

**TOWN OF HARVARD
PLANNING BOARD AGENDA
MONDAY, JUNE 26, 2023 @ 7:00PM**

Pursuant to Chapter 2 of the Acts of 2023, An Act Making Appropriations for the Fiscal Year 2023 to Provide for Supplementing Certain Existing Appropriations and for Certain Other Activities and Projects, and signed into law on March 29, 2023, this meeting will be conducted via remote participation. Interested individuals can listen in and participate by phone and/or online by following the link and phone number below.

UpperTH ProWebinar is inviting you to a scheduled Zoom meeting.

Join Zoom Meeting

<https://us02web.zoom.us/j/87089685533?pwd=Yml1ODITZk1HZWNXRGVsbzVqcmttQT09>

Meeting ID: 870 8968 5533

Passcode: 154875

One tap mobile

+13052241968,,87089685533# US

+13092053325,,87089685533# US

Dial by your location

- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 646 931 3860 US
- +1 929 436 2866 US (New York)

Meeting ID: 870 8968 5533

Find your local number: <https://us02web.zoom.us/u/kb0tChravw>

Public Comment

- Old Business:**
- a) Prospective MBTA Multi-family zoned district(s)
 - b) Open Space Residential Development Bylaw Amendment (§125-35) update
 - c) Explanation / discussion of Housing Production Plan Zoom update 7pm Wed. June 28, 2023
 - d) Update on 320 Ayer Road Chestnut Tree & Landscaping

- New Business:**
- a) **Minor Erosion Control Application, 57 Brown Road** for an addition to the existing structure and crawl space to allow for HVAC equipment §125-58(E)(3)(a)1

Public Hearings:

7:30pm **Public Hearing – William Ference, 247 Littleton County Road** for Consent to a Scenic Road Application §90-3 and §90-4(A)&(B)

8:00pm **Continuation of Public Hearing for Ayer Road Village-Special Permit and Site Plan Review Hearing - Yvonne Chern & Wheeler Realty Trust, 203 Ayer Road,** for the development of three commercial use buildings, including a Commercial Entertainment and Recreation use.

Standard Business:

- a) Board Member Reports

- Representatives & Liaisons Update
- Community Matters

b) Approve Minutes

c) Invoices Montachusett Regional Planning Commission annual assessment \$2,079.46

The listing of matters are those reasonably anticipated by the chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

NEXT SCHEDULED MEETING: MONDAY, JULY 17, 2023

AS

EROSION CONTROL APPLICATION

Applicants should review the Harvard Protective (Zoning) Bylaw, Chapter 125-58 of the Code of the Town of Harvard, the Planning Board's Rules and Regulations, Chapter 133 of the Code of the Town of Harvard. Copies of the Bylaw may be purchased from the Town Clerk and copies of the Rules and Regulations may be purchased from the Land Use Office. Information is also available online at www.harvard-ma.gov. The Rules and Regulations specify the documents that are required as a part of the application.

Applicant's Name: _____

Address: _____ Phone: _____ Email: _____

Applