINITA	FRINGED SEDGE
VERNONIA NOVEBORACENSIS	NEW YORK IRONWEED
JUNCUS EFFUSUS	SOFT RUSH
ASTER LATERIFLORUS	STARVED / CALICO ASTER
IRIS VERSICOLOR	BLUE FLAG
GLYCERIA GRANDIS	AMERICAN MANNAGRASS
MIMULUS RINGENS	SQUARE STEMMED MONKEY FLOWER
EUPATORIUM MACULATUM	SPOTTED GEE PYE WEED



- NOTES:
- [1] INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
- [2] TRAPPED SEDIMENT SHALL BE REMOVED TO A NON-SENSITIVE UPLAND AREA.

SILT FENCE / STRAW WATTLE BARRIER  
TYPICAL CROSS SECTION  
NOT TO SCALE



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WETLAND REPLICATION PLAN

203 AYER ROAD  
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PREPARED FOR:  
VYONNE CHERN  
7 GREEN WAY  
WAYLAND, MA 01778

WHEELER REALTY TRUST  
198 WHEELER TRUST  
HARVARD, MA 01451

DES. BY: LT  
CHK. BY: NMP  
DATE: MARCH 2022  
JOB 211009  
1 OF 1



SITE DATA

LOT AREA:	11.03± AC. (480,379± SF)
WATER SUPPLY:	PUBLIC WATER SUPPLY
APPROXIMATE WATER USE:	1,622 GPD FOR BLDG A, 930 GPD FOR BLDG B, 600 GPD FOR BLDG C
SEWAGE DISPOSAL:	ONSITE SEWAGE DISPOSAL SYSTEM
APPROXIMATE SEWAGE FLOW:	1,622 GPD FOR BLDG A, 930 GPD FOR BLDG B, 600 GPD FOR BLDG C
ZONING DISTRICT:	COMMERCIAL - C
OVERLAY DISTRICT:	WIRELESS COMMUNICATION
PROPOSED HABITABLE SPACE:	
BUILDING A	29,998 SF (BASEMENT: 3,383 SF )
BUILDING B	15,500 SF (2ND FLOOR APARTMENTS: 7,500 SF)
BUILDING C	8,000 SF
TOTAL GFA:	56,881 SF (11.84% OF 480,379 SF)

GENERAL NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- BURIED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR RESPECTIVE COMPANY SPECIFICATIONS.
- CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS SHALL BE PERFORMED BY A LICENSED PROFESSIONAL LAND SURVEYOR. LOCATIONS OF EXISTING FEATURES OR PROPOSED IMPROVEMENTS DERIVED BY SCALING DRAWINGS MAY NOT BE ACCURATE. PROPERTY LINES SHOWN HEREON ARE APPROXIMATE. SEE PLAN REFERENCE HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS, AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING UTILITY OR STRUCTURE DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND/OR REMOVAL HEREON. DAMAGED UTILITY OR STRUCTURE SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- CONTRACTOR SHALL NOTIFY ENGINEER UPON COMMENCEMENT OF CONSTRUCTION IN ORDER TO ENSURE THAT REQUIRED INSPECTIONS ARE PERFORMED IN A TIMELY AND EFFICIENT MANNER.
- CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER UPON DISCOVERY OF ANY UNFORESEEN SURFACE OR SUBSURFACE CONDITIONS THAT MAY IMPACT SITE CONSTRUCTION.
- FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EROSION CONTROL MEASURES, SUCH AS SILT FENCE OR STRAW WATTLES AS MAY BE SHOWN HEREON, SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.
- WHERE THE WORD "INSTALL" IS USED HEREIN, IT IS INTENDED TO DIRECT CONTRACTOR TO "FURNISH, INSTALL, AND PLACE IN OPERATION" THE COMPONENT REFERRED TO.
- LIMITS OF WORK SHALL BE STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL STORM DRAIN PIPE TO BE SMOOTH INTERIOR HDP PIPE, 2.0 PSI GASKETED JOINT, UNLESS OTHERWISE NOTED.
- WHERE SHOWN, CONSTRUCTION NOTES ARE INTENDED TO SUMMARIZE AND CLARIFY MAJOR ITEMS OF WORK. THESE NOTES SHOULD NOT BE CONSTRUED AS AN EXHAUSTIVE LISTING OF ALL WORK REQUIRED. CONTRACTOR SHOULD CONTACT ENGINEER WHEN FURTHER CLARIFICATION OF DEPICTED WORK IS DESIRED.
- CONSTRUCTION OF FIRE WATER SUPPLY IMPROVEMENTS SHALL CONFORM TO TOWN OF HARVARD REQUIREMENTS.
- CONSTRUCTION OF DOMESTIC WATER SUPPLY IMPROVEMENTS SHALL CONFORM TO UTILITY OWNER REQUIREMENTS.
- WHERE DIMENSIONS INVOLVE CURB, DIMENSIONS ARE TO FACE OF CURB. WHERE SLOPED GRANITE CURB OR CAPE COD BERM SPECIFIED, FACE OF CURB IS EDGE OF FINISH PAVEMENT AT TOE OF CURB.
- NO DEBRIS, JUNK, RUBBISH OR OTHER NON-BIODEGRADABLE MATERIALS, FILL CONTAINING HAZARDOUS MATERIALS OR WASTES, OR STUMPS SHALL BE BURIED ON ANY LAND ON THIS SITE, OR LEFT ON ANY LOT OR ON THE STREET RIGHT OF WAY.

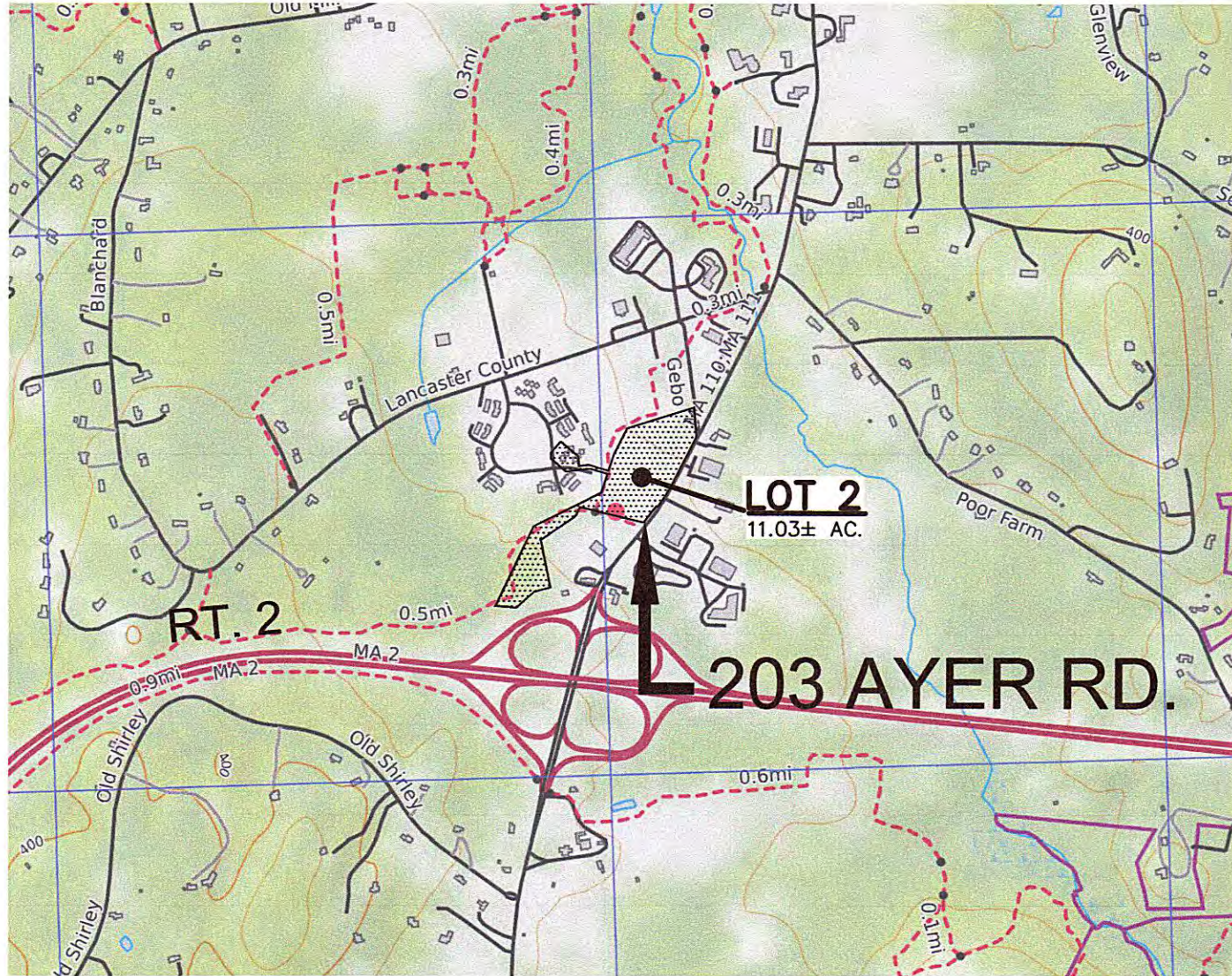
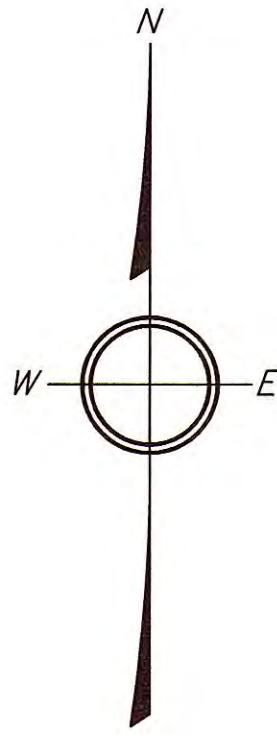
REGULATORY NOTES

- CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 888.344.7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL GIVE TWENTY-FOUR (24)-HOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- CONTRACTOR SHALL BE AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
- GENERAL COMPLIANCE WITH 28 CFR PART 36 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND 521 CMR PART C, EXTERIOR OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS IS INTENDED. CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION AND SHALL NOTIFY THE OWNER OF ANY NON-COMPLIANCE ISSUES AS SOON AS DISCOVERED.

PLAN REFERENCES

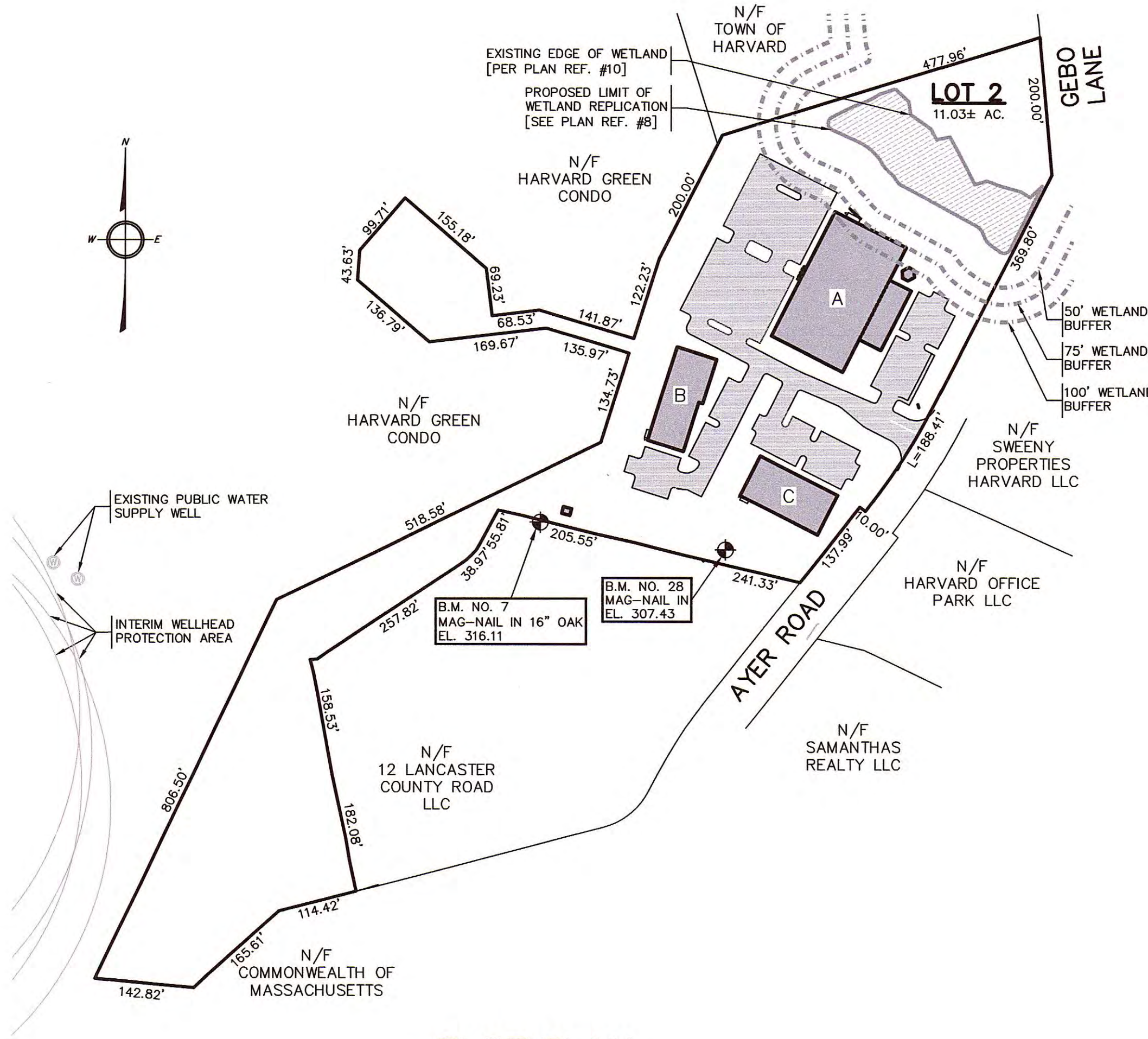
- "SUBSURFACE SEWAGE DISPOSAL SYSTEM-UPGRADE-203 AYER ROAD, HARVARD, MA" PREPARED FOR WHEELER REALTY TRUST BY GOLDSMITH, PREST & RINGWALL, INC. DATED FEBRUARY 2022, REVISED THROUGH 7/25/22 . GPR JOB #201009A.
- "SUBSURFACE SEWAGE DISPOSAL SYSTEM FOR: LOT 2 AYER ROAD, HARVARD MA" DESIGNED FOR GEBO LANE REALTY TRUST & BERNICE TAVERAS, BY GOLDSMITH, PREST & RINGWALL, INC. DATED MARCH 1998. GPR JOB #97-264.
- "LOT 2, AYER ROAD, SEWAGE DISPOSAL WORKS CONSTRUCTION PERMIT" ISSUED BY THE HARVARD BOARD OF HEALTH. OWNED BY BERNICE TAVERAS & GEBO LANE REALTY TRUST. DATED JULY 10, 1998.
- "PARTIAL CONSTRUCTION RECORD PLAN-SUBSURFACE SEWAGE DISPOSAL SYSTEM-LOT 2 AYER ROAD, HARVARD, MA" PREPARED FOR GEBO LANE REALTY TRUST & BERNICE TAVERAS BY GOLDSMITH, PREST & RINGWALL, INC. DATED NOVEMBER 1998. GPR JOB #97-264.
- "SUBSURFACE SEWAGE DISPOSAL SYSTEM-CONSTRUCTION RECORD PLAN" PREPARED FOR HARVARD GREEN DEVELOPMENT CORP. BY GOLDSMITH, PREST & RINGWALL, INC. DATED MARCH 18, 1997. REVISED THROUGH 7/2/98.
- "PLAN OF LAND, HARVARD, MASSACHUSETTS" PREPARED FOR HARVARD GREEN DEVELOPMENT CORP. BY DILLUS & MISCHKE, INC., SCALE 1" = 80'. DATED SEPTEMBER 1997. APPROVED ON 9/22/97.
- "SUBSURFACE SEWAGE DISPOSAL SYSTEM" PREPARED FOR HARVARD GREEN DEVELOPMENT CORP. BY GOLDSMITH, PREST & RINGWALL, INC., PLAN NO. 96-507:SDS01, DATED MARCH 1997, REVISED JUNE 23, 1997.
- "COMMERCIAL DEVELOPMENT - NOTICE OF INTENT - 203 AYER ROAD, HARVARD, MA" PREPARED FOR YVONNE CHERN AND WHEELER REALTY TRUST BY GOLDSMITH, PREST & RINGWALL, INC. DATED MARCH 2022. GPR JOB #211009.
- "COMMERCIAL DEVELOPMENT-203 AYER ROAD, HARVARD, MA" PREPARED FOR WHEELER REALTY TRUST BY GOLDSMITH, PREST & RINGWALL, INC. DATED JULY 2021. REVISED THROUGH 09/09/21. GPR JOB #211009A.
- "MPA FROM 6--ORDER OF CONDITIONS--203 AYER ROAD, HARVARD MA" PREPARED FOR WHEELER TRUST BY THE HARVARD CONSERVATION COMMISSION. DATED 09/30/21. MASS DEP FILE #177-0707.
- "BACKWASH DISPOSAL SITE PLAN - 196 AYER ROAD HARVARD, MA 01451" PREPARED FOR AYER ROAD PROPERTIES, LLC, BOWERS BROOK, LLC AND WHEELER REALTY TRUST BY PROVENCHER ENGINEERING, LLC. DATED AUGUST 19, 2013. REVISED 08/19/13.
- "BRP WP70 ALTERNATIVE DESIGN FLOW FOR TITLE 5 SYSTEM - HARVARD BADMINTON CENTER, 203 AYER ROAD, HARVARD, MA 01451" AS ISSUED BY MASSDEP. DATED JULY 5, 2022. TRANSMITTAL NUMBER 22-WP70/70A-002-APP.
- "203 AYER RD" PHOTOMETRIC LIGHTING PLAN - BUILDING A, PREPARED FOR GOLDSMITH, PREST & RINGWALL, INC. BY MAXLITE, DATED SEPTEMBER 9, 2022.
- "203 AYER RD BUILDINGS B -C" PHOTOMETRIC LIGHTING PLAN, PREPARED FOR GOLDSMITH, PREST & RINGWALL, INC. BY MAXLITE, DATED DECEMBER 6, 2022.

Ayer Road Village Special Permit  
& Mixed Use Village Development  
203 AYER ROAD  
HARVARD, MA



VICINITY MAP

SCALE: 1" = 1,000'



PLOT PLAN

SCALE: 1" = 150'

ZONING

Parameter	Underlying District		Ayer Road Village Special Permit		Remarks
	Zoning Section	Requirement	Zoning Section	Requirement	
Zoning District	125-23	Commercial - C	125-23	Commercial - C	
Overlay District	125-42		125-42		Wireless Communication Overlay District
Proposed Use	125-14.D	Large-scale Commercial Use	125-14.D	Large-scale Commercial Use	Planning Board Special Permit Required for use
	125-12	Small-scale Commercial Use	125-12	Small-scale Commercial Use	Allowed
	125-13	Medium-scale Commercial Use	125-13	Medium-scale Commercial Use	Allowed
	125-13.Z	Medium-scale Commercial Use	125-13.Z	Multi-Family	Allowed
Lot Area	125-29.B (1)	1.5 AC			11.03 AC (480,379 sf)
Frontage	125-29.B (3)	180 FT			904 FT of frontage provided
Lot Width	125-29.B (2)	200 FT at 120 FT from roadway center line	125-52.B	300 FT	200 ft lot width provided
Lot Shape	125-29.I	30 max build factor	125-52.G.1(a)	permit alt. bldg. siting without regard to lot width circle	8.68 build factor
Yard					
Front	125-30.E (4)	20 FT, 60 ft abutting AR district			Underlying District setbacks met
Side & Rear	125-30.E (3)	20 FT, 60 ft abutting AR district			Underlying District setbacks met
Total Floor Area	125-30.B	10% of land area	125-52.G.2	20% of land area	
Building Height	125-30.C	35 FT, 3 stories Max.			< 35 ft provided
Parking	125-39.A(3)	20-ft wide green area every 160 ft			Alternately, 10-ft wide green area every 80 ft of length
	125-39.A.(3).(a)	9x19' stall with 24' aisle			
Open Area					
Buffer Strip	125-39.C (1)	20-ft buffer strip around perimeter			
Total Green Area	125-39.C (2)	50% of lot area			74.7% Green Area Provided
Wetlands Bylaw	local bylaw	No Structure within 75 ft, No disturbance within 50 ft			from edge of wetlands and water bodies
MDEP Riverfront Area					none on site
FEMA Floodplain					none on site
IWPA					on site

NOTES:

[1] Reference to section of The Protective Bylaw, where applicable

ABBREVIATIONS:

SF=square feet; FT=feet; AC=acres; PB=Planning Board; ZBA=Zoning Board of Appeals; IWPA=interim wetland protection area; OSD=Open Space Presentation Development

PARKING COMPUTATIONS

USE	REQUIRED SPACES	PROPOSED SPACES (# OF HANDICAP SPACES)
Building A	N/A	120 (5)
Building B	N/A	24 (1)
Building C	N/A	25 (1)

COVERAGE COMPUTATIONS

PARAMETER	AREA (ACRES)	AREA (SQUARE FEET)	FRACTION OF TOTAL LOT AREA (%)
EXISTING CONDITION			
Lot Area	11.03±	480,379±	100%
Building Footprint	0	0	0%
Other Impervious Area	0	0	0%
Total Impervious Coverage	0	0	0%
DEVELOPED CONDITION			
Lot Area	11.03±	480,379±	100%
Building Footprint	0.98±	42,613±	8.9%
Other Impervious Area	1.81±	78,757±	16.4%
Total Impervious Coverage	2.79±	121,370±	25.3%

SHEET INDEX

- C1.1 TITLE SHEET
- C2.1 EXISTING CONDITIONS PLAN
- C3.1 SITE UTILITIES PLAN
- C3.2 SITE LAYOUT PLAN
- C4.1 GRADING AND PAVING PLAN
- C4.2 DRAINAGE PLAN
- C5.1 EROSION AND SEDIMENT CONTROL PLAN
- C6.1 CONSTRUCTION DETAILS
- C6.2 CONSTRUCTION DETAILS
- C6.3 CONSTRUCTION DETAILS
- L-1.01 PLANTING PLAN (BY FISHER DESIGN GROUP)

ASSESSORS REFERENCE

ASSESSORS PARCEL # 008-062-002  
OWNER PER ASSESSOR RECORD:  
WHEELER REALTY TRUST  
200 AYER ROAD  
HARVARD, MA 01451

APPROVED BY THE  
HARVARD PLANNING BOARD

CHAIR  
APPLICATION FILED  
HEARING DATE  
PLAN APPROVED

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3	5/23/23	JFB	NMP	MUVD & PEER REVIEW COMMENTS
2	3/2/23	JFB	NMP	MUVD & PEER REVIEW COMMENTS
1	7/25/22	LT	NMP	PEER REVIEW COMMENTS
NO.	DATE	BY	APP.	REVISION DESCRIPTION

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COMMERCIAL DEVELOPMENT  
SPECIAL PERMIT

TITLE SHEET

203 AYER ROAD  
HARVARD, MA

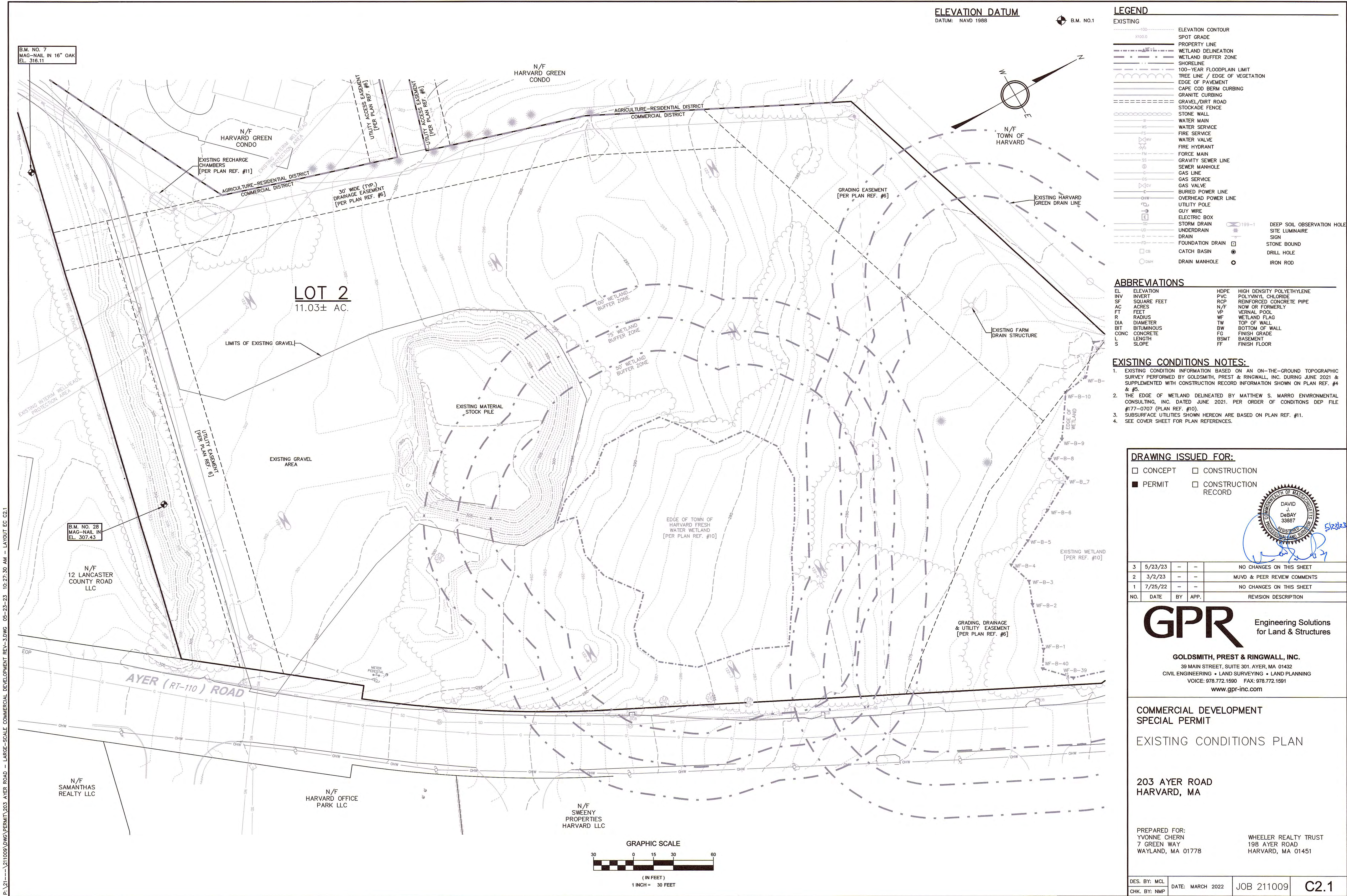
PREPARED FOR:  
YVONNE CHERN  
7 GREEN WAY  
WAYLAND, MA 01778

WHEELER REALTY TRUST  
198 AYER ROAD  
HARVARD, MA 01451

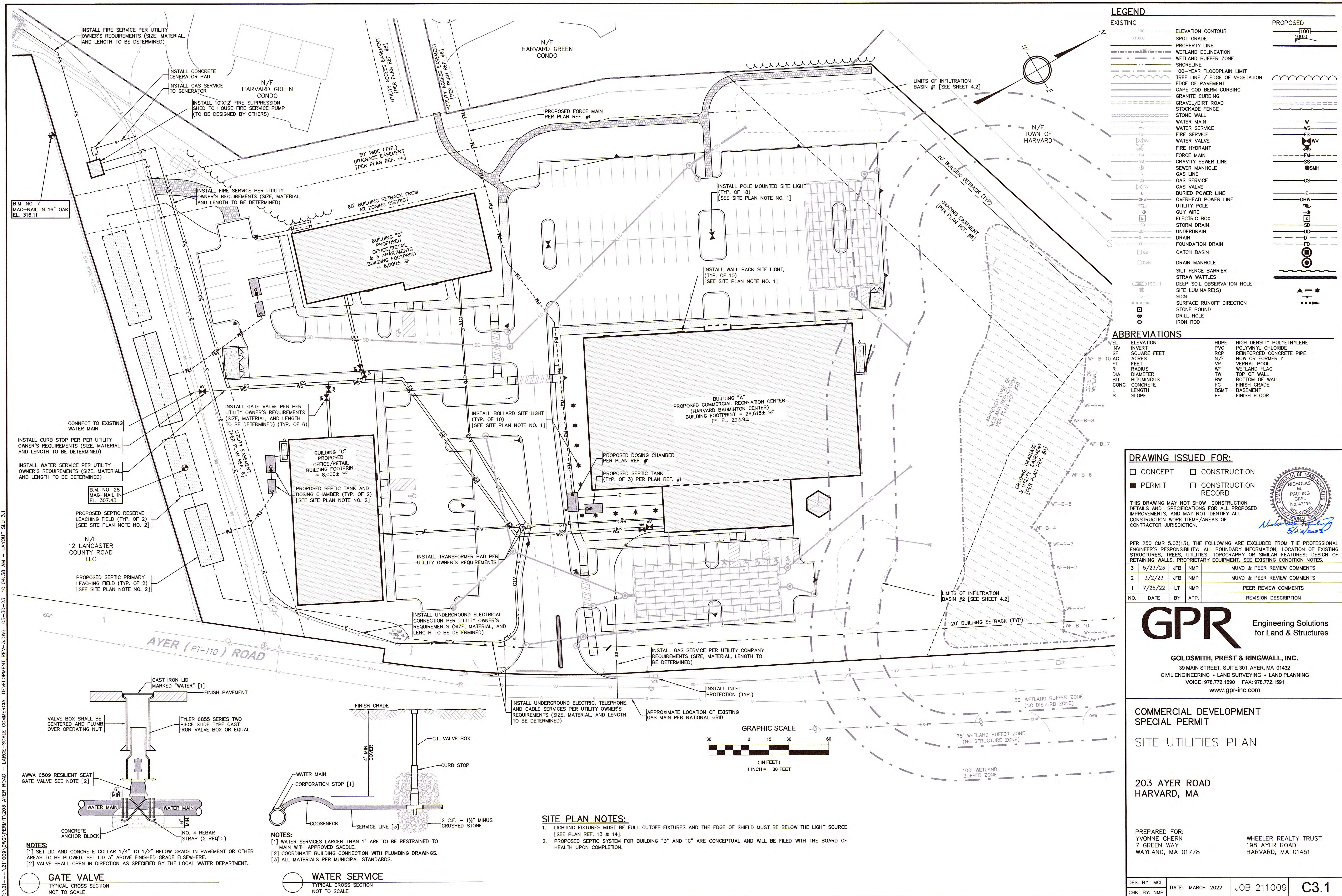
DES. BY: MCL	DATE: MARCH 2022	JOB 211009	C1.1
CHK. BY: NMP			



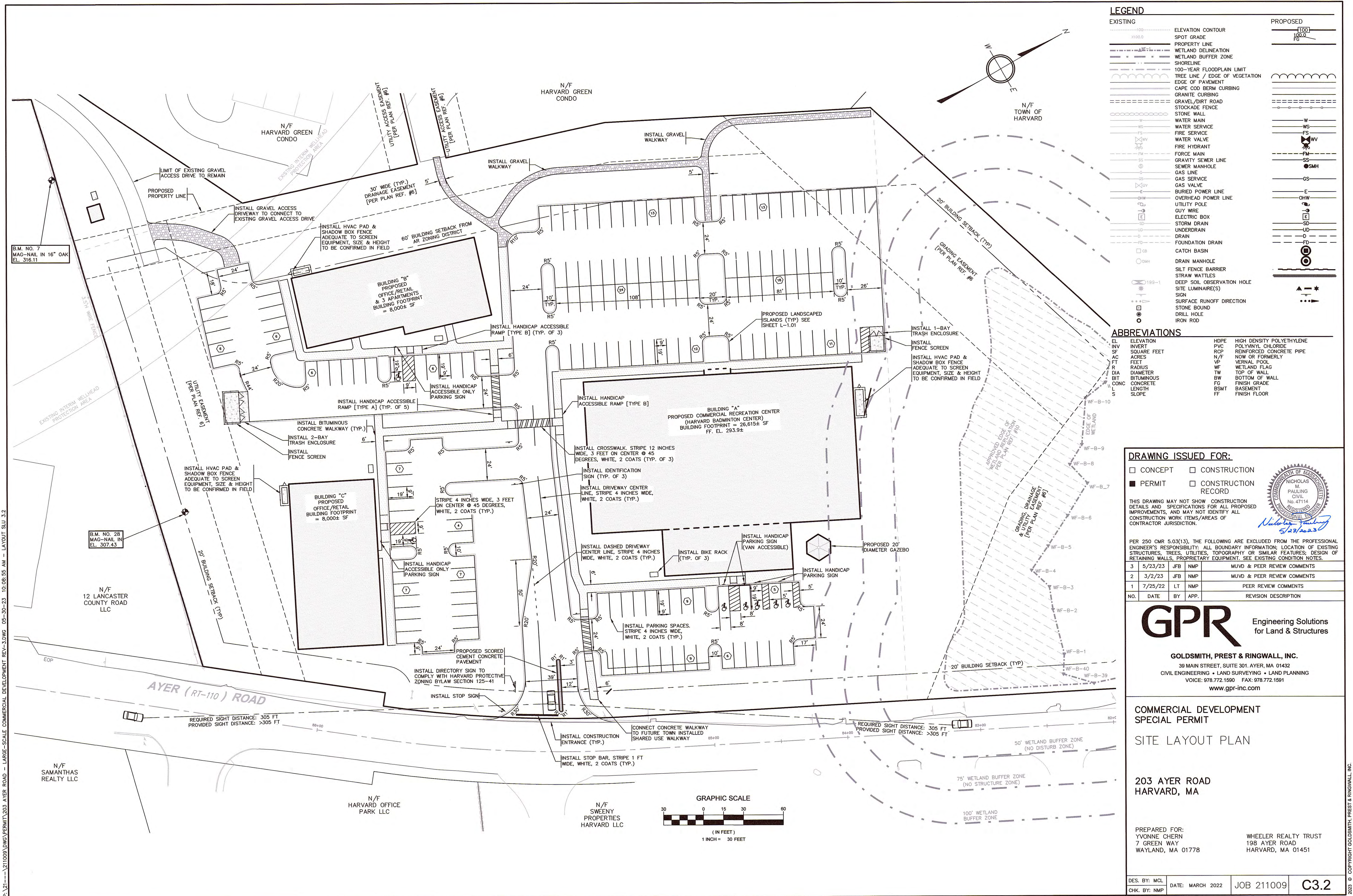
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P:\211009\DWG\PERMIT\203 AYER ROAD - LARGE-SCALE COMMERCIAL DEVELOPMENT REV-3.DWG 05-30-23 10:09:13 AM - LAYOUT GSP 4:1

B.M. NO. 7  
MAG-NAIL IN 16" OAK  
EL. 316.11

B.M. NO. 28  
MAG-NAIL IN  
EL. 307.43

N/F  
12 LANCASTER  
COUNTY ROAD  
LLC

N/F  
SAMANTHAS  
REALTY LLC

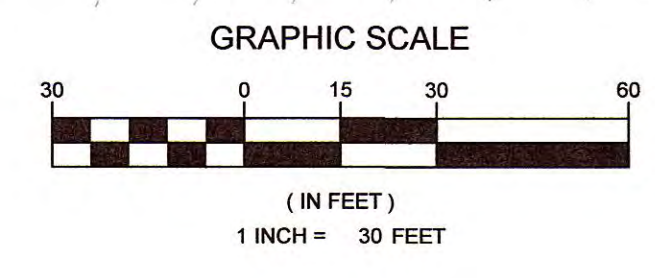
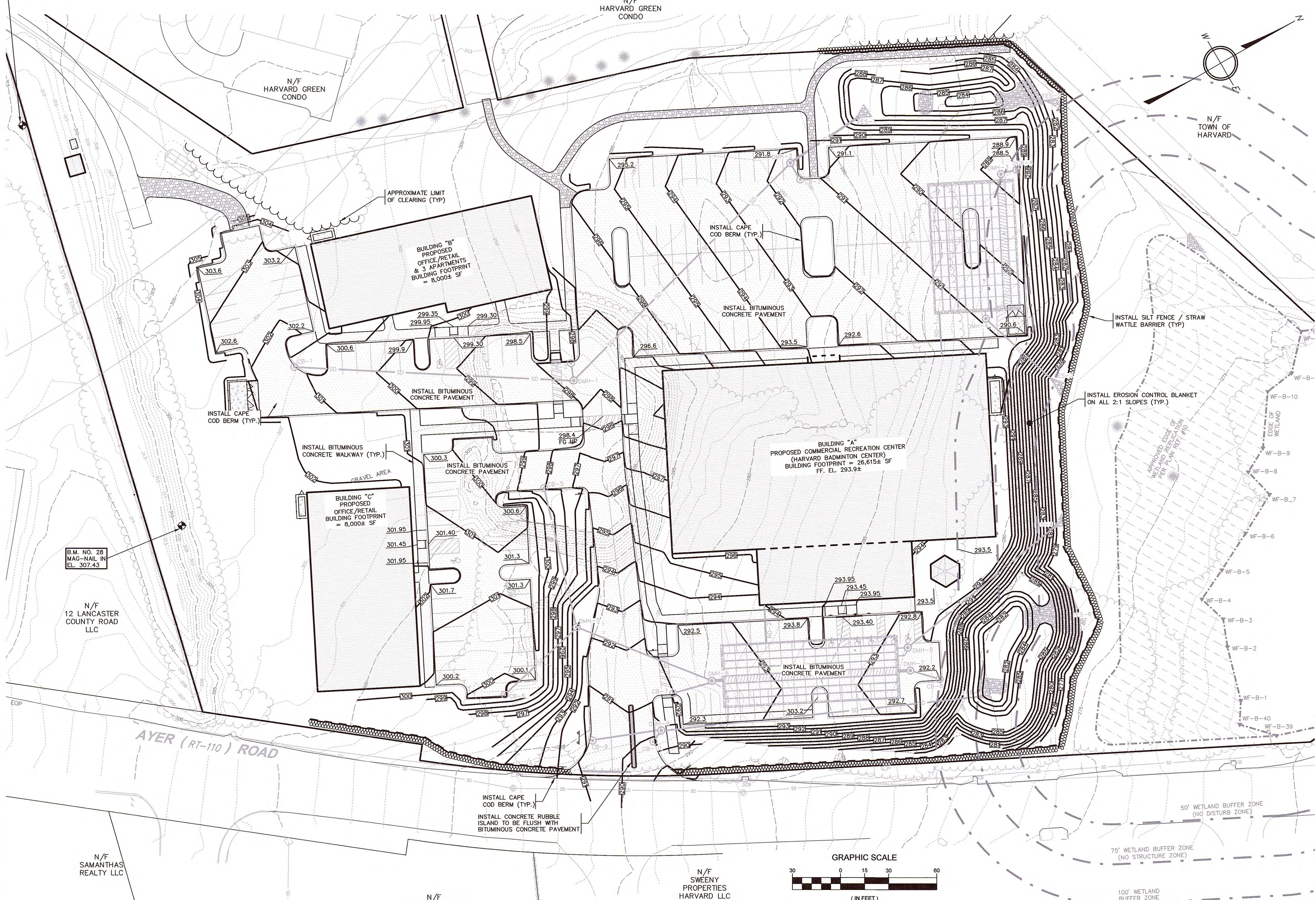
N/F  
HARVARD OFFICE  
PARK LLC

N/F  
SWEENEY  
PROPERTIES  
HARVARD LLC

N/F  
HARVARD GREEN  
CONDO

N/F  
HARVARD GREEN  
CONDO

N/F  
TOWN OF  
HARVARD



LEGEND	
EXISTING	PROPOSED
	ELEVATION CONTOUR
	SPOT GRADE
	PROPERTY LINE
	WETLAND DELINEATION
	WETLAND BUFFER ZONE
	SHORELINE
	100-YEAR FLOODPLAIN LIMIT
	TREE LINE / EDGE OF VEGETATION
	EDGE OF PAVEMENT
	CAPE COD BERM CURBING
	GRAVEL/DIRT ROAD
	STOCKADE FENCE
	STONE WALL
	WATER MAIN
	WATER SERVICE
	FIRE SERVICE
	WATER VALVE
	FIRE HYDRANT
	FORCE MAIN
	GRAVITY SEWER LINE
	SEWER MANHOLE
	GAS LINE
	GAS SERVICE
	GAS VALVE
	BURIED POWER LINE
	OVERHEAD POWER LINE
	UTILITY POLE
	GUY WIRE
	ELECTRIC BOX
	STORM DRAIN
	UNDERDRAIN
	DRAIN
	FOUNDATION DRAIN
	CATCH BASIN
	DRAIN MANHOLE
	SILT FENCE BARRIER
	STRAW WATTLES
	DEEP SOIL OBSERVATION HOLE
	SITE LUMINAIRE(S)
	SIGN
	SURFACE RUNOFF DIRECTION
	STONE BOUND
	DRILL HOLE
	IRON ROD

ABBREVIATIONS	
EL	ELEVATION
INV	INVERT
SF	SQUARE FEET
AC	ACRES
FT	FEET
R	RADIUS
DIA	DIAMETER
BIT	BITUMINOUS
CONC	CONCRETE
L	LENGTH
S	SLOPE
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
N/F	NOW OR FORMERLY
VP	VERNAL POOL
WF	WETLAND FLAG
TW	TOP OF WALL
BW	BOTTOM OF WALL
FG	FINISH GRADE
BSMT	BASEMENT
FF	FINISH FLOOR

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GRADING AND PAVING PLAN

203 AYER ROAD  
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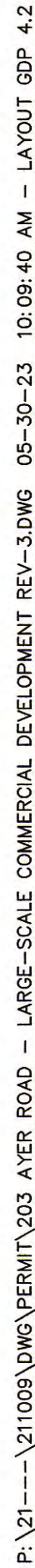
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DES. BY: MCL	DATE: MARCH 2022	JOB 211009	C4.1
CHK. BY: NMP			

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EROSION AND SEDIMENT CONTROL REQUIREMENTS

PART 1 – GENERAL

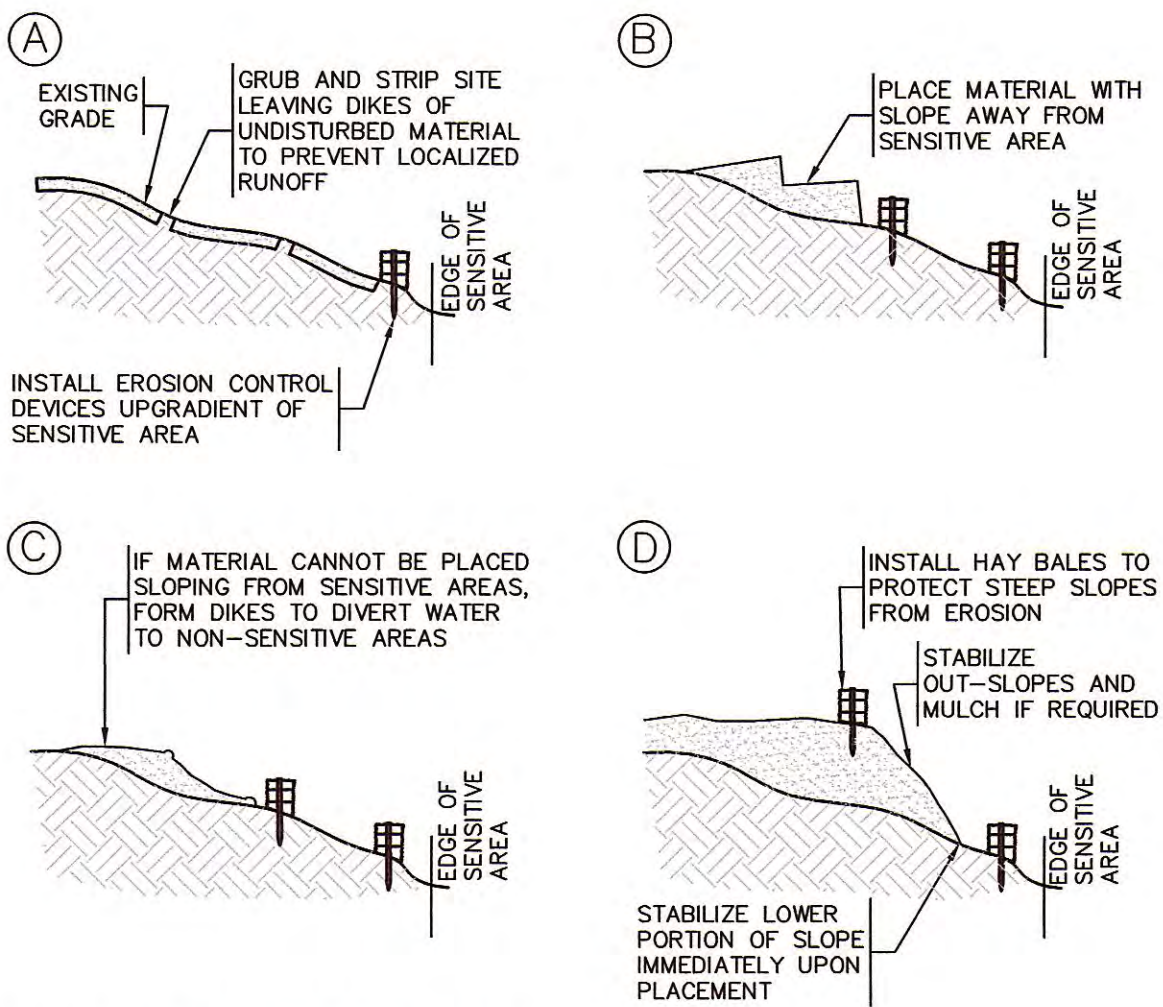
- 1.01 SUMMARY
- A. FURNISH, INSTALL, AND MAINTAIN TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS, BUT NOT NECESSARILY LIMITED TO, STRAW BALE AND SILT FENCE BARRIERS, RIPRAP, DIVERSION CHANNELS AND BERMS, CHECK DAMS, STRATEGICALLY LOCATED STOCKPILES, SEDIMENT BASINS, MULCH, AND SEED MIX (HEREINAFTER "CONTROL MEASURES") ADEQUATE TO PREVENT THE CONVEYANCE OF EROSION PRODUCTS (E.G. SOIL, MULCH, SOD) OFF SITE, OR INTO ENVIRONMENTALLY SENSITIVE AREAS, OR INTO AREAS WHERE WORK WILL BE ADVERSELY IMPACTED. ENVIRONMENTALLY SENSITIVE AREAS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, WETLANDS, TRIBUTARIES TO WETLANDS, WETLAND BUFFER ZONES, INTERMITTENT AND PERENNIAL STREAMS / RIVERS, AND THEIR ATTENDANT BUFFER ZONES
1. REFER TO DRAWINGS FOR LOCATION AND DETAILS OF CONTROL MEASURES REQUIRED TO COMMENCE WORK. THESE CONTROL MEASURES WILL BE ADEQUATE ONLY FOR VEGETATION CLEARING. THE DRAWINGS ARE NOT INTENDED TO GRAPHICALLY DEPICT ALL CONTROL MEASURES THAT WILL BE REQUIRED TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.
2. DEVISE AND EMPLOY CONTROL MEASURES THROUGHOUT THE DURATION OF PROJECT, OVER ALL AREAS DISTURBED OR UNDISTURBED BY CONSTRUCTION, AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A.
3. DEVISE AND EMPLOY TEMPORARY CONTROL MEASURES AS NECESSARY TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A, WHILE ALLOWING WORK TO PROCEED IN AN EFFICIENT, COST EFFECTIVE MANNER.
4. DEVISE, EMPLOY AND MAINTAIN CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE SITE IS PERMANENTLY STABILIZED BY ESTABLISHED VEGETATION, FINISH LANDSCAPE MATERIALS, PAVED SURFACES, AND/OR ROOF AREA.
5. ONCE THE SITE IS PERMANENTLY STABILIZED AND CERTIFIED AS SUCH BY ENGINEER, REMOVE TEMPORARY CONTROL MEASURES WHILE PROTECTING STABILIZED SURFACES.
- 1.02 SUBMITTALS
- A. SUBMIT PRODUCT DATA, WARRANTY, AND TEST REPORTS AS INDICATED ON THE DRAWINGS.
- 1.03 QUALITY ASSURANCE
- A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS FROM ACCEPTABLE MANUFACTURERS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. CONFORM TO CONDITIONS OF APPROVAL ISSUED BY REGULATORY AGENCIES INCLUDING, BUT NOT NECESSARILY LIMITED TO, LOCAL PLANNING BOARD, CONSERVATION COMMISSION, BOARD OF SELECTION, BOARD OF HEALTH, PUBLIC WORKS / HIGHWAY DEPARTMENT, STATE ENVIRONMENTAL PROTECTION DEPARTMENT, AND U.S. GOVERNMENT, ENVIRONMENTAL PROTECTION AGENCY, WHERE CONDITIONS OF REGULATORY APPROVAL DIFFER FROM REQUIREMENTS CONTAINED HEREIN OR ON THE DRAWINGS, COMPLY WITH THE MORE STRINGENT REQUIREMENT.

PART 2 – PRODUCTS

- 2.01 MATERIALS
- A. STRAW WATTLES: DRY GRASS OR STRAW, MACHINE BOUND WITH JUTE OR WIRE, APPROXIMATE SIZE EACH BALE 9" DIAMETER.
- B. SILT FENCE: NON-WOVEN, UV-RESISTANT, POLYPROPYLENE FABRIC, FLOW RATED AT 10 GPM/SF MINIMUM, GRAB TENSILE RATED AT 124 POUNDS MINIMUM, WITH INTEGRAL STAKE LOOPS, AND HARDWOOD STAKES. USE NO. 2130 BY AMOCO FABRICS & FIBERS, OR APPROVED EQUAL.
- C. MULCH: ORGANICS INCLUDING STRAW, PROCESSED PINE / HEMLOCK TWIGS AND NEEDLES.
- D. SEED MIXES: PERENNIAL RYEGRASS, KENTUCKY BLUEGRASS, AND / OR FINE FESCUE, DISEASE RESISTANT. NON-MAINTAINED AREA OPTION – ANNUAL RYEGRASS COMBINED WITH MEDIUM RED CLOVER.
- E. EXCELSIOR BLANKET: CURLED WOOD FIBER ON PHOTODEGRADABLE EXTRUDED PLASTIC MATRIX, 80% OF FIBERS 6-INCHES LONG OR LONGER, WEIGHT 0.975 POUNDS / SY, CONTAINING NO CHEMICAL ADDITIVES. USE CURLEX I BLANKET BY AMERICAN EXCELSIOR COMPANY, OR APPROVED EQUAL.
- F. ROCK RIPRAP: SOUND, ANGULAR, 6-INCH MINUS PROCESSED ROCK, BLAST ROCK, OR TAILINGS.
- G. CRUSHED STONE: SOUND, ANGULAR, 2-INCH MINUS PROCESSED CRUSHED STONE

PART 3 – EXECUTION

- 3.01 THROUGHOUT CONSTRUCTION
- A. DEVISE WORK SEQUENCE SO AS TO LIMIT DRAINAGE AREA THAT IS TRIBUTARY TO DISTURBED AREAS. DEVISE, EMPLOY, AND MAINTAIN CONTROL MEASURES SUCH AS DIVERSION CHANNELS AND BERMS, STRATEGICALLY LOCATED STOCKPILES, AND SEDIMENT BASINS TO SUBDIVIDE DRAINAGE AREAS INTO SMALL, MANAGEABLE SUBAREAS, THEREBY MINIMIZING RUNOFF AND THE POTENTIAL FOR EROSION.
- B. MAINTAIN BARRIER AT LIMIT OF WORK AND PROTECT EXISTING VEGETATION / FACILITIES OUTSIDE OF LIMIT OF WORK.
- C. MAINTAIN SPARE MATERIAL STOCKPILES FOR IMMEDIATE EMPLOYMENT / REPAIR / EXPANSION OF CONTROL MEASURES. AT A MINIMUM, SUCH MATERIALS SHALL INCLUDE straw BALES, SILT FENCE AND STAKES, AND CRUSHED STONE.
- D. INSPECT AND MAINTAIN EFFECTIVENESS OF CONTROL MEASURES BY REPAIRING AS NECESSARY TO ENSURE INTENDED FUNCTION; BY SUPPLEMENTING AS NECESSARY FOR ADEQUATE EXTENT; BY REMOVING TRAPPED PRODUCTS OF EROSION AS NECESSARY TO MAINTAIN EFFECTIVE TRAP VOLUME.
- E. LIMIT EXTENT OF WORK AREA SO THAT ALL DISTURBED AREAS CAN BE STABILIZED WITH CONTROL MEASURES WITHIN A 24-HOUR PERIOD.
- F. INSTALL CONTROL MEASURES AS SOON AS PRACTICABLE AFTER EACH MANAGEABLE PORTION OF EARTHWORK IS COMPLETE. EMPLOY TEMPORARY MEASURES AS NECESSARY TO STABILIZE DISTURBED AREAS, EVEN WHERE SUBSEQUENT CONSTRUCTION OPERATIONS MAY REQUIRE RE-DISTURBANCE.
- G. WHEN INTENSE RAINFALL IS EXPECTED, CONSIDER, DEVISE, AND EMPLOY REINFORCING CONTROL MEASURES PRIOR TO THE RAINFALL EVENT TO MEET THE REQUIREMENTS DESCRIBED IN 1.01.A. IF NECESSARY, EMPLOY TEMPORARY CONTROL MEASURES ON MATERIAL STOCKPILES TO COUNTERACT POTENTIAL SEDIMENT TRANSPORT DURING INTENSE RAINFALL.
- H. WHEN VEHICLE REFUELING IS REQUIRED ON SITE, CONDUCT REFUELING OPERATIONS OUTSIDE OF ENVIRONMENTALLY SENSITIVE AREAS.
- I. PROPERLY DISPOSE OF DEBRIS, SOLID WASTE, TRASH, AND CONSTRUCTION WASTE / BYPRODUCTS OFF SITE.
- J. SWEEP ON-SITE PAVED AREAS AND OFF-SITE STREETS AS NECESSARY TO PREVENT SILT AND DEBRIS ORIGINATING ON SITE FROM ENTERING CLOSED DRAINAGE SYSTEMS AND / OR ENVIRONMENTALLY SENSITIVE AREAS.

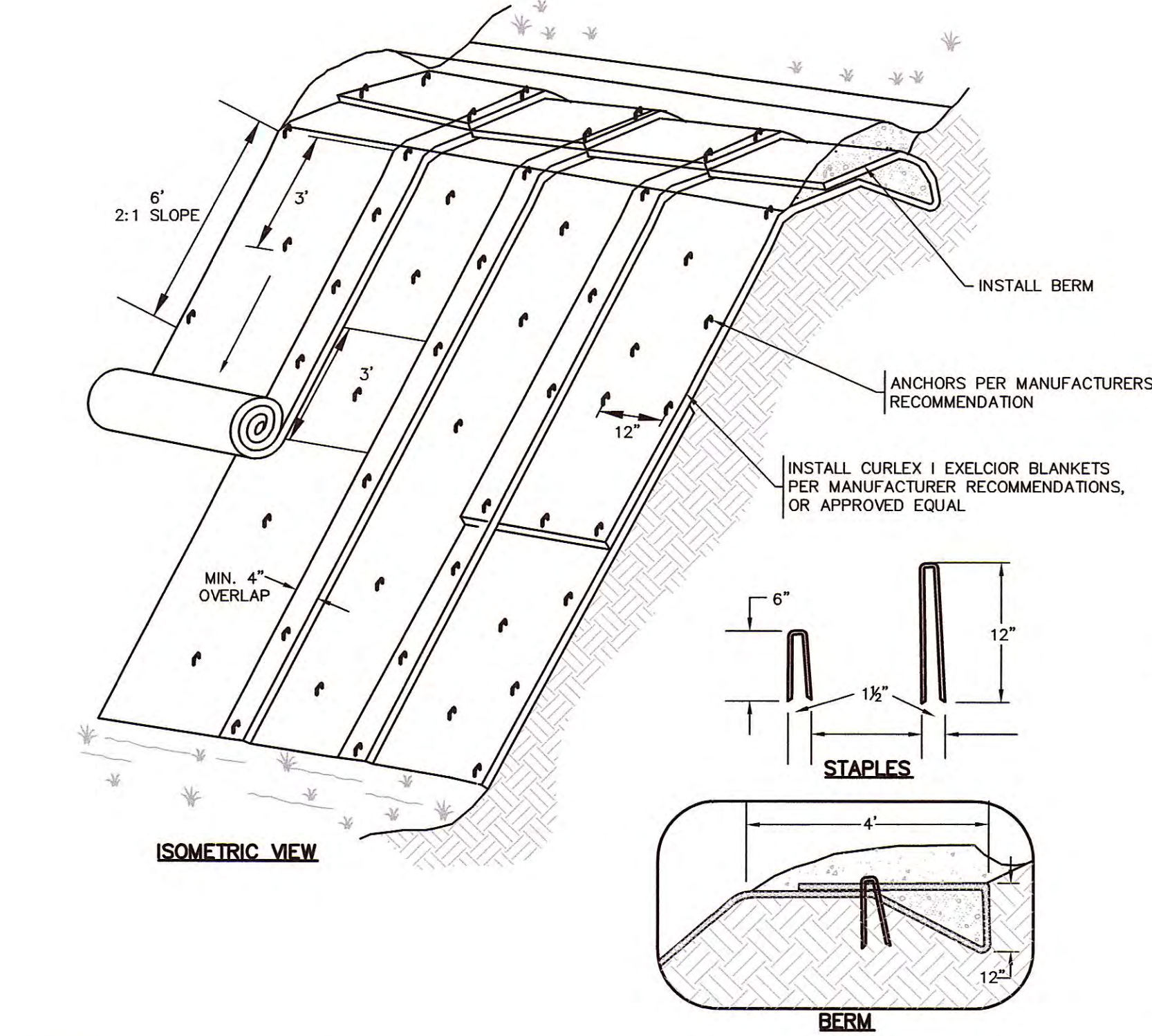


FILL PROCEDURE  
SLOPE PROFILES  
NOT TO SCALE

- 3.02 SITE PREPARATION AND ACCESS
- A. WALK SITE AND IDENTIFY LOCATIONS OF LIMIT OF WORK AND ENVIRONMENTALLY SENSITIVE AREAS. ESTABLISH CONSTRUCTION STAGING AREA, LOCATED BEYOND ENVIRONMENTALLY SENSITIVE AREAS.
- B. INSTALL CONTROL MEASURES AS SHOWN ON THE DRAWINGS, INCLUDING THOSE DEFINING THE LIMIT OF WORK.
- C. LIMIT VEHICULAR TRAFFIC TO AND FROM SITE TO MINIMIZE TRANSPORT OF SEDIMENT.
- 3.03 CLEARING, GRUBBING, AND STRIPPING
- A. SCHEDULE GRUBBING AND STRIPPING TO OCCUR IMMEDIATELY PRIOR TO EARTH DISTURBANCE. DEPENDING ON SITE AREA, CONSIDER MULTIPLE GRUBBING PHASES, SEQUENCED TO TAKE ADVANTAGE OF THE EROSION PREVENTION POTENTIAL OF EXISTING VEGETATIVE COVER.
- B. MINIMIZE THE AREA OF EXISTING VEGETATION REMOVED WHEREVER POSSIBLE.
- C. LOCATE AND SIZE STOCKPILES TO MINIMIZE EROSION POTENTIAL, TAKING ADVANTAGE OF TERRAIN SLOPE AND ASPECT, WHERE APPROPRIATE.
- D. PROTECT VEGETATION, INCLUDING ROOT SYSTEMS, BEYOND LIMIT OF CLEARING.
- E. PROCESS TIMBER, STUMPS, SLASH, AND BRUSH SO AS TO PROTECT ENVIRONMENTALLY SENSITIVE AREAS AND INSTALLED CONTROL MEASURES. PROPERLY DISPOSE OF EXCESS OFF SITE. BURIAL OF STUMPS ON SITE IS PROHIBITED.
- 3.04 EXCAVATION FOR BUILDING FOUNDATIONS AND UTILITIES
- A. DEVISE AND INSTALL CONTROL MEASURES ADEQUATE TO HANDLE DISCHARGES AND TRAP SEDIMENT FROM FOOTING SUMP AND WELL POINT PUMPS PRIOR TO EXCAVATION.
- B. ARMOR SUMP PUMP DISCHARGE LOCATIONS TO PREVENT EROSION AT POINT OF DISCHARGE AND AREAS DOWNSTREAM.
- C. IF FOUNDATION EXCAVATIONS GRADE TO DAYLIGHT ON THE LOW SIDE, DEVISE AND INSTALL CONTROL MEASURES TO HANDLE SURFACE AND GROUNDWATER FLOW FROM EXCAVATION LOW POINT.
- D. STOCKPILE EXCAVATED MATERIALS TO BAFFLE OVERLAND RUNOFF, AVOIDING THE CREATION OF LENGTHY PATHS OF CONCENTRATED RUNOFF.
- E. BACKFILL UTILITY TRENCHES AS SOON AS PRACTICABLE TO PREVENT FLOODING, SLOUGHING, POTENTIAL OVERFLOW, AND REPETITIVE EARTH DISTURBANCE.

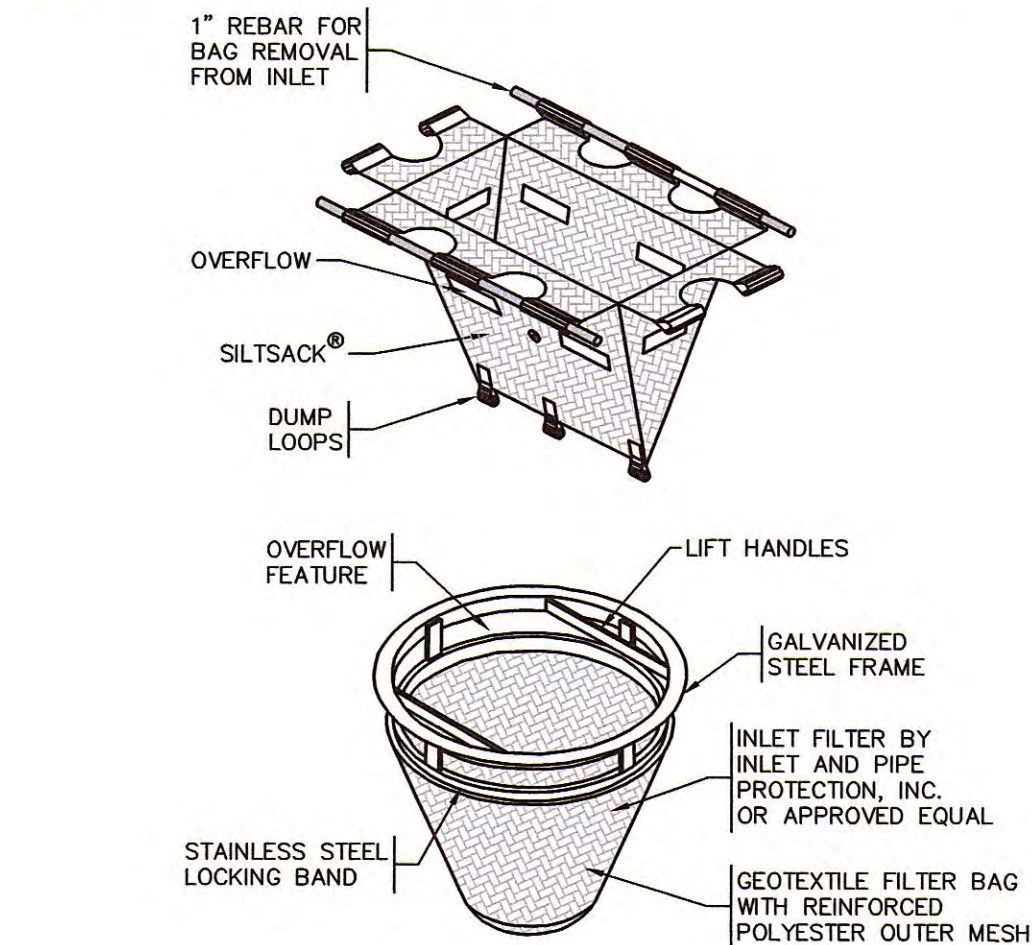
- 3.05 SITE GRADING
- A. WHERE APPLICABLE, FOLLOW EXCAVATION AND FILL PRACTICES SHOWN ON DRAWINGS TO LOCALIZE AND MINIMIZE EROSION.
- B. MONITOR SEDIMENT VOLUME IN TEMPORARY SEDIMENT BASINS AND AT DIVERSION BERMS AND CHECK DAMS IN ALL AREAS EXCEPT THOSE THAT DO NOT PRESENT POTENTIAL PROBLEMS WITH REGARD TO FUTURE SOIL STABILITY, DRAINAGE, OR BEARING CAPACITY. REMOVE AND PROPERLY DISPOSE OF TRAPPED SEDIMENT BEFORE BRINGING SITE TO FINAL SUBGRADE.
- 3.06 STORMWATER MANAGEMENT SYSTEM
- A. THE STORMWATER MANAGEMENT SYSTEM INCLUDES, BUT IS NOT NECESSARILY LIMITED TO, ALL PERMANENT DETENTION / RETENTION BASINS, DISCHARGE STRUCTURES / WEIRS, CULVERTS, OPEN CHANNELS, CURBS, GUTTERS, PAVED SWALES, CATCH BASINS, DRAIN MANHOLES, DRAINAGE PIPES, ROOF DRAIN MANIFOLDS, WATER QUALITY SWALES, SEPARATORS, AND SIMILAR STORMWATER RUNOFF CONVEYANCE, TREATMENT, AND STORAGE FACILITIES.
- B. INSTALL STORMWATER MANAGEMENT SYSTEM COMPONENTS STARTING AT THE DOWNSTREAM END AND PROCEED UPSTREAM, WHERE POSSIBLE, COMPLETE INSTALLATION OF PERMANENT DETENTION / RETENTION BASINS PRIOR TO BEGINNING WORK ON UPSTREAM SYSTEM COMPONENTS.
- C. INSTALL CONTROL MEASURES AT FINISHED UPSTREAM AND DOWNSTREAM PIPE ENDS AS SOON AS POSSIBLE AFTER COMPLETION OF PIPE RUN. SUCH MEASURES INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, RIPRAP, CHECK DAMS, HAY BALE / SILT FENCE BARRIERS, AND VELOCITY DISSIPATORS.
- D. AT THE END OF EACH DAY OR WHEN RAINFALL IS EXPECTED, PLUG UPSTREAM END OF PIPES / DAM OPEN CHANNELS OR OTHERWISE REDIRECT POTENTIAL RUNOFF AND PREVENT FLOW FROM ENTERING PARTIALLY COMPLETED SYSTEM / SYSTEM COMPONENTS.
- E. WHERE PORTIONS OF A NEW SYSTEM ARE TO BE ACTIVATED PRIOR TO COMPLETION OF THE ENTIRE SYSTEM, EMPLOY CONTROL MEASURES TO PREVENT SILT AND DEBRIS FROM ENTERING THE SYSTEM. EMPLOY SILT SACKS OR FABRIC ON CATCH BASIN INLETS, AND PIPE AND CULVERT OPENINGS. EMPLOY CHECK DAMS AND TEMPORARY SEDIMENT BASINS UPSTREAM OF AND ALONG OPEN CHANNELS, SWALES, AND DITCHES TO TRAP SEDIMENT UPGRADIENT OF ENVIRONMENTALLY SENSITIVE AREAS.
- F. REMOVE TRAPPED SEDIMENT AND DEBRIS FROM ALL SYSTEM COMPONENTS AFTER COMPLETION OF INSTALLATION, AND AGAIN AFTER THE ENTIRE SITE IS PERMANENTLY STABILIZED BY ESTABLISHED VEGETATION, FINISH LANDSCAPE MATERIALS, PAVED SURFACES, AND/OR ROOF AREA. REMOVE TRAPPED SEDIMENT AND DEBRIS FROM DETENTION / RETENTION BASIN BOTTOMS SO THAT FINISH BOTTOM MATERIALS / INFILTRATION FUNCTION CONFORM TO DESIGN.

- 3.07 LANDSCAPING
- A. COMPLETE LANDSCAPING AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL SUBGRADE.
- B. IMMEDIATELY AFTER PLACEMENT OF TOPSOIL, STABILIZE WITH CONTROL MEASURES INCLUDING, BUT NOT NECESSARILY LIMITED TO, SEED MIX, MULCH, AND / OR BLANKET.



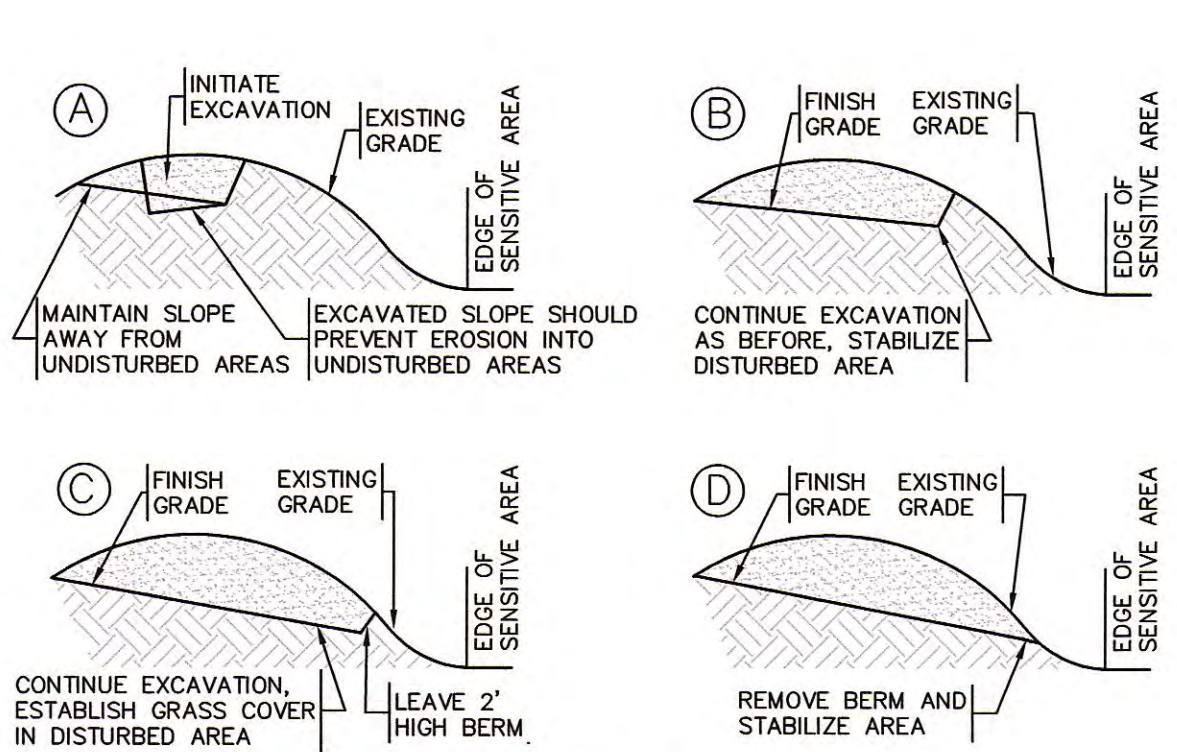
- NOTES:
- [1] SLOPE SURFACE SHALL BE FREE OF ROCK, CLODS, STICKS AND GRASS, MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT
- [2] APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS
- [3] LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH
- [4] MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE
- [5] TAMP SOIL OVER MAT/BLANKET

EROSION BLANKET  
NOT TO SCALE

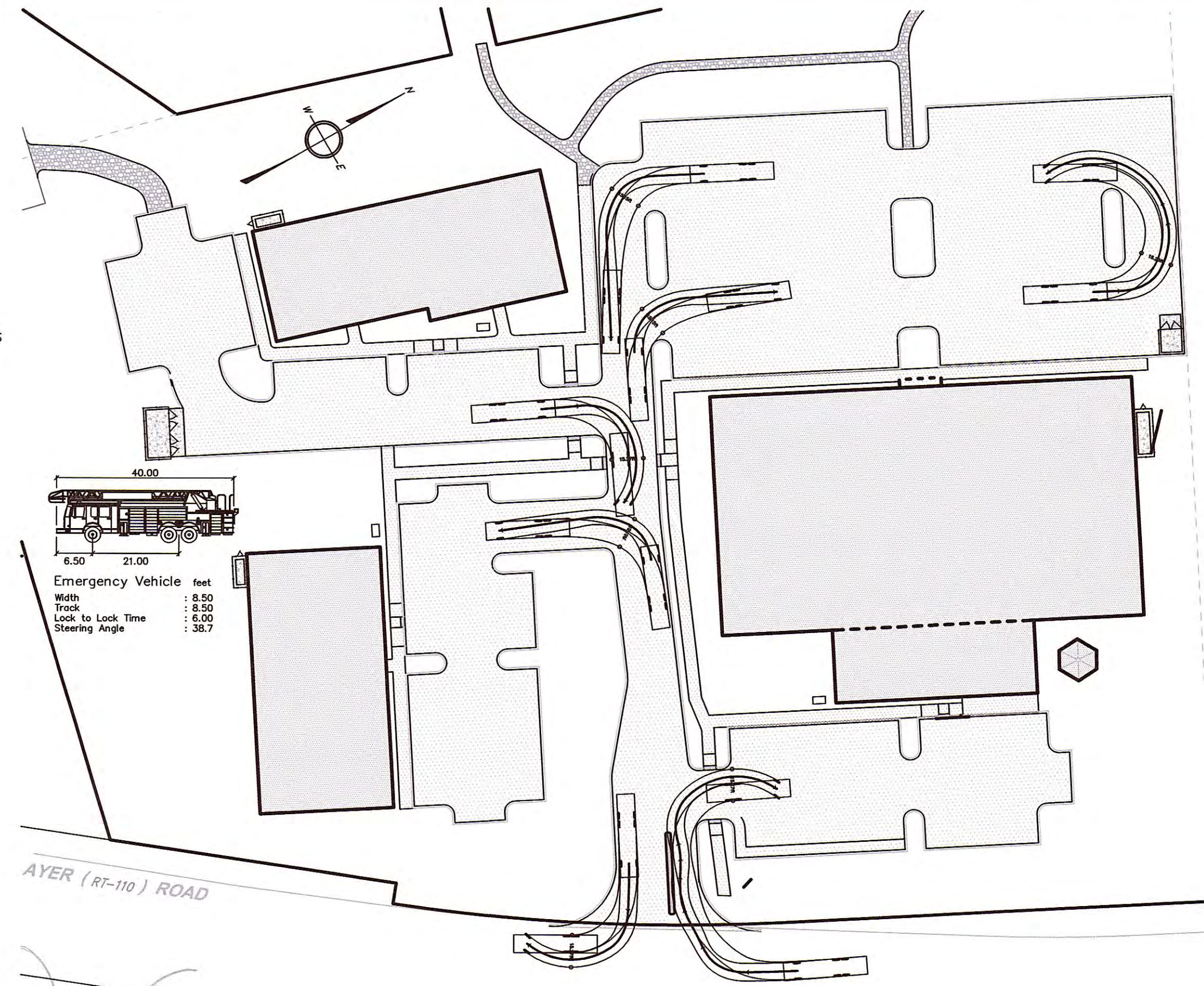


- NOTES:
- [1] CLEAN INLET PROTECTION WHEN 30% FULL
- [2] BURLAP IS NOT AN ACCEPTABLE GEOTEXTILE

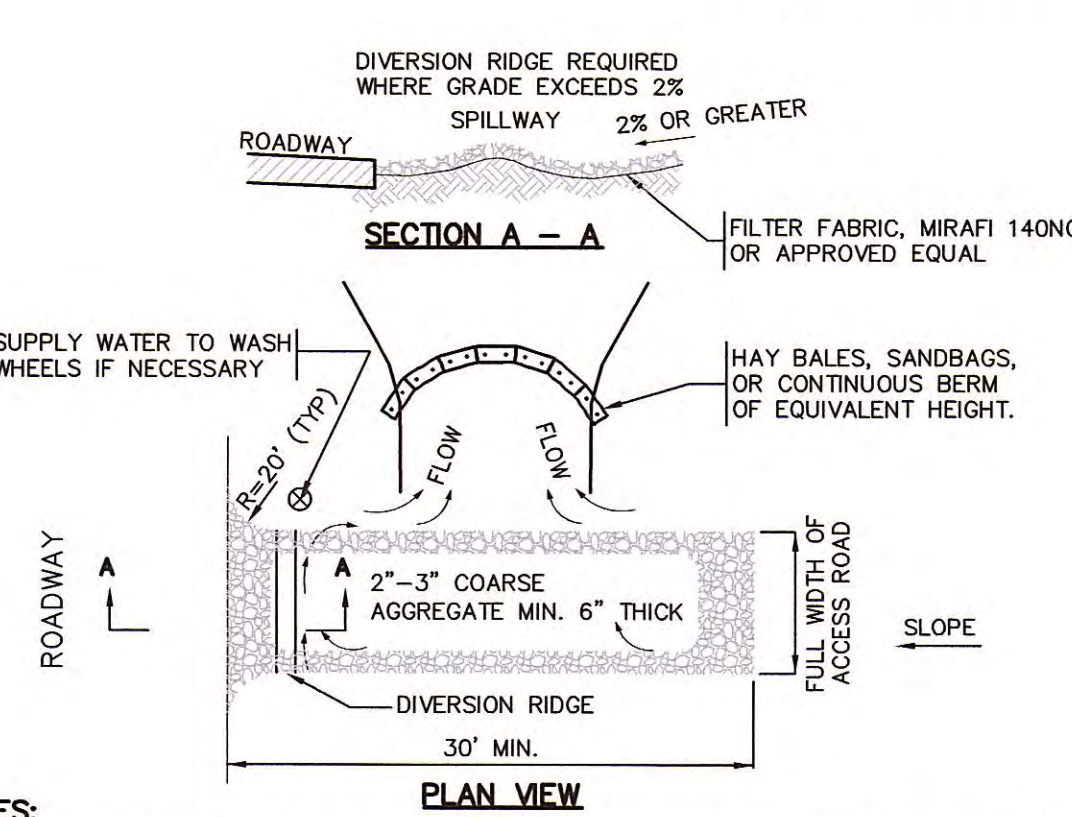
INLET PROTECTION  
TYPICAL CROSS SECTION  
NOT TO SCALE



EXCAVATION PROCEDURE  
TYPICAL CROSS SECTION  
NOT TO SCALE

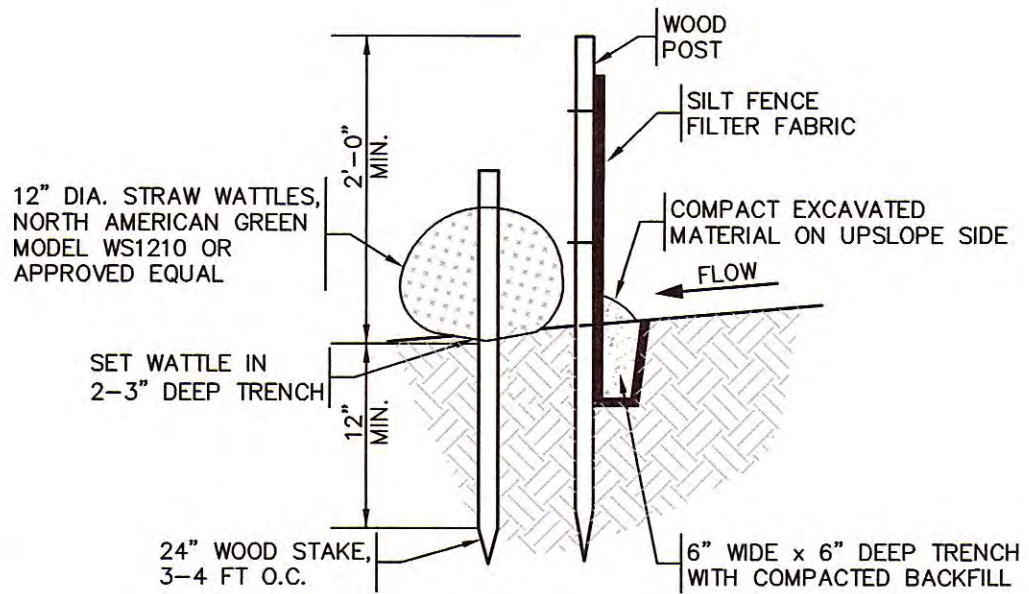


TRUCK TURNING TEMPLATE  
SCALE: 1"=50'



- NOTES:
- [1] THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- [2] WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- [3] WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- [4] USE SANDBAGS, HAY BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

CONSTRUCTION ENTRANCE  
NOT TO SCALE



- NOTES:
- [1] INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
- [2] TRAPPED SEDIMENT SHALL BE REMOVED TO A NON-SENSITIVE UPLAND AREA.

SILT FENCE / STRAW WATTLE BARRIER  
TYPICAL CROSS SECTION  
NOT TO SCALE

DRAWING ISSUED FOR:

- ☐ CONCEPT ☐ CONSTRUCTION
- ☒ PERMIT ☐ CONSTRUCTION RECORD

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EROSION & SEDIMENT CONTROL PLAN

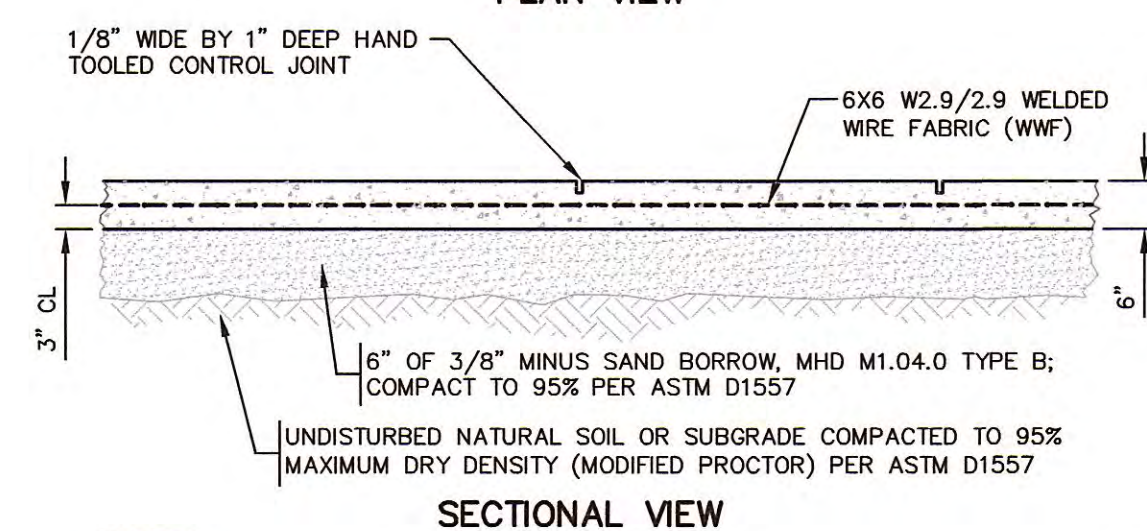
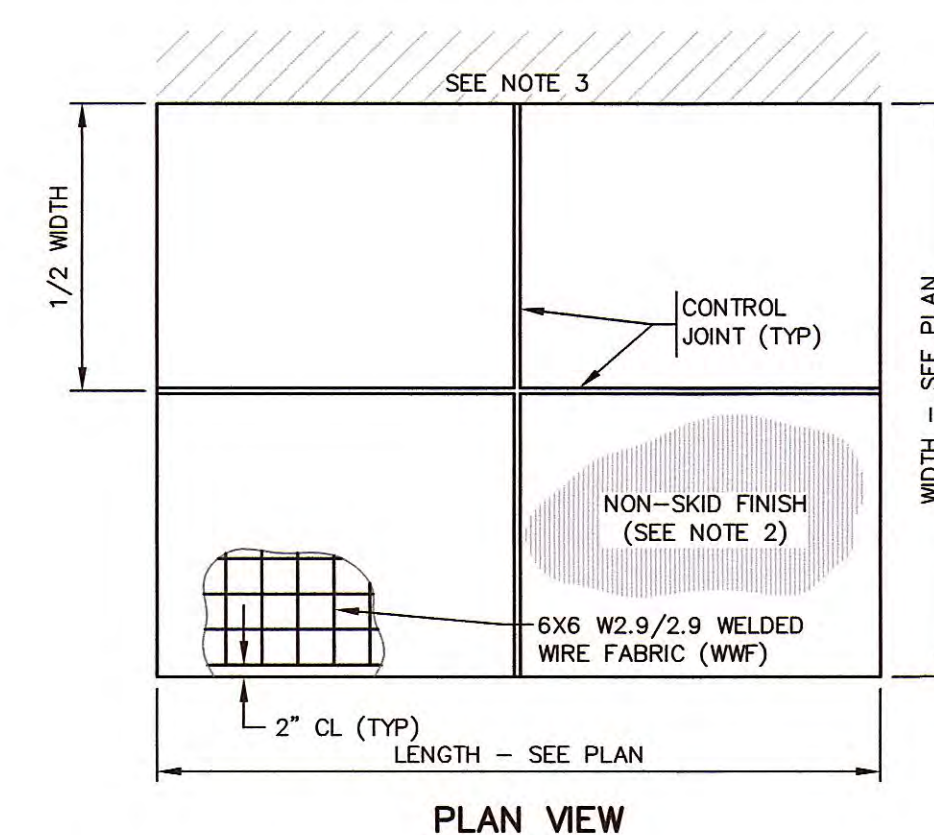
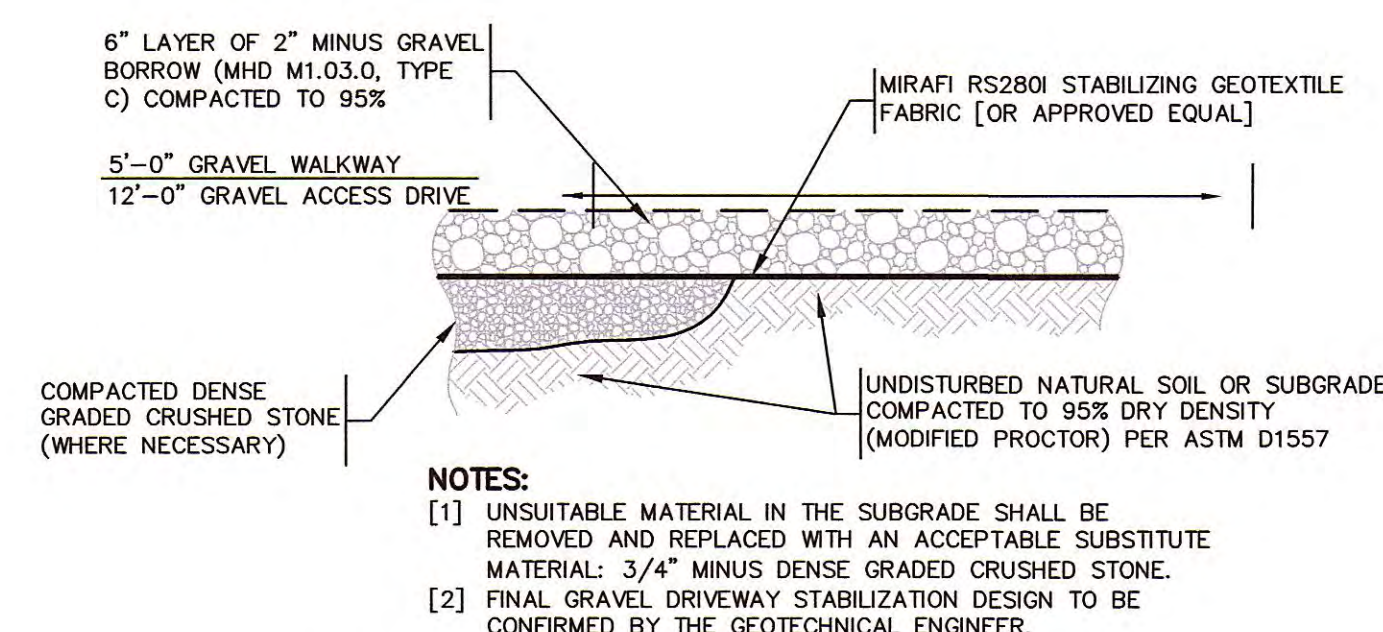
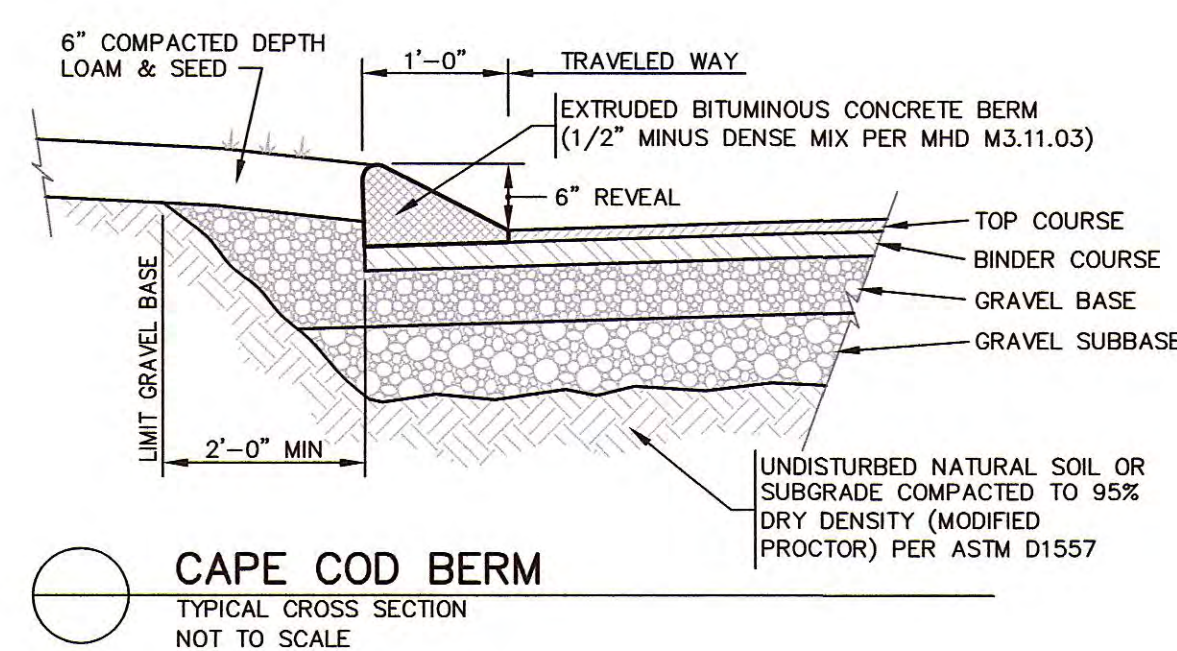
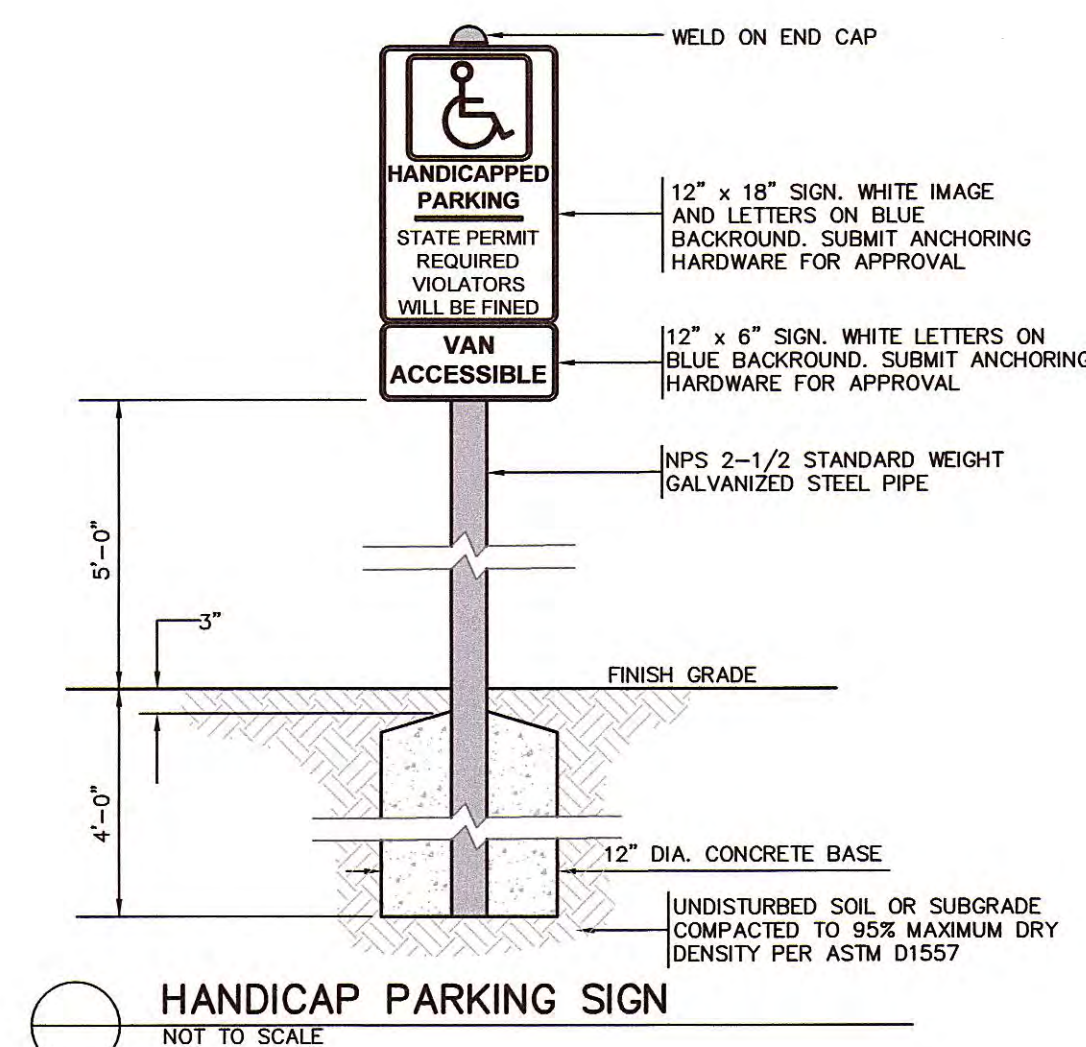
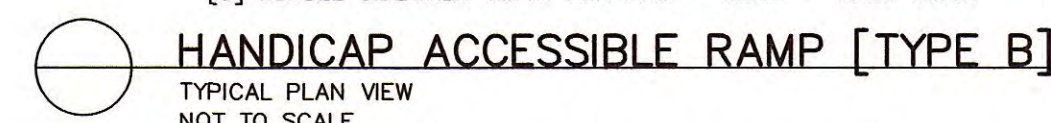
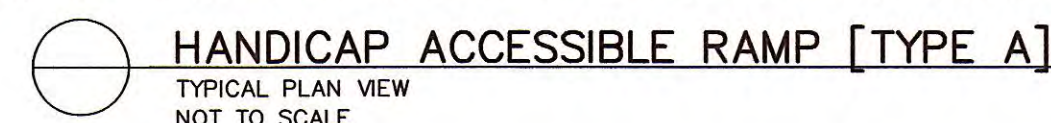
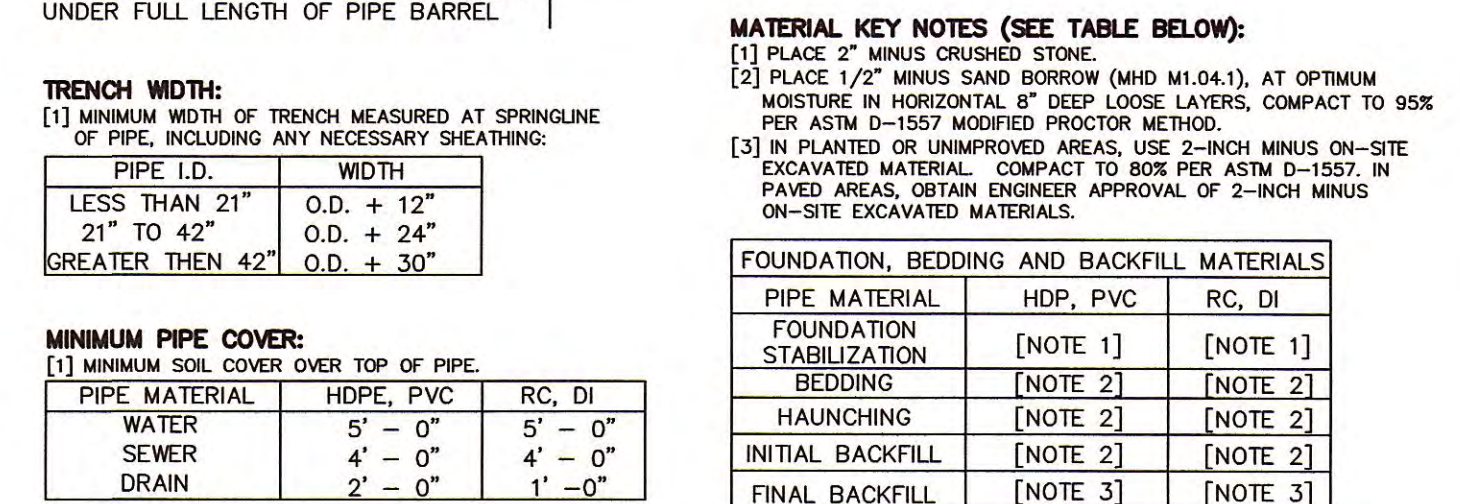
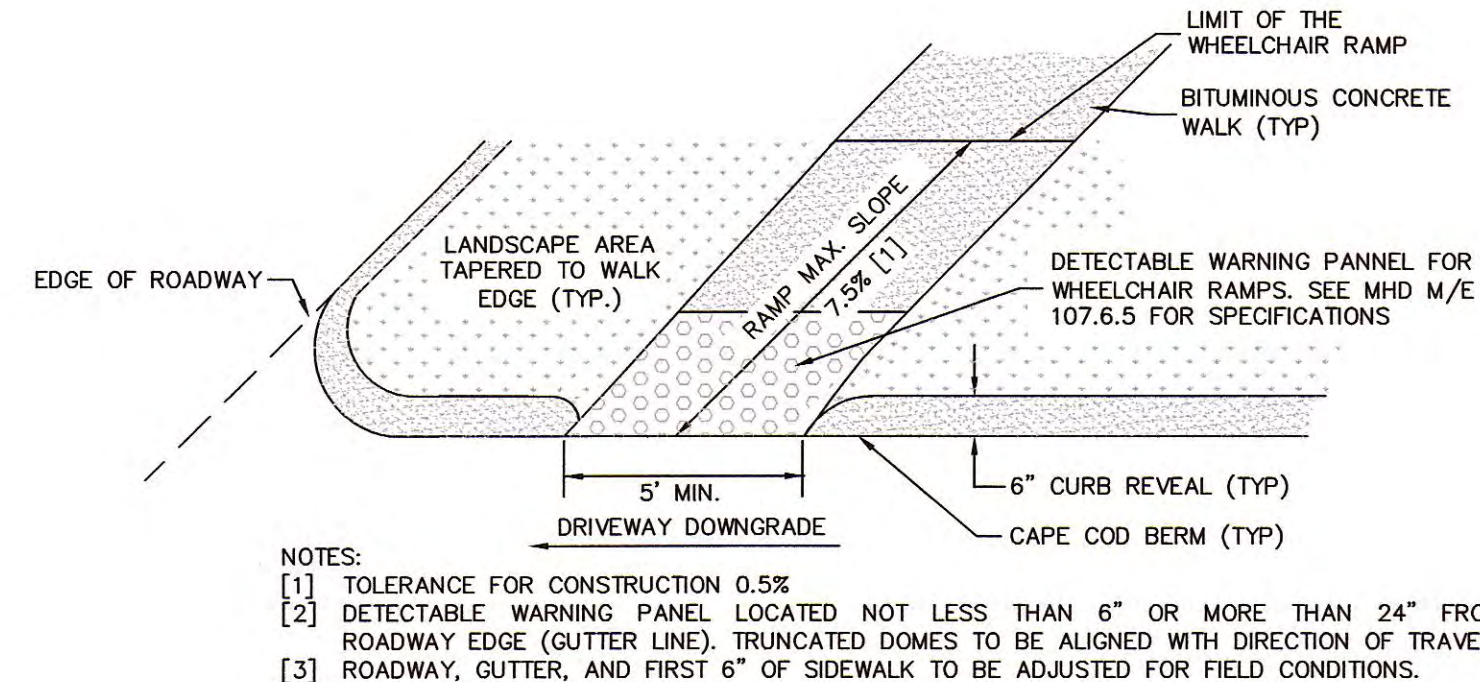
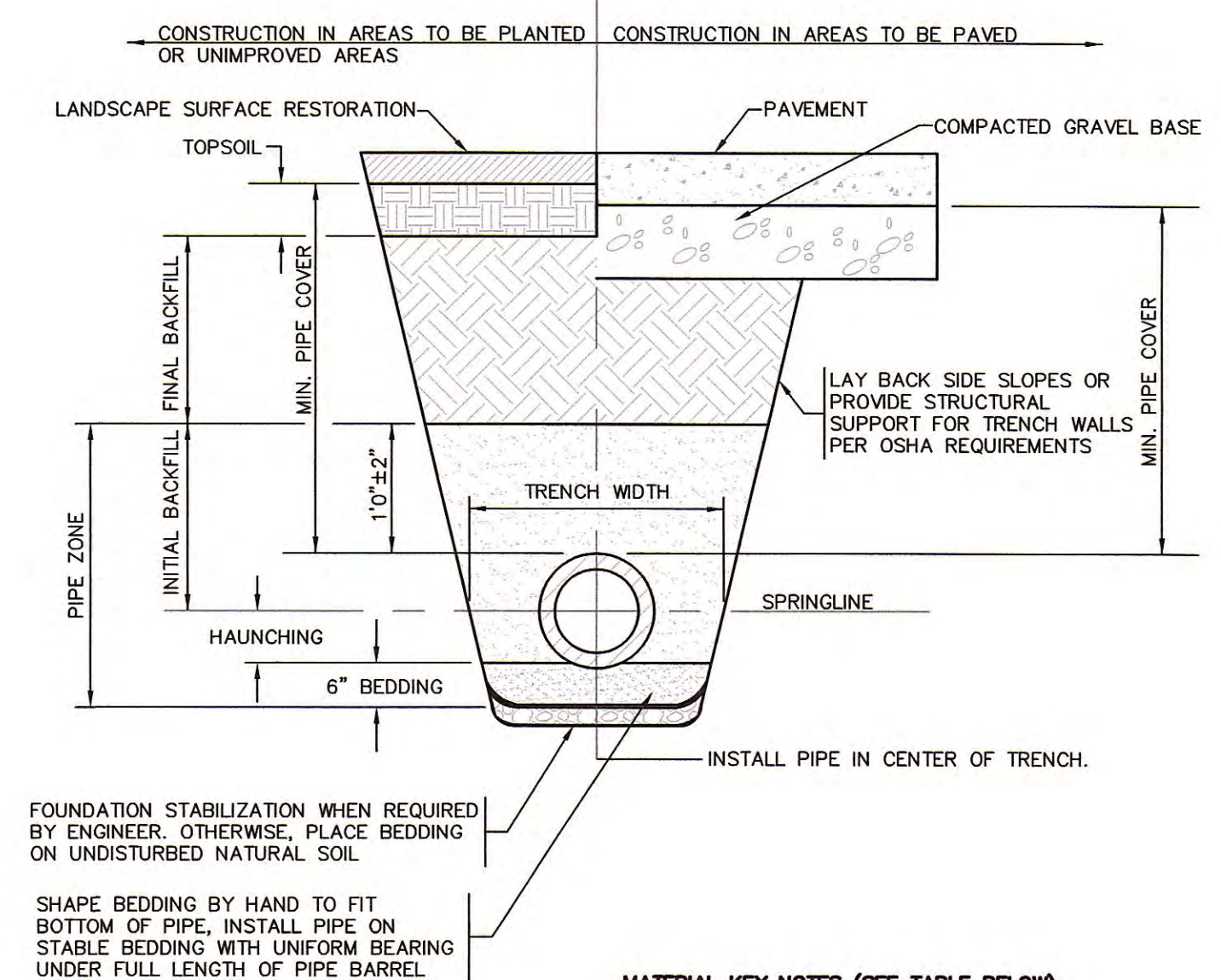
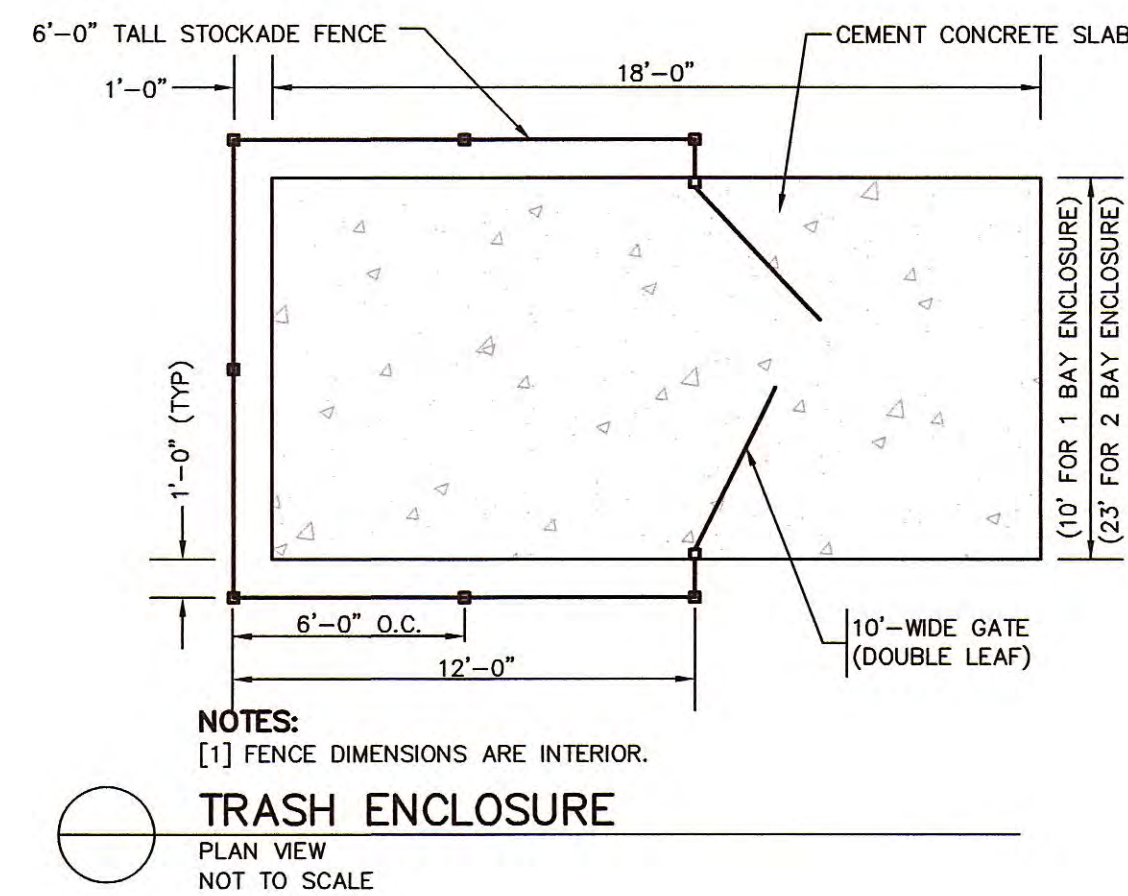
203 AYER ROAD  
HARVARD, MA

PREPARED FOR:  
YVONNE CHERN  
7 GREEN WAY  
WAYLAND, MA 01778

WHEELER REALTY TRUST  
198 AYER ROAD  
HARVARD, MA 01451

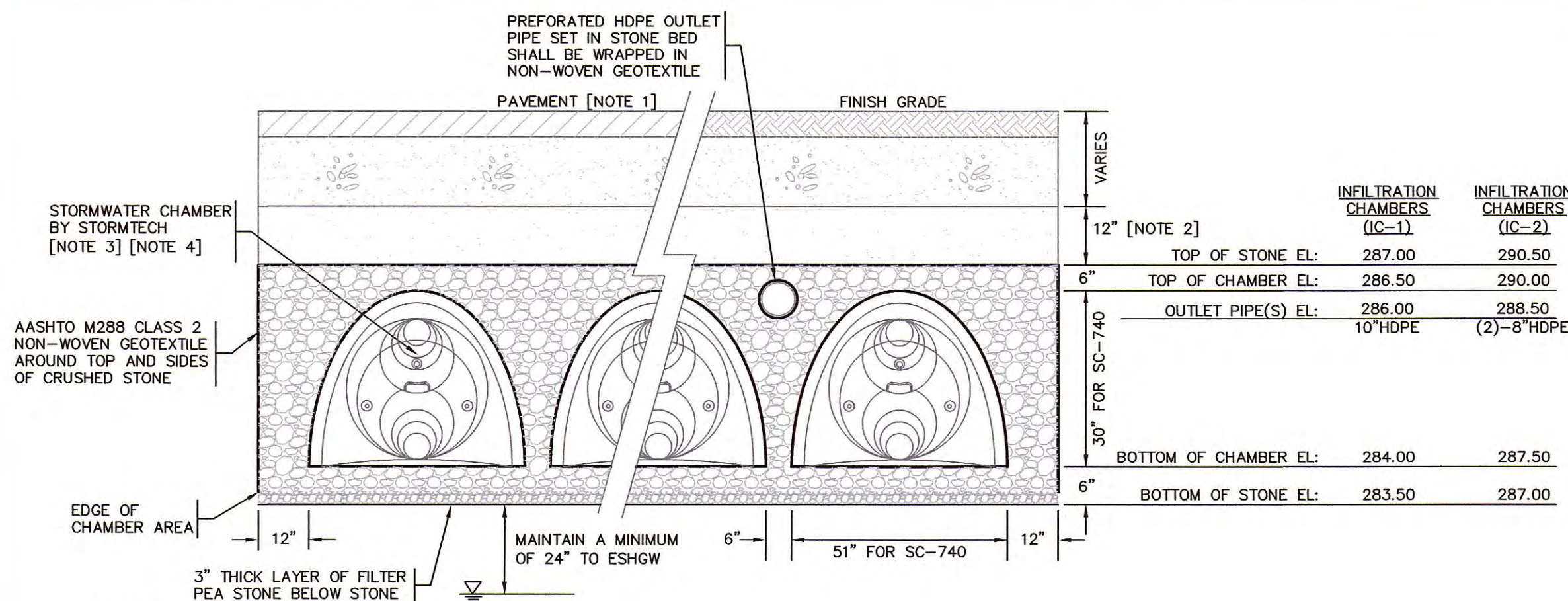
DES. BY: MCL  
CHK. BY: NMP  
DATE: MARCH 2022  
JOB 211009  
C5.1



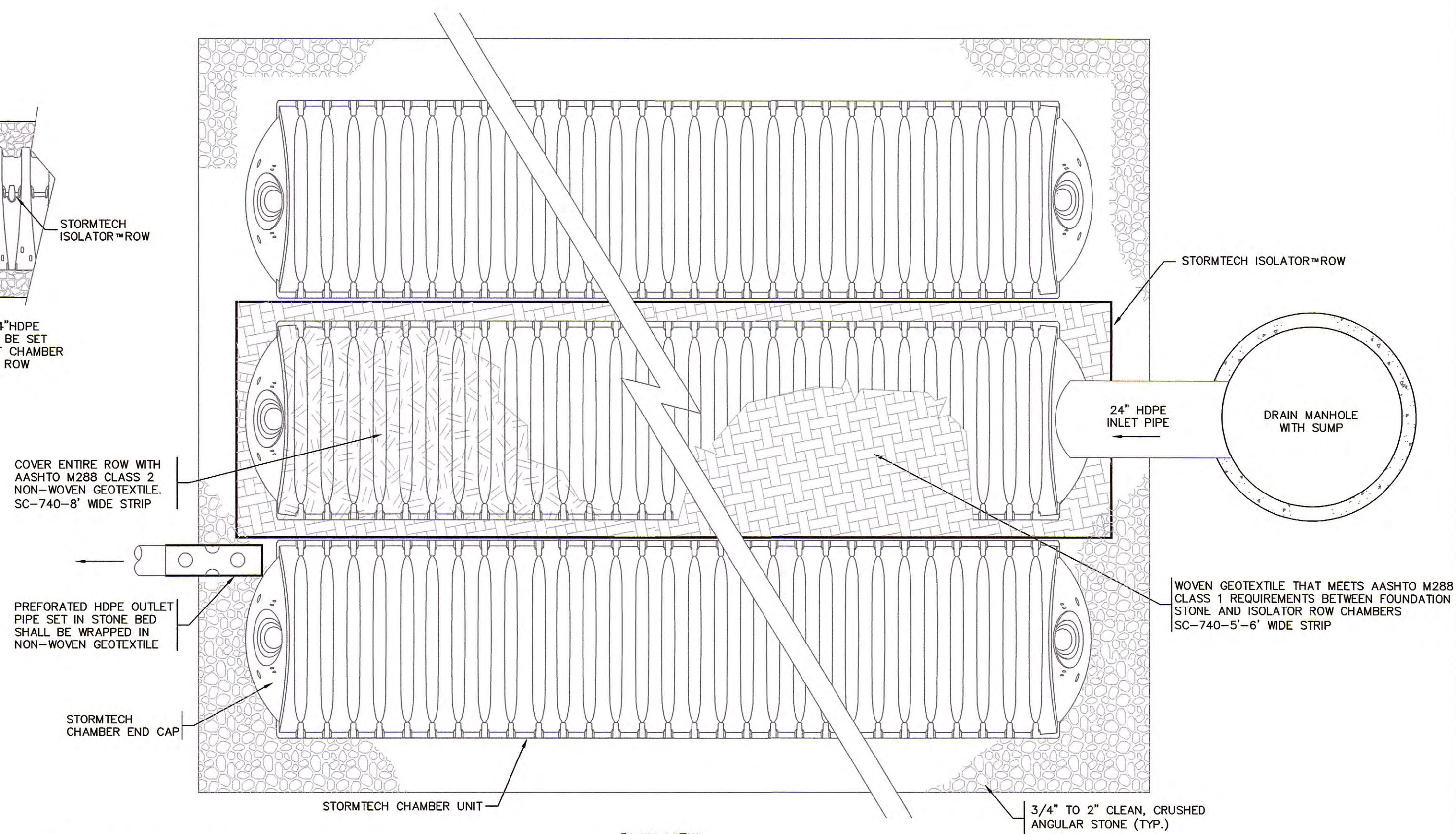
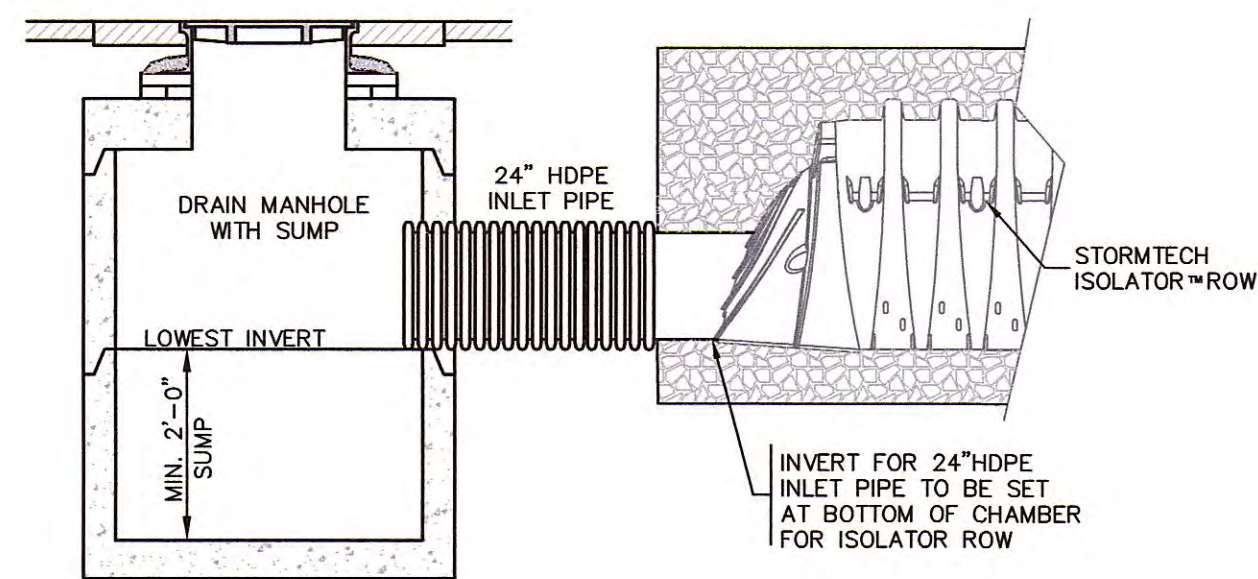


DES. BY: MCL	DATE: MARCH 2022	JOB 211009	C6.1
CHK. BY: NMP			



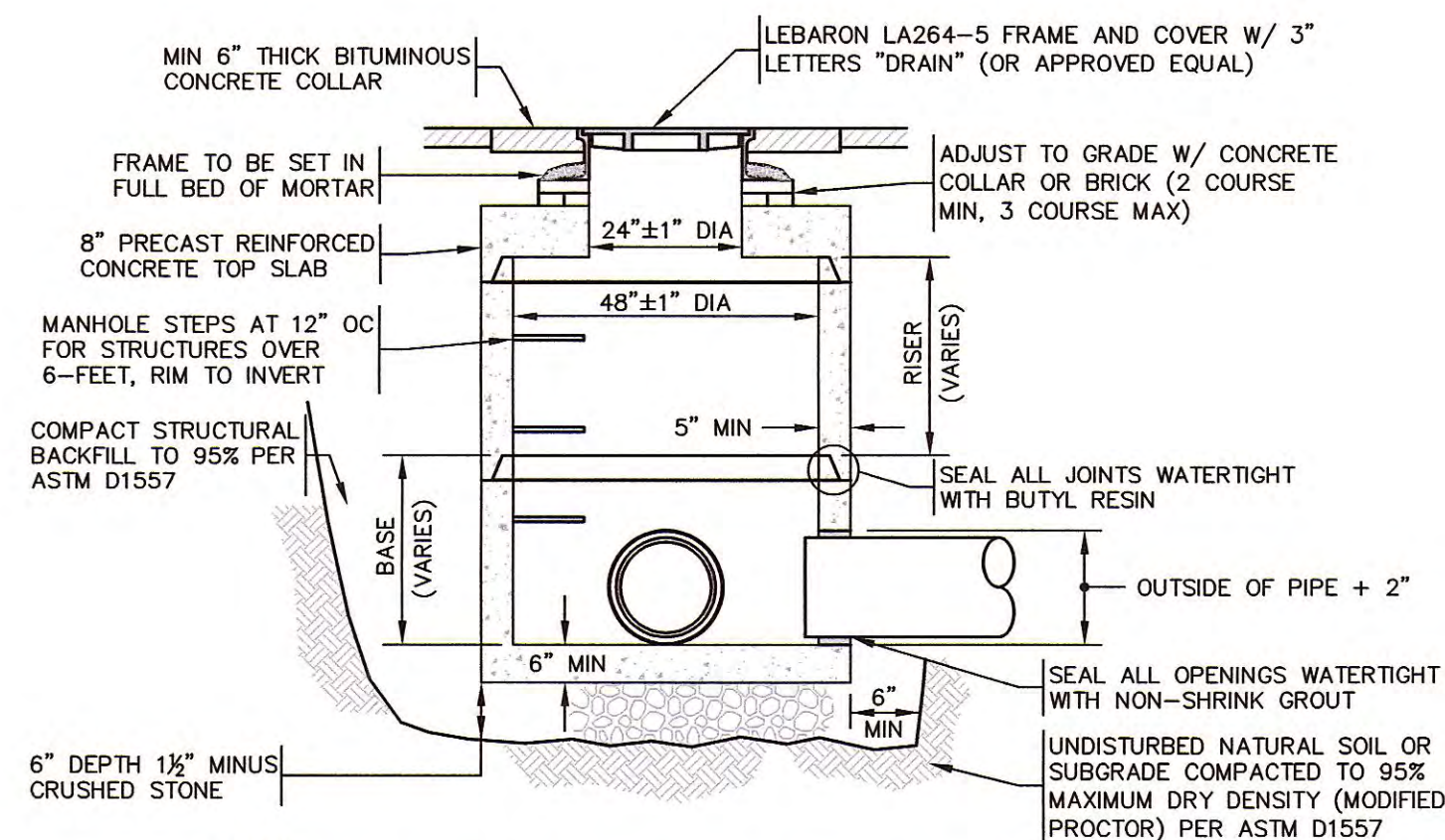
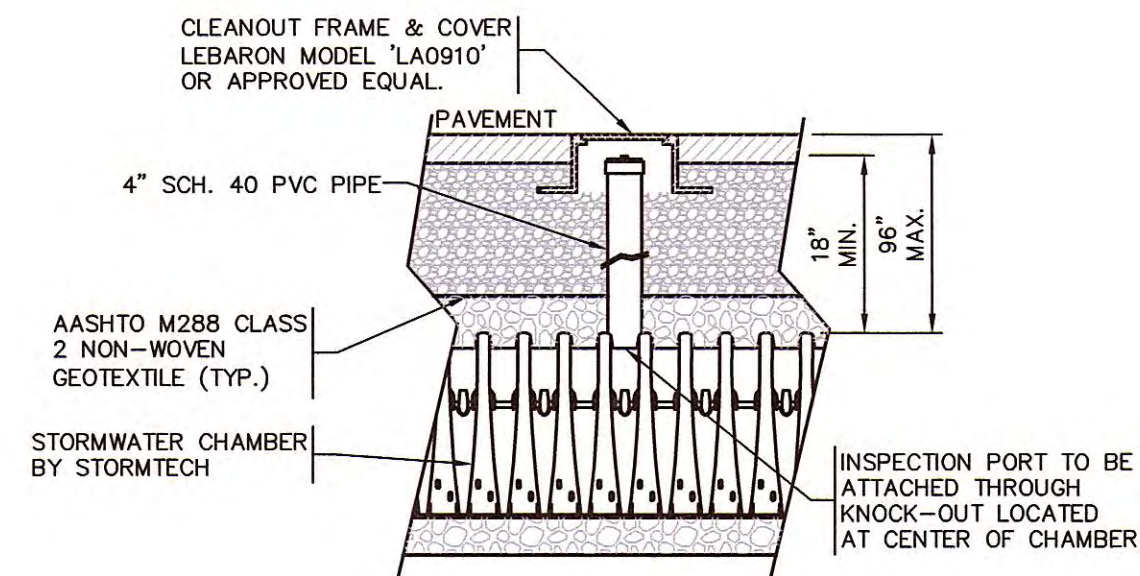


- NOTES:
- SEE BITUMINOUS CONCRETE PAVEMENT DETAIL FOR MATERIALS AND SPECIFICATIONS
  - GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES, COMPACT IN 6" LIFTS TO MINIMUM 95% STANDARD PROCTOR DENSITY.
  - SEE STORMTECH CHAMBER SYSTEMS DESIGN MANUAL FOR MANUFACTURERS SPECIFICATIONS AND MATERIAL SPECIFICATIONS.
  - ALL CHAMBERS MAY NOT BE SHOWN, SEE SITE PLAN FOR NUMBER AND CONFIGURATION.

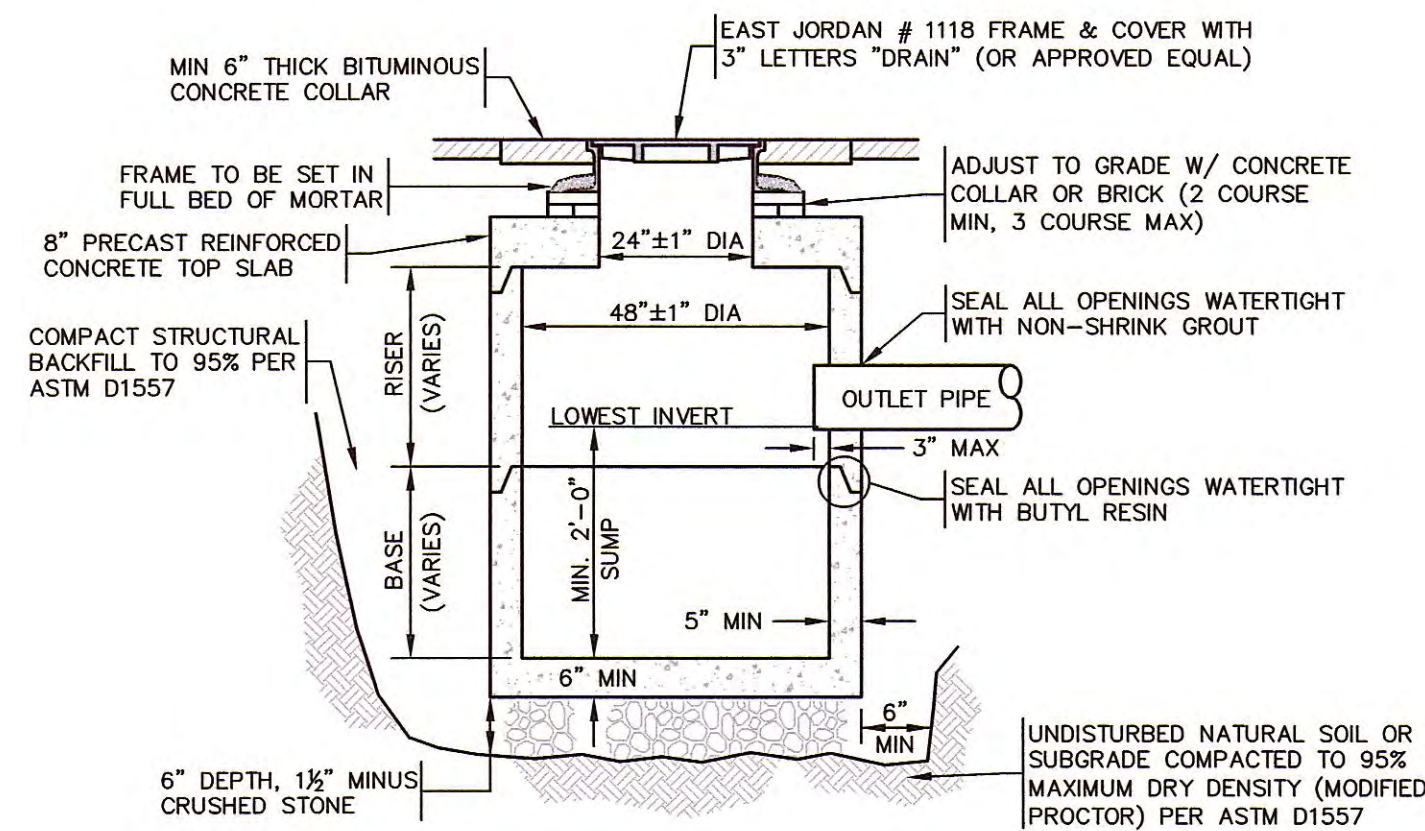


- NOTES:
- SEE SITE PLAN FOR INLET AND OUTLET INVERT ELEVATIONS.
  - ALL CHAMBERS MAY NOT BE SHOWN, SEE SITE PLAN.
  - CONFIGURATION SHOWN MAY NOT BE ACCURATE, SEE SITE PLAN.

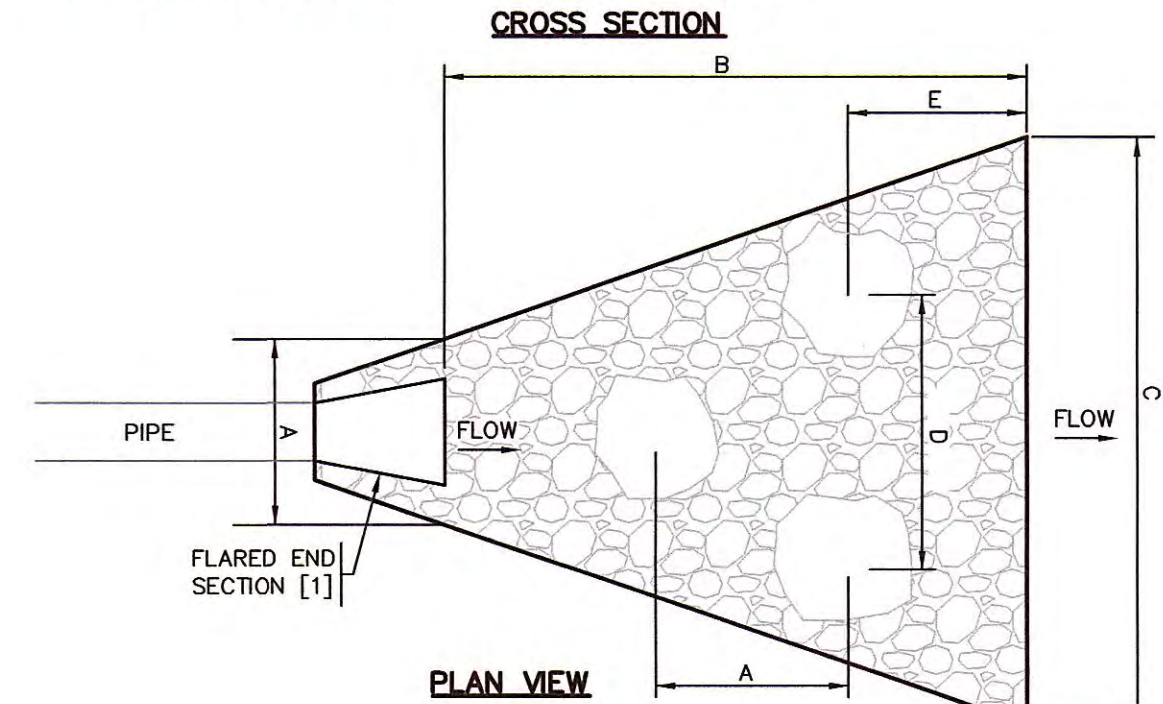
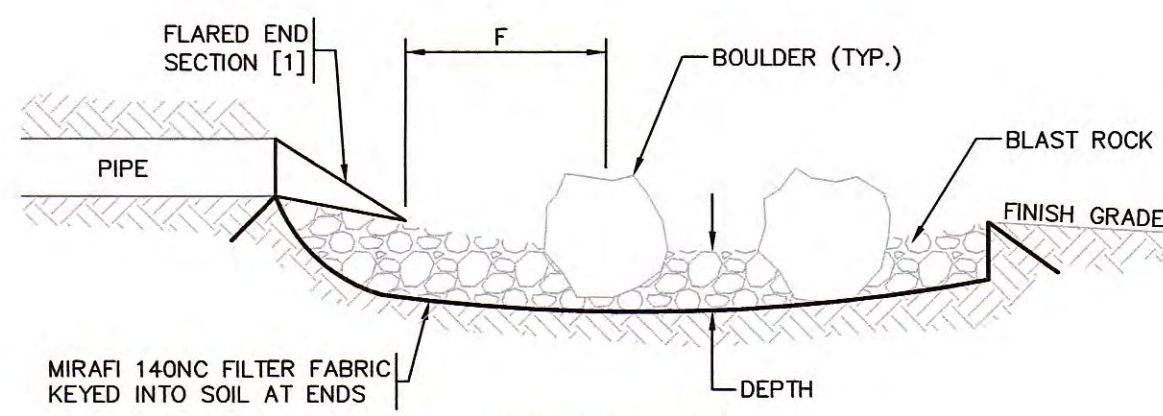
STORMTECH ISOLATOR ROW  
TYPICAL PLAN VIEW  
NOT TO SCALE



- NOTES:
- 4,000 PSI PRECAST CONCRETE AT 28 DAYS CONFORMING WITH LATEST ASTM C478.
  - REINFORCING PER LATEST ASTM A185.
  - STRUCTURE SHALL BE RATED FOR H-20 LOADING UNLESS SPECIFIED OTHERWISE.



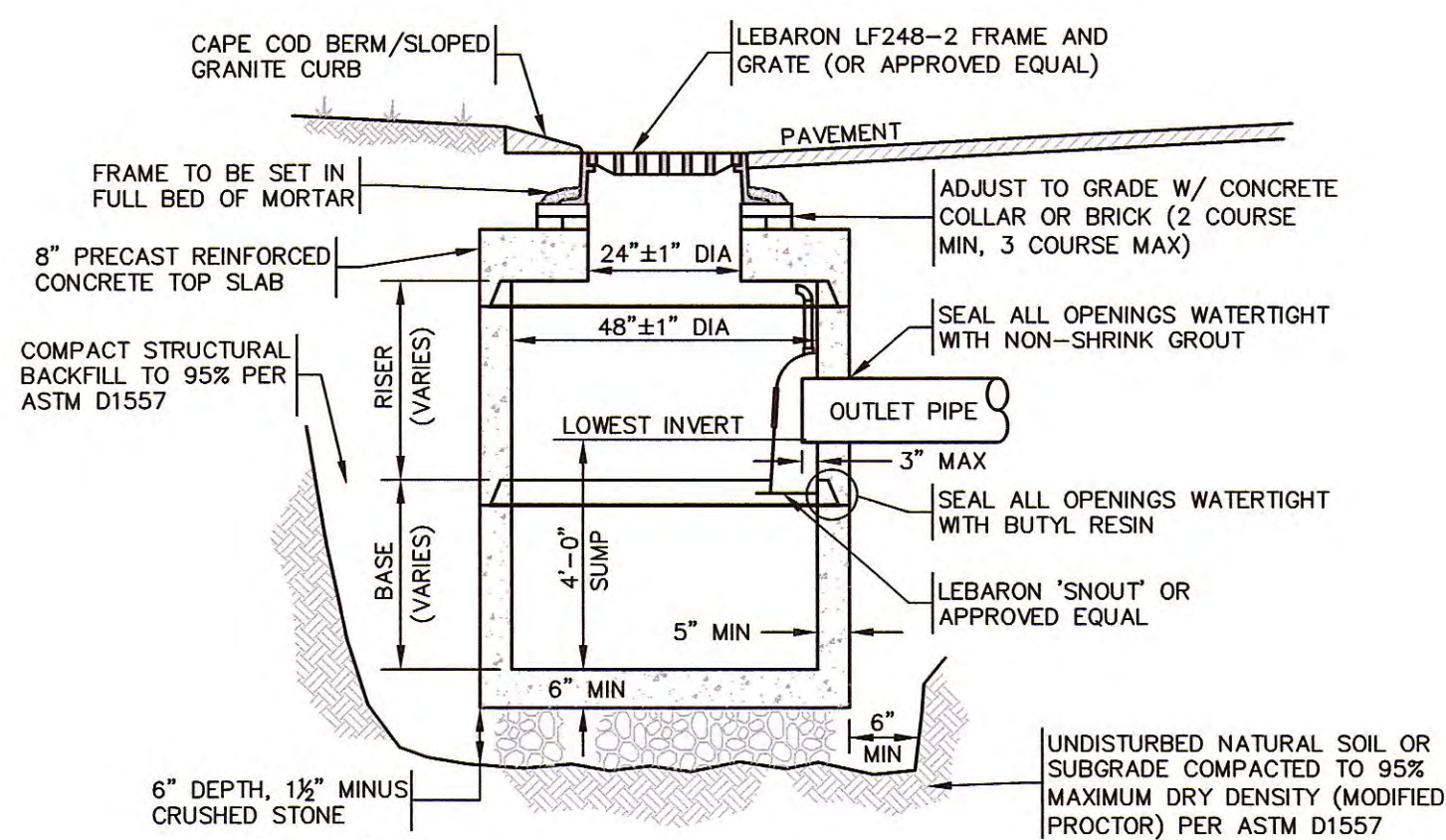
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- 4,000 PSI PRECAST CONCRETE AT 28 DAYS CONFORMING WITH LATEST ASTM C478
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PIPE DIA.	A (FT)	B (FT)	C (FT)	D (FT)	E (FT)	F (FT)	DEPTH (FT)	BLAST ROCK	BOULDER
8 IN.	1.5	4	4.5	[2]	-	-	0.5	6" MINUS	-
12 IN.	3	8	9	4	2	1.5	0.5	6" MINUS	18" - 24"
15 IN.	4	10	11.5	5	2.5	2	0.62	6" MINUS	21" - 30"
18 IN.	4.5	12	13.5	6	3	2.25	0.75	9" MINUS	27" - 36"

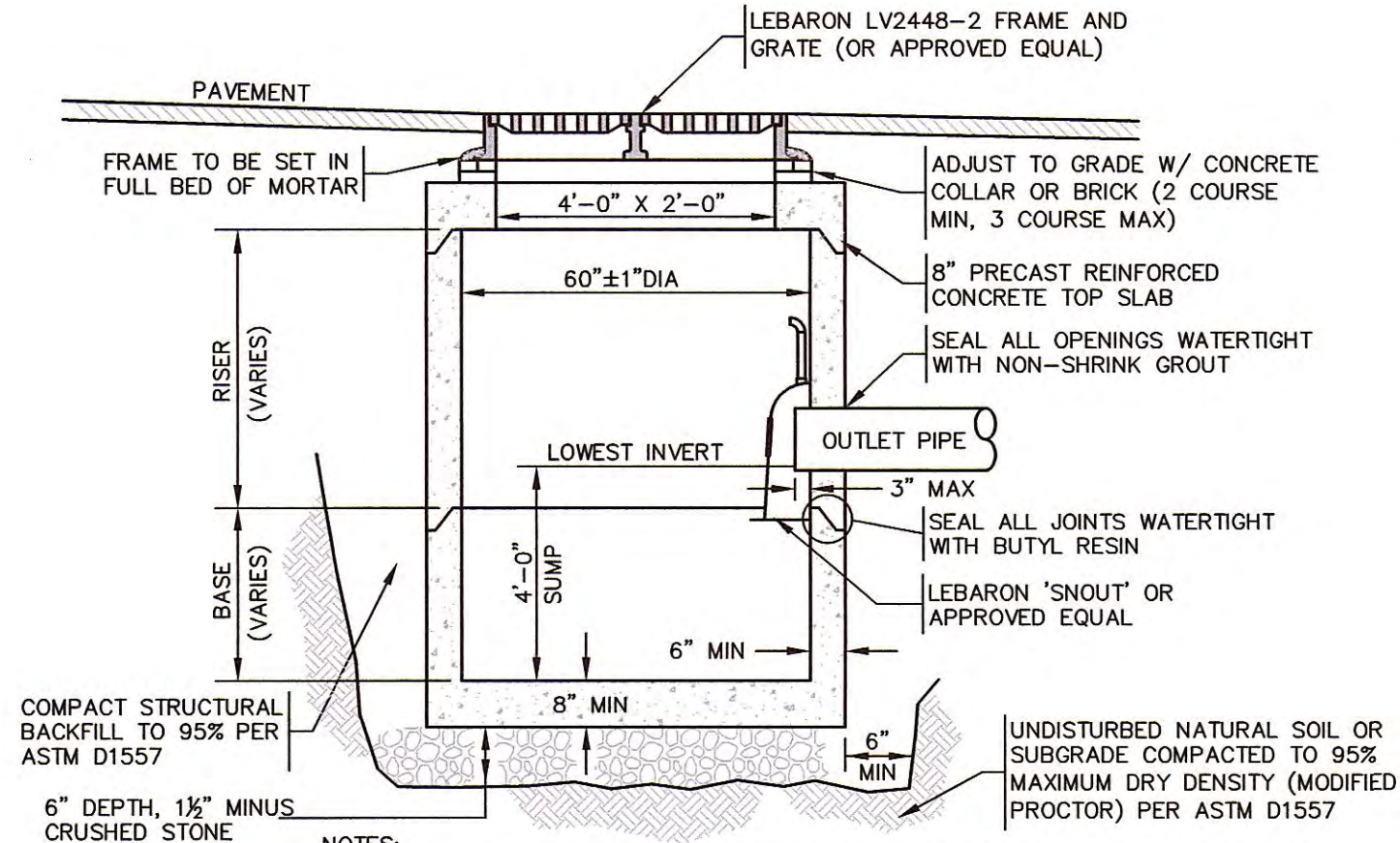
- NOTES:
- INSTALL TRASH RACK OR OTHER MEANS OF PREVENTION ON PIPE OUTLET TO PREVENT UNWANTED ITEMS FROM ENTERING CULVERT.
  - DO NOT PLACE BOULDERS WITHIN LEVEL SPREADER FOR INLET PIPE DIAMETERS LESS THAN 12".

FLARED END SECTION  
NOT TO SCALE



- NOTES:
- 4,000 PSI PRECAST CONCRETE AT 28 DAYS CONFORMING WITH LATEST ASTM C478
  - REINFORCING PER LATEST ASTM A185.
  - STRUCTURE SHALL BE RATED FOR H-20 LOADING UNLESS SPECIFIED OTHERWISE.

CATCH BASIN  
TYPICAL CROSS SECTION  
NOT TO SCALE



- NOTES:
- 4,000 PSI PRECAST CONCRETE AT 28 DAYS CONFORMING WITH LATEST ASTM C478.
  - REINFORCING PER LATEST ASTM A185.
  - STRUCTURE SHALL BE RATED FOR H-20 LOADING UNLESS SPECIFIED OTHERWISE.

DOUBLE GRATE CATCH BASIN (DCB-4)  
TYPICAL CROSS SECTION  
NOT TO SCALE

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WAYLAND, MA 01778

WHEELER REALTY TRUST  
198 AYER ROAD  
HARVARD, MA 01451

DES. BY: MCL	DATE: MARCH 2022	JOB 211009	C6.2
CHK. BY: NMP			



SOIL EVALUATION SUMMARY

SOIL EVALUATOR: LHMJHOT TIV, GPR, INC.  
SOIL EVALUATOR APPROVED ON: NOVEMBER 02, 2021  
WITNESSED BY: UNWITNESSED  
EVALUATION PERFORMED: 01/13/2022

Deep Observation Hole Log					
Hole # 122-1	NB 14/E-31				Surface EL. 301.9
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (MUNSELL)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)
0-12	A	FSL	10YR 3/3		
12-42	C1	S	10YR 5/4	@42"	
42-85	C2	SL	2.5Y 5/3	10YR 6/4 2.5Y 6/2	

Parent Material (geologic) Glacial Till Depth to Bedrock: 85"  
Depth to Groundwater: Standing Water in the Hole None Weeping from Pit Face: None  
Estimated Seasonal High Groundwater in the Hole 42"

Deep Observation Hole Log					
Hole # 122-2	NB 14/E-31				Surface EL. 304.0
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (MUNSELL)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)
0-12	A	FSL	10YR 3/3		
12-50	C1	S	10YR 5/4	@50"	
50-91	C2	SL	2.5Y 5/4	10YR 6/4 2.5Y 6/2	

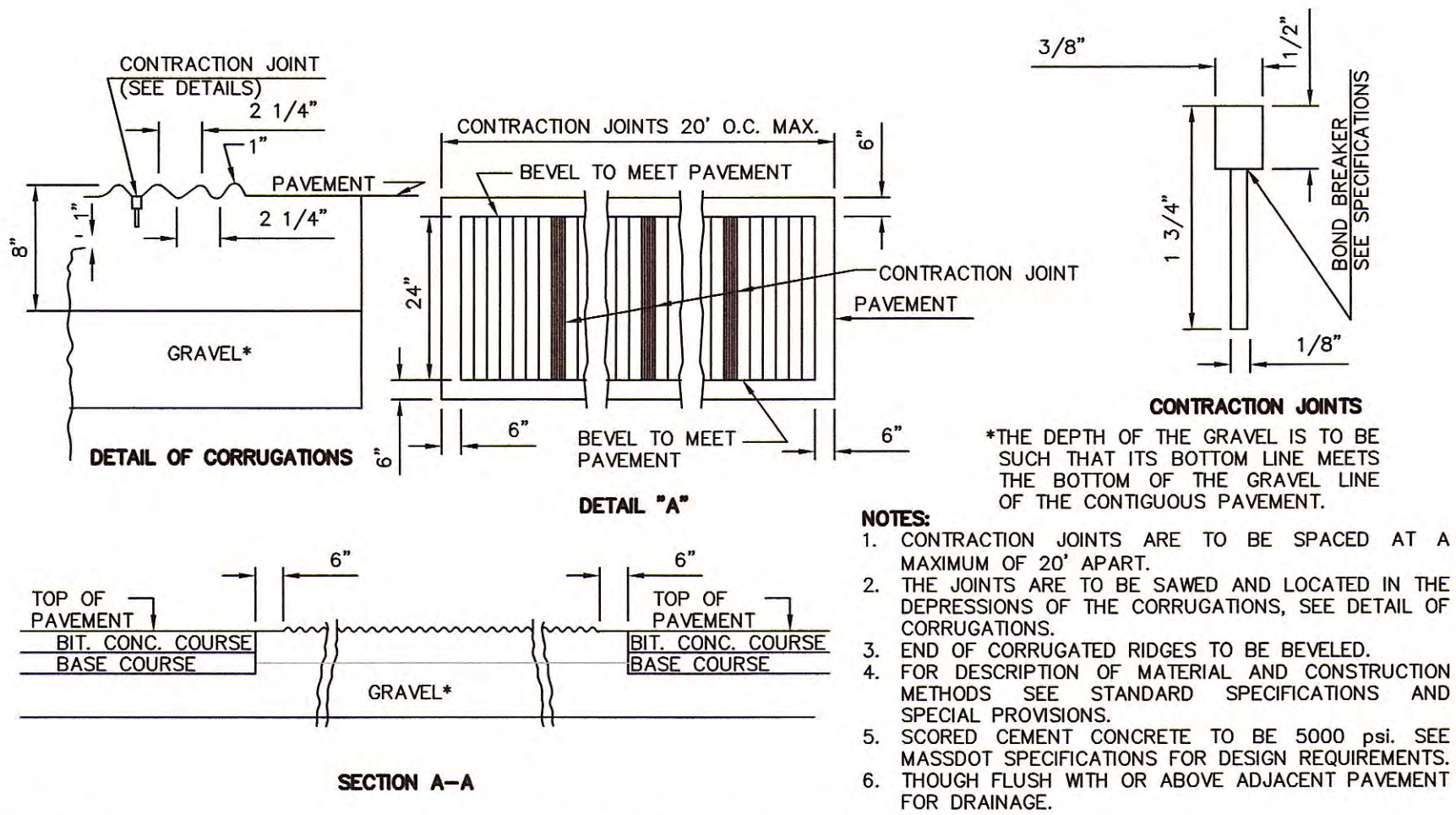
Parent Material (geologic) Glacial Till Depth to Bedrock: >91"  
Depth to Groundwater: Standing Water in the Hole 88" Weeping from Pit Face: 78"  
Estimated Seasonal High Groundwater in the Hole 50"

Deep Observation Hole Log					
Hole # 122-3	NB 14/E-31				Surface EL. 295.4
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (MUNSELL)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)
0-12	A	FSL	10YR 3/3		
12-27	C1	S	10YR 6/4	@24"	
27-102	C2	FSL	2.5Y 5/4	7.5YR 5/6 2.5Y 6/2	

Parent Material (geologic) Glacial Till Depth to Bedrock: >102"  
Depth to Groundwater: Standing Water in the Hole 60" Weeping from Pit Face: 30"  
Estimated Seasonal High Groundwater in the Hole 24"

Deep Observation Hole Log					
Hole # 122-4	NB 14/E-31				Surface EL. 289.4
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (MUNSELL)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)
0-12	A	FSL	10YR 3/3		
12-26	Fill	LS	10YR 6/4		
26-40	Ab	FSL	10YR 4/3		
40-50	C1	FS	2.5Y 6/1	@45"	
50-102	C2	FSL	2.5Y 5/4	7.5YR 5/6 2.5Y 6/2	

Parent Material (geologic) Glacial Till Depth to Bedrock: >102"  
Depth to Groundwater: Standing Water in the Hole 90" Weeping from Pit Face: 48"  
Estimated Seasonal High Groundwater in the Hole 45"



SCORED CEMENT CONCRETE PAVEMENT  
NOT TO SCALE

Deep Observation Hole Log					
Hole # 122-5	NB 14/E-31				Surface EL. 288.3
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (MUNSELL)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)
0-40	Fill	FSL	10YR 3/3		
40-48	C1	S	10YR 5/4	@50"	
48-108	C2	FSL	2.5Y 5/4	7.5YR 5/6 2.5Y 6/2	

Parent Material (geologic) Glacial Till Depth to Bedrock: >108"  
Depth to Groundwater: Standing Water in the Hole 101" Weeping from Pit Face: 52"  
Estimated Seasonal High Groundwater in the Hole 50"

Deep Observation Hole Log					
Hole # 122-6	NB 14/E-31				Surface EL. 281.2
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (MUNSELL)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)
0-15	A	FSL	10YR 3/3	@15"	
15-80	C1	FSL	GLEYS 3/N	7.5YR 5/8	
80-108	C2	FLS	2.5Y 4/3		

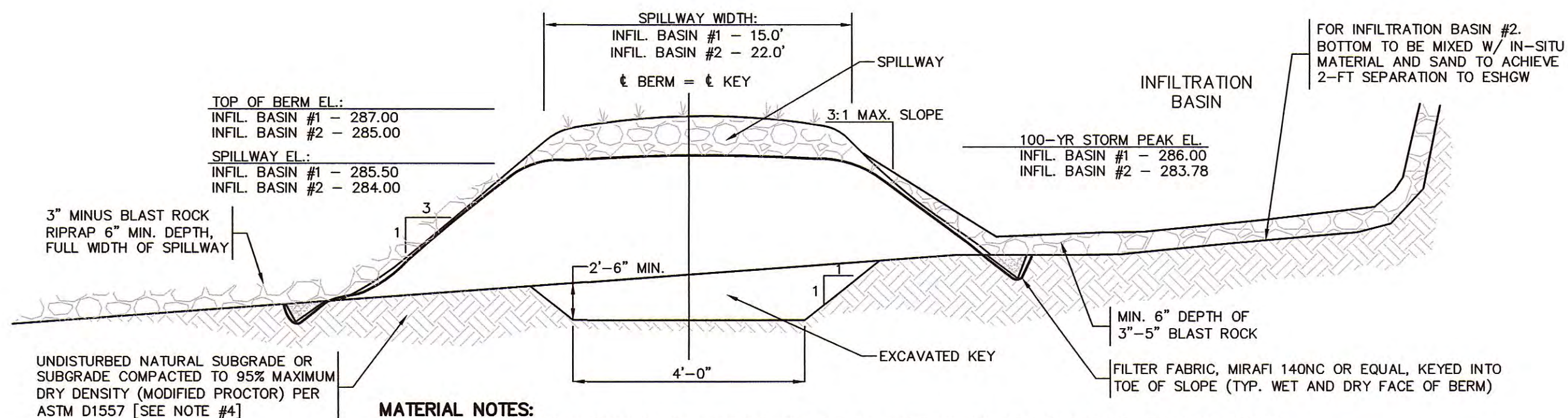
Parent Material (geologic) Glacial Till Depth to Bedrock: >108"  
Depth to Groundwater: Standing Water in the Hole 100" Weeping from Pit Face: 35"  
Estimated Seasonal High Groundwater in the Hole 15"

Deep Observation Hole Log					
Hole # 122-7	NB 14/E-31				Surface EL. 283.8
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (MUNSELL)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)
0-15	A	FSL	7.5YR 2.5/2	@15"	
15-28	C1	S	10YR 4/2	10YR 5/6	
28-99	C2	FSL	GLEYS 3/N		

Parent Material (geologic) Glacial Till Depth to Bedrock: >99"  
Depth to Groundwater: Standing Water in the Hole 80" Weeping from Pit Face: 20"  
Estimated Seasonal High Groundwater in the Hole 15"

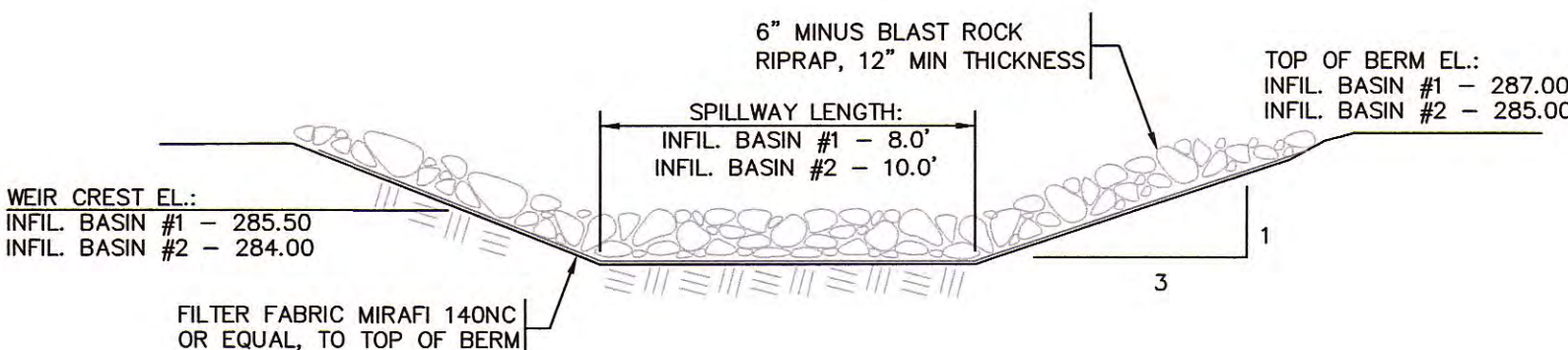
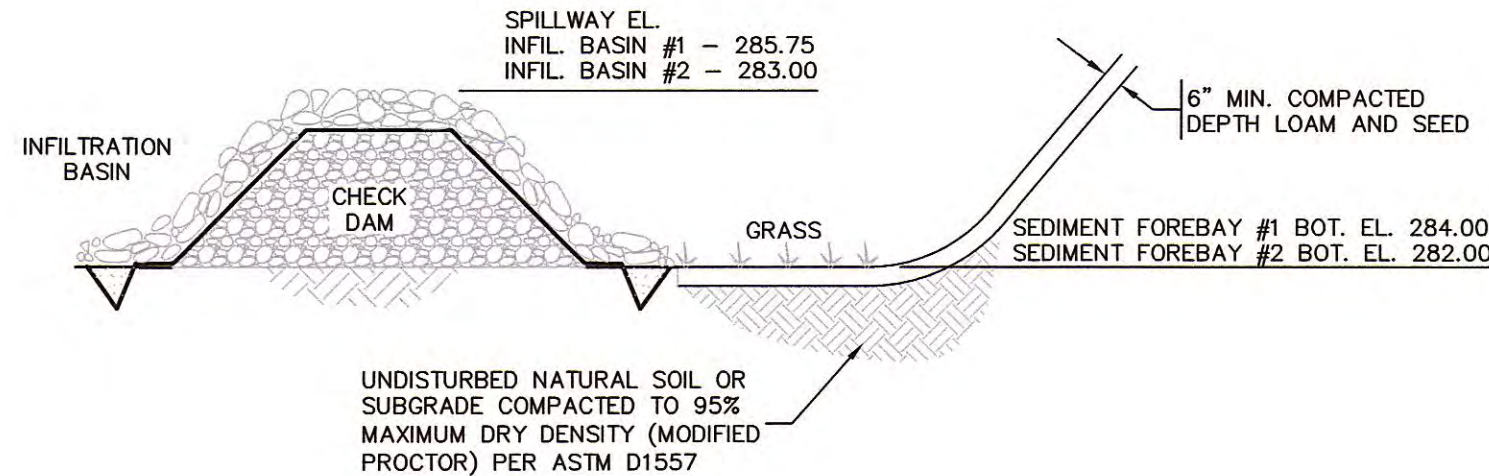
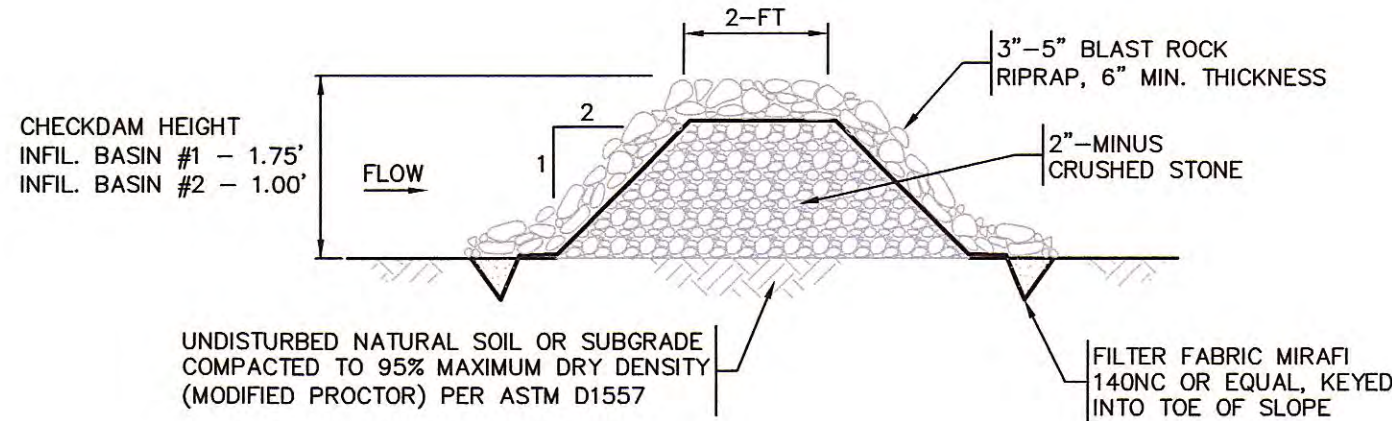
Deep Observation Hole Log					
Hole # 122-8	NB 14/E-31				Surface EL. 292.5
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (MUNSELL)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)
0-12	A	FSL	10YR 3/3		
12-28	C1	LS	10YR 5/4	@60"	
28-76	C2	SL	2.5Y 5/3	10YR 6/4 2.5Y 6/2	

Parent Material (geologic) Glacial Till Depth to Bedrock: >76"  
Depth to Groundwater: Standing Water in the Hole 72" Weeping from Pit Face: 70"  
Estimated Seasonal High Groundwater in the Hole 60"



- MATERIAL NOTES:**
- EMBANKMENT MATERIAL SHALL BE WELL-GRADED, NATURAL TILL MATERIAL, MIN. 30% PASSING NO. 200 SIEVE, UNIFIED CLASSIFICATION SC, ML, OR CL WITH 10% CERTIFIED CLAY CONTENT. NO STONE LARGER THAN 6" LARGEST DIMENSION. GRADATION ANALYSIS OF BACKFILL MUST BE SUBMITTED FOR APPROVAL BY ENGINEER. ENGINEER SHALL APPROVE MATERIAL PRIOR TO PLACEMENT.
  - PLACE MATERIAL IN 12" LIFTS AND MECHANICALLY COMPACT TO 95% (MODIFIED PROCTOR).
  - PLACE MATERIAL AT OR WITHIN 1% OF OPTIMUM MOISTURE.
  - REMOVE UNSUITABLE MATERIALS, LOAM & ORGANICS. CONTACT ENGINEER IF DEPTH OF UNSUITABLE MATERIAL EXCEEDS 3'-FT.

INTEGRATION BASIN BERM  
TYPICAL CROSS SECTION  
NOT TO SCALE



DRAWING ISSUED FOR:

- ☐ CONCEPT ☐ CONSTRUCTION  
☒ PERMIT ☐ CONSTRUCTION RECORD

THIS DRAWING MAY NOT SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, AND MAY NOT IDENTIFY ALL CONSTRUCTION WORK ITEMS/AREAS OF CONTRACTOR JURISDICTION.

PER 250 CMR 5.03(13), THE FOLLOWING ARE EXCLUDED FROM THE PROFESSIONAL ENGINEER'S RESPONSIBILITY: ALL BOUNDARY INFORMATION; LOCATION OF EXISTING STRUCTURES, TREES, UTILITIES, TOPOGRAPHY OR SIMILAR FEATURES; DESIGN OF RETAINING WALLS, PROPRIETARY EQUIPMENT. SEE EXISTING CONDITION NOTES.

3	5/23/23	JFB	NMP	MUVD & PEER REVIEW COMMENTS
2	3/2/23	JFB	NMP	MUVD & PEER REVIEW COMMENTS
1	7/25/22	LT	NMP	PEER REVIEW COMMENTS
NO.	DATE	BY	APP.	REVISION DESCRIPTION

**GPR**

Engineering Solutions  
for Land & Structures

GOLDSMITH, PREST & RINGWALL, INC.

39 MAIN STREET, SUITE 301, AYER, MA 01432  
CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING  
VOICE: 978.772.1590 FAX: 978.772.1591  
www.gpr-inc.com

COMMERCIAL DEVELOPMENT  
SPECIAL PERMIT

CONSTRUCTION DETAILS

203 AYER ROAD  
HARVARD, MA

PREPARED FOR:  
YVONNE CHERN  
7 GREEN WAY  
WAYLAND, MA 01778

WHEELER REALTY TRUST  
198 AYER ROAD  
HARVARD, MA 01451

DES. BY: MCL  
CHK. BY: NMP  
DATE: MARCH 2022  
JOB 211009  
C6.3



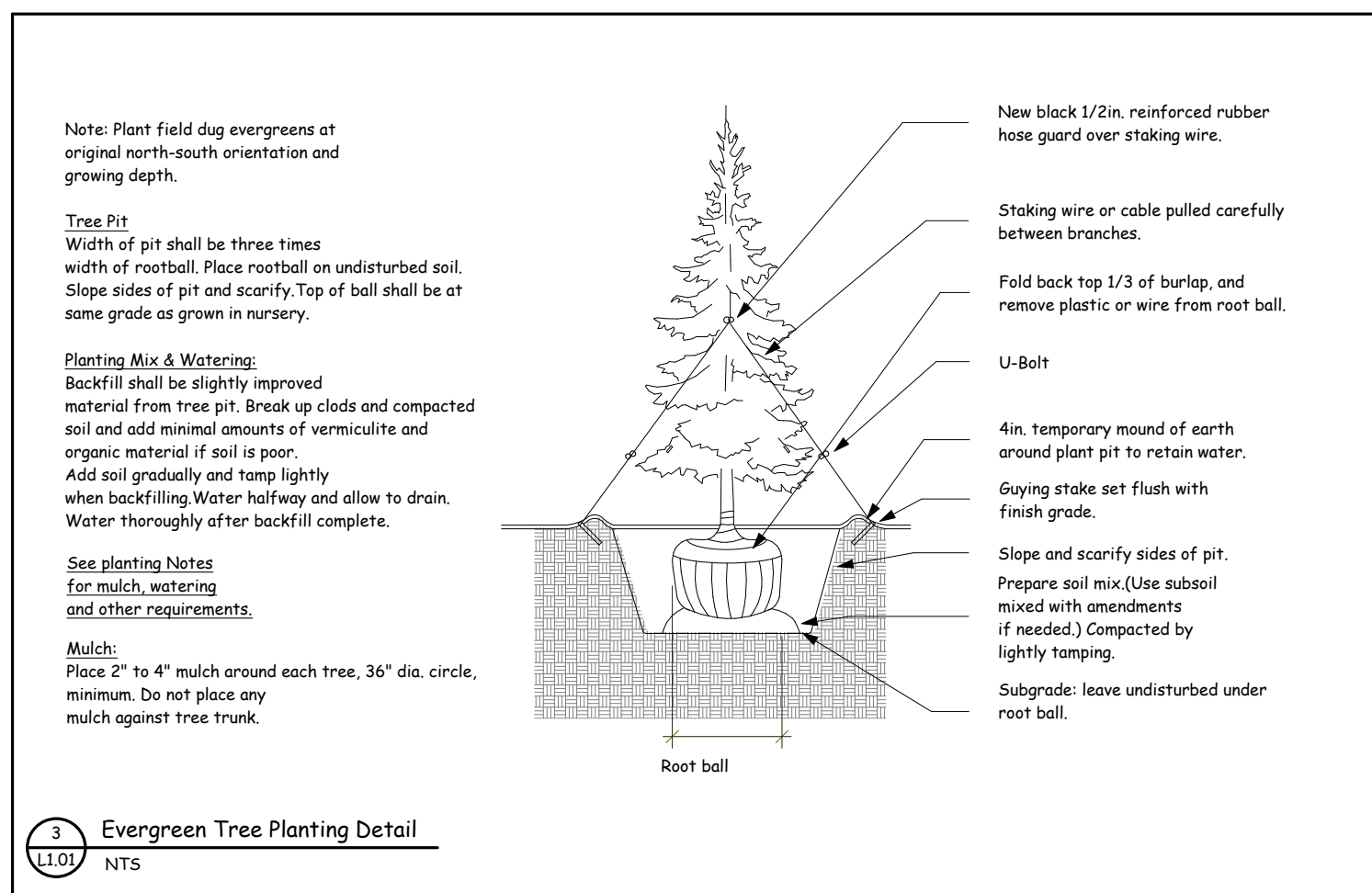
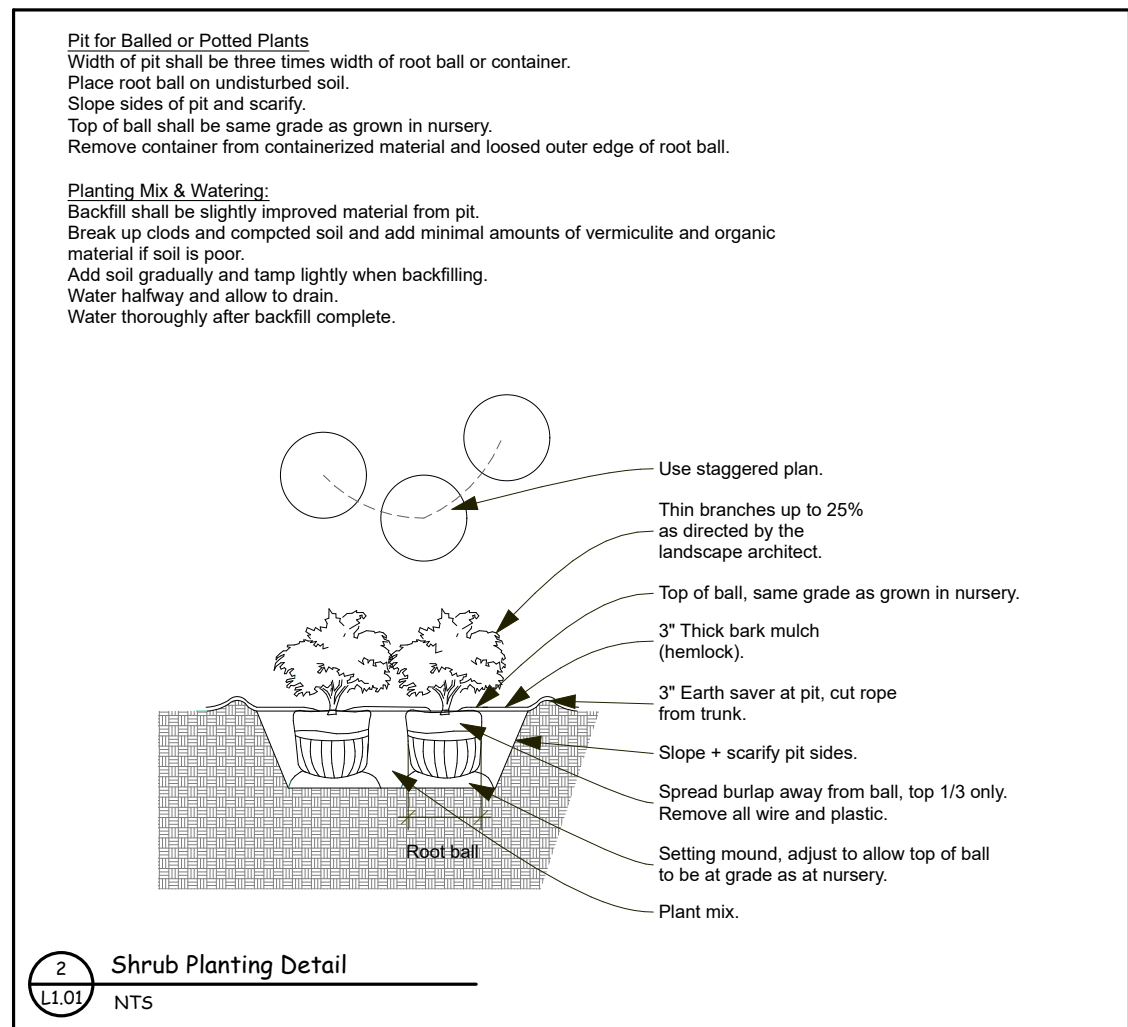
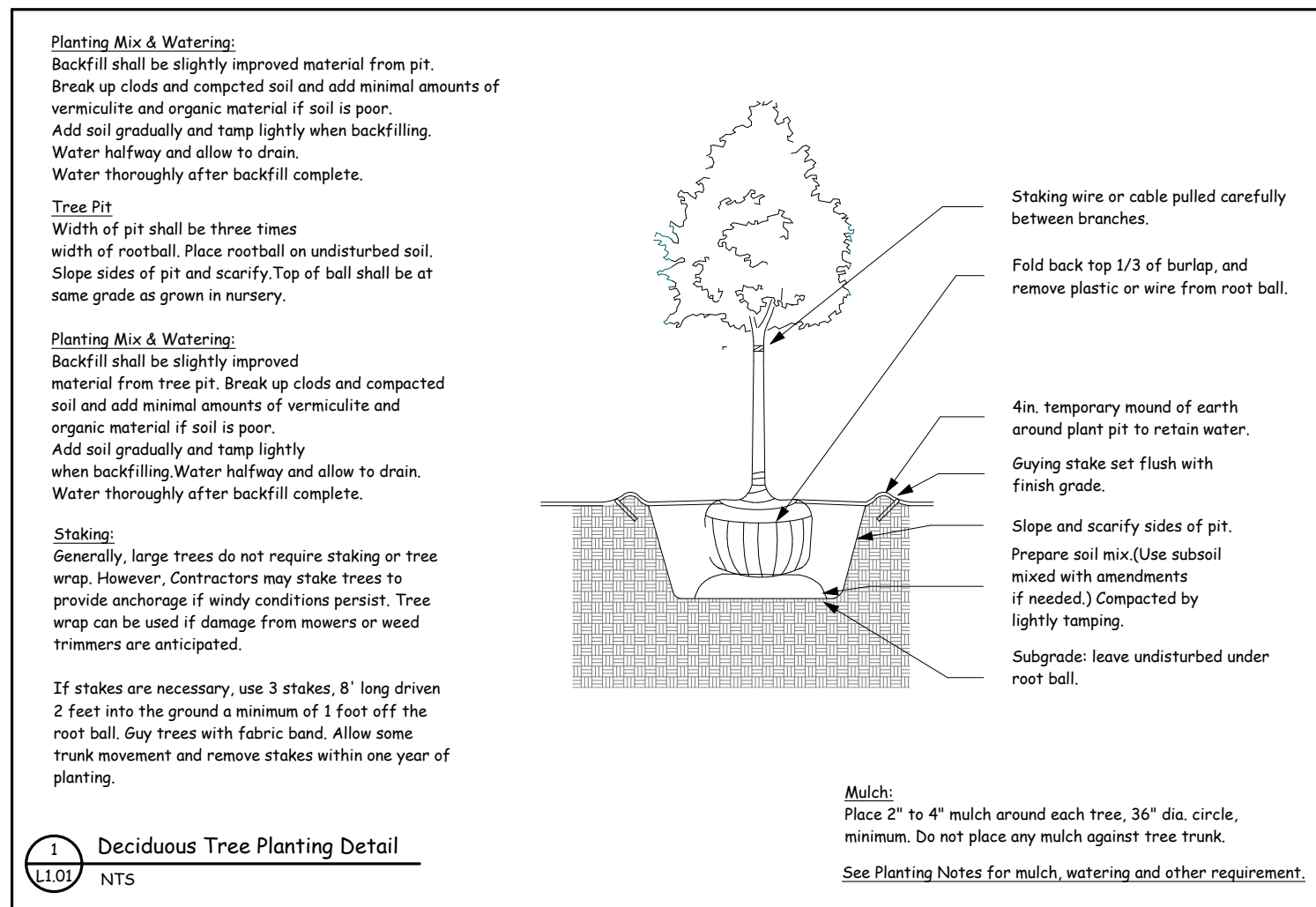
# Commercial Development

203 Ayer Road  
Harvard, MA



Rev. 3:  
Rev. 2: May 23, 2023, "No changes on this sheet"  
Rev. 1: March 1, 2023  
Date: April 25, 2022  
Scale: 1"=40'

Sheet  
**L-1.01**  
Planting Plan



## Landscape Water Use Management

### New Installations of Trees, Shrubs, and Flowers

1. Provide temporary irrigation to all new plantings. Water with 2" of water to thoroughly soak the soils every day for two weeks following installation.
2. Thereafter, water at 1" two times per week to maintain a moist soil through the first summer into fall.
3. Water well one final time in late November before the ground freezes to improve the plant's ability to tolerate winter desiccation.

### New Installations of Conservation Seed and Wild Flower Mixes

1. Water with 2" of water (30 mins of aerial irrigation) to thoroughly soak the soils every other day for two weeks following installation.
2. Water at 1" two times per week to maintain a moist soil through the first summer into fall.

### Recommended Planting Seasons: Zone 5 and 6

Spring Planting	Season Begins	Season Ends
Lawns	April 1-15	May 15-30
Evergreens	April 1-15	May 15-30
Deciduous Plants	April 1-15	May 15-30

Fall Planting	Season Begins	Season Ends
Lawns	August 1-15	September 15-30
Evergreens	September 1-15	November 1-15
Deciduous Plants	October 1-15	November 15-30



### Planting Notes

1. The Contractor is responsible for the legal removal and disposal of all debris from the site and as may be directed by the Owner.
2. Coordinate final locations of Site Improvements with the Civil and Architectural plans.
3. The Contractor shall notify DIG-SAFE (1 888-344-7233) to verify the location of any underground utilities prior to any digging.
4. All plant material and planting procedures shall conform to the "American Standard for Nursery Stock" as published by the American Nursery and Landscape Association.
5. Contractor to stake proposed locations of all new plant material for LA review prior to planting.
6. Plant List governs: Contractor to provide plants on list. Locations and quantities in planting areas are subject to change under the discretion of the LA.
7. The Contractor shall supply all plant materials in quantities sufficient to complete the shown on all drawings.
8. All plant materials are subject to the approval of the Landscape Architect at the Nursery and at the site. All trees shall have single leader unless otherwise noted. No unapproved substitutions will be accepted. Plants species and cultivar, size and quantity shall not change without the approval of the Landscape Architect. Location of all trees and shrubs shall be marked for the approval of the Landscape Architect the day prior to commencement of planting.
9. All plants shall bear the same relationship to finished grade as original grade before digging. Plants to be transplanted shall be carefully dug, with adequate root balls and surrounding soil and pruned according to ANA standard practices. Trees with root flare covered by more than 1 1/2" of soil will be rejected prior to installation. Set plants plumb.
10. All trees and shrubs shall be balled in burlap or containerized, unless otherwise noted. No root bound container grown stock will be accepted. All plastic root wrapping and metal wire baskets shall be carefully removed at the time planting. Wire directly under root ball can remain.
11. The planting soil mixture shall be a sandy loam modified with organic components of 4-8% organic matter, dry weight, PH range of 5.5 to 6.5 and no coarse fragments over 2". A soil sample from the proposed planting medium shall be sent to the UMass Extension Service, University of Massachusetts, West Experiment Station, Amherst, MA 01003, tel: 413.545.2311, fax: 413.545.1931 to be analyzed for organic matter, acidity, soluble salts, buffer PH, potassium and silt and clay content.
12. Contractor shall place 3" of fine shredded dark brown, aged two years, pine bark mulch in all bed areas. Submit sample to Landscape Architect.
13. All evergreen plant material shall be sprayed in the first Fall after planting with an anti-desiccant the first week of November.
14. Provide temporary irrigation system for all plant material. System to be functional for a spring and a fall planting season. Flood plants thoroughly once immediately after planting and twice during the first 24 hour period after planting.
15. Extreme care shall be taken not to disturb existing plant materials unless the plant is specifically noted to be transplanted or removed. Any plant injured, removed or destroyed without permission, shall be replaced with plant material of equal size and species at the Contractor's expense.
16. Do not wrap trunk of trees.
17. Stake only deciduous trees on windy exposures or steeper slopes. Evergreen trees may be staked at the discretion of the Landscape Architect. Consult with Landscape Architect.
18. Contractor shall maintain the trees for a minimum of 60 days following preliminary acceptance of Landscape Architect. After 60 days, provide Owner with written maintenance instructions.
19. Contractor shall guarantee all plant material for a minimum of one (1) year from the date of final acceptance of the Landscape Architect. The Contractor shall replace any dead or horticulturally damaged trees at his expense during the 1 year guarantee period.
20. Contractor shall provide Jute netting on steep slopes as directed by Civil Engineer to control soil erosion and loss.
- 21.

### SEED MIX 1 Non-Mowed/ Annual Mowing Area Seed Mix:

Shady Northeast Native Wildflower & Grass Mix  
Seed specification from Ernst Seeds mix: ERNMX-153, or equal

31.5%	Little Bluestem, Fort Indiantown Gap-PA Ecotype (Schizachyrium scoparium, Fort Indiantown Gap-PA Ecotype)
20%	Sideoats Grama, 'Butte' (Bouteloua curtipendula, 'Butte')
18%	Virginia Wildrye, PA Ecotype (Elymus virginicus, PA Ecotype)
4%	Tall White Beardtongue, PA Ecotype (Penstemon digitalis, PA Ecotype)
4%	Partridge Pea, PA Ecotype (Chamaecrista fasciculata (Cassia f.), PA Ecotype)
3%	Purple Coneflower (Echinacea purpurea)
2.5%	Marsh (Dense) Blazing Star (Spiked Gayfeather) (Liatris spicata)
2%	Butterfly Milkweed (Asclepias tuberosa)
2%	Lanceleaf Coreopsis, Coastal Plain NC Ecotype (Coreopsis lanceolata, Coastal Plain NC Ecotype)
2%	Oxeye Sunflower, PA Ecotype (Helopsis helianthoides, PA Ecotype)
2%	Blackeyed Susan, Coastal Plain NC Ecotype (Rudbeckia hirta, Coastal Plain NC Ecotype)
1.5%	New England Aster (Aster novae-angliae (Symphyotrichum n.))
1.5%	Smooth Blue Aster, NY Ecotype (Aster laevis (Symphyotrichum laevis), NY Ecotype)
1.5%	Ohio Spiderwort, PA Ecotype (Tradescantia ohiensis, PA Ecotype)
1%	Autumn Bentgrass, Albany Pine Bush-NY Ecotype (Agrostis perennans, Albany Pine Bush-NY Ecotype)
0.8%	Brown-eyed Susan, WV Ecotype (Rudbeckia triloba, WV Ecotype)
0.5%	Wild Senna, VA & WV Ecotype (Senna hebecarpa (Cassia h.), VA & WV Ecotype)
0.5%	Wild Bergamot, Fort Indiantown Gap-PA Ecotype (Monarda fistulosa, Fort Indiantown Gap-PA Ecotype)
0.5%	Maryland Senna (Senna marilandica (Cassia m.))
0.5%	Blue False Indigo, Southern WV Ecotype (Baptisia australis, Southern WV Ecotype)
0.5%	Early Goldenrod, VA Ecotype (Solidago juncea, VA Ecotype)
0.2%	Hoary Mountainmint, MD Ecotype (Pycnanthemum incanum, MD Ecotype)
Total: 100%	

### Seed Mix 2 Detention/ Infiltration Basin Seed Specification

(from Ernst Seeds mix: ERNMX-180 -1, or equal)

46%	River Oats, PA/VA Ecotype Blend (Chasmanthium latifolium)
25%	Fox Sedge, PA Ecotype (Carex vulpinoidea, PA Ecotype)
20%	Virginia Wildrye, PA Ecotype (Elymus virginicus, PA Ecotype)
4%	Autumn Bentgrass, PA Ecotype (Agrostis perennans, PA Ecotype)
3%	Blunt Broom Sedge, PA Ecotype (Carex scoparia)
1%	Soft Rush (Juncus effusus)
1%	Path Rush, PA Ecotype (Juncus tenuis)
Total: 100%	

### PLANT LIST

QTY	SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
<b>Deciduous Trees</b>					
10	AR	Acer rubrum 'October Glory'	October Glory Red Maple	4"-5" cal.	NE Native
13	AS	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	4"-5" cal.	NE Native
3	CK	Cornus x Stellar Pink	Stellar Pink Dogwood	2.5"-3" cal.	
7	CF	Cornus x Ruth Ellen	Ruth Ellen Dogwood	2.5"-3" cal.	
9	MF	Malus floribunda	Japanese Flowering Crab	2"-2.5" cal.	NE Native
9	QR	Quercus rubra	Red Oak	4"-5" cal.	
19	PY	Prunus x yedensis	Yoshino Cherry	2"-2.5" cal.	
<b>Evergreen Trees</b>					
6	AF	Abies fraserii	Fraser Fir	8'-10' Tall	Native
4	PN	Pinus nigra	Austrian Pine	8'-10' Tall	
3	TC	Tsuga canadensis	Canadian Hemlock	8'-10' Tall	Native
<b>Shrubs</b>					
6	CB	Cornus baileyi	Bailey Red Twig Dogwood	3'-3.5' Tall	Native
5	DG	Deutzia gracilis	Common Deutzia	2'-2.5' Tall	
6	MP	Myrica pensylvanica	Bayberry	3'-3.5' Tall	Native
3	PO	Physocarpus opulifolius	Common Ninebark	4.5'-5' Tall	Native
12	RC	Rhododendron catawbiense	Catawba Rhododendron	4.5'-5' Tall	Native
23	SP	Syringa meyeri 'Palibin'	Dwarf Korean Lilac		
10	VC	Vaccinium corymbosum	High Bush Blueberry	4.5'-5' Tall	Native



OFFICE OF THE  
**PLANNING BOARD**

13 AYER ROAD HARVARD, MA 01451

978-456-4100

[www.harvard-ma.gov](http://www.harvard-ma.gov)



To: Lynn Kelly, Town Clerk  
Harvard Town Hall  
13 Ayer Road  
Harvard, MA 01451

**MAY 15, 2023**

**HARVARD PLANNING BOARD**

**NOTICE OF DECISION ON APPLICATION OF**

**VERIZON**

**BY ITS REPRESENTATIVE  
CROWN CASTLE USA INC.**

**FOR A SPECIAL PERMIT**

**131 BROWN ROAD  
HARVARD, MA 01451  
ASSESSORS MAP 36 – PARCEL 93.4 T  
WORCESTER REGISTRY OF DEEDS  
BOOK 13188, PAGE 164**

The applicant, Terra Search, authorized agent for Cellco Partnership, d/b/a VERIZON Wireless / Crown Castle, submitted a request for a Special Permit under the "Code of the Town of Harvard", §§125-27-D(1), and 125-46 of the Protective Bylaw, filed with the Town Clerk on APRIL 11, 2023. At this time, the applicant proposes to remove and upgrade three (3) new antennae to its facilities on the communications tower located 131 Brown Road.

I. All provisions of the decisions remain in place except as modified herein.



## Plans and Documents Submitted in Support of the Application

The Applicants submitted the following plans documents, which together with Public Hearing testimony, provide the basis for this decision.

1. "Special Permit Application Package", dated and received by the Town Clerk on APRIL 11, 2023, including:
  - a. Cover (form) letter dated APRIL 6, 2023 from Timothy W. Greene, of Terra Search, authorized agent for Verizon Wireless / Crown Castle Inc., 157 Riverside Drive, Norwell, MA 02061.
  - b. Application to the Harvard Planning Board
  - c. Certified List of Abutters dated MARCH 29, 2023
  - d. A Removal Bond in the amount of \$50,000 from FEDERAL Insurance Company to guarantee the maintenance, replacement, removal, or relocation of the equipment.
  - e. Power of Attorney
  - f. Check #0989 made payable to the Town of Harvard in the amount of \$250.00
  - g. Structural Analysis Report dated January 4, 2023 for a 103.5 foot – monopole tower at the 131 Brown Street site.
2. Input from Harvard Town Boards/Departments:
  - a. No comments on the proposal
3. Consultant Reviews: None
4. Legal Notices Advertised and Mailed to Abutters:
  - a. A copy of the Legal Notice advertising the Public Hearing to be held on the application on Monday, MAY 15, 2023. The advertisement appeared in the "The Harvard Press" on APRIL 28 & MAY 5, 2023 in compliance with MGL covering such public notice.
  - b. An Affidavit of Mailing to Abutters dated APRIL 18, 2023 endorsed by the Town Clerk.

The Planning Board opened the public hearing on the application for a Special Permit on MAY 15, 2023 and closed the hearing that same evening. The application was presented by Timothy Greene of Terra Search, on behalf of VERIZON Wireless / Crown Castle, as the Applicant. The Board received no public input at the hearing or by correspondence prior to the close of the hearing. After the close of the hearing, the Planning Board completed its deliberations and voted to **GRANT** the Special Permit with conditions.



## **FINDINGS**

The Harvard Planning Board makes the following findings with respect to the Application:

1. This Special Permit is granted in harmony with the provisions set forth in Article 1, §125-1, Purpose, of the Harvard Protective Bylaw.
2. There will be no storage of fuels or hazardous materials on the premises.
3. The granting of a Special Permit will be in compliance with the Protective Bylaw §125-46C(1) and:
  - a. will not result in substantial increase of volume or rate of surface water runoff to neighboring properties and streets, will not result in substantial danger of pollution or contamination of the ground water supply, a ground water absorption area, a well, pond, stream, watercourse, W district, or inland wetland. All surface water runoff resulting from the construction of the facility will be retained within the lot in which it originates;
  - b. will result in no substantial increase in traffic on any residential street in proximity to the premises; and
  - c. will be in harmony with the general purpose and intent of the Bylaw.
4. The Applicant has submitted all materials in compliance with §125-27.
5. The antennae will be mounted at the same height as the current installation and will not increase the height of the tower. The existing ground equipment will still be contained within the existing fenced lease area and will not increase the overall size of the facility.
6. Crown Castle, a developer of communications facilities, maintains the tower at 131 Brown Road pursuant to a lease from the property owner, AT&T. The tower is in the Wireless Communications Towers Overlay District (WCTOD).

### **Conditions and Limitations on Exercise of Special Permit**

The following conditions and limitations shall run with this Permit. They may be altered only by an application to this Board to modify the Permit, or if such alteration is determined to be minor and meets the following requirements, they may be altered only by the written and recorded consent of four (4) members of the five (5) member Board, upon a vote taken at an open meeting, and then only if:

- a. the change is consistent with the Findings above;
  - b. the change does not reduce a requirement of the Bylaw; and
  - c. the change does not prejudice the interests of anyone entitled to notice of the hearing on the Permit.
1. The project shall remain in accordance with the plans approved by the Planning Board with a revision date of APRIL 6, 2023.
  2. The antennas shall be maintained and camouflaged in accordance with the approved plans.
  3. The antennas shall be painted to match the color of similar equipment on the stealth tree. Placement of antennas on the tower shall not disturb the "stealth" appearance of the tower.



4. The Grantee shall maintain the bond submitted with the application as required by §125-27H(2) to assure the Special Permit holder's compliance with its obligations in the event that the holder ceases to use the tower and to remove parts owned by the Permit holder and all accessory equipment/structures so owned.
5. The Grantee shall file with the Building Commissioner and the Board an annual certification demonstrating continuing compliance with the standards of the Federal Communications Commission and the American National Standards Institute.
6. The Grantee shall provide prior written notice to the Building Commissioner and the Board in the event of a change or increase of use of the tower or the Grantee's facilities on and at the tower, change of Grantee, or cessation of use on and at the tower. Any change in use or increase in the intensity of use of the tower shall require a new Special Permit.
7. The term of the Permit is for five (5) years from the expiration of the twenty-day appeal period after the filing of the decision with the Town Clerk pursuant MGL Chapter 40A, Section 17. All provisions of the Permit shall be binding on the Grantee, its successors, or assigns.
8. The Grantee shall remove all its installation(s) on the tower and all related accessory equipment/structures when there is a cessation of use for a period of at least one year, and/or one year following expiration of the Permit, unless renewed.
9. The Grantee shall furnish current actual cost information for its installation and ground equipment in a form satisfactory to the Board and Board of Assessors, for the purposes of tax assessment. The value of site improvements and structures, including the antennas and equipment, shall be included.
10. The Grantee (and its designee) shall run the generator necessary to test its equipment between 10am and 2pm.
11. Grantee shall comply with all conditions of this Permit prior to commencement of operation.



## **ACTION OF THE PLANNING BOARD-DECISION**

Therefore, as of MAY 15, 2023 by a vote of four (4) to zero (0) of the Planning Board members eligible to vote, the Board hereby **GRANTS** to the Applicant a Special Permit Approval under Sections 125-27 and 125-46 of the Bylaw allowing the Special Permit for the collocation of antennae, ancillary equipment and ground equipment as per plans for a new carrier on an existing wireless communications facility at 131 Brown Road, Assessors Map 36, Parcel 93.4 T, subject to the conditions and limitation contained herein.

**This decision is not valid until after it has been certified with respect to an Appeal by the Harvard Town Clerk, as provided in MGL, Chapter 40A Section 11, and a copy as certified has been recorded in the Worcester Registry of Deeds.**

**An Appeal of this decision may be made pursuant to MGL Chapter 40A Section 17 within twenty (20) days after the decision is filed with the Town Clerk.**

\_\_\_\_\_  
Richard S. Cabelus, Chair

\_\_\_\_\_  
Stacia Donahue

\_\_\_\_\_  
Brian Cook

\_\_\_\_\_  
Arielle Jennings

### **TO WHOM IT MAY CONCERN:**

I hereby certify the twenty (20) day appeal period on this decision has expired, and no appeals have been filed with this office.

\_\_\_\_\_  
Lynn Kelly, Town Clerk

\_\_\_\_\_  
Date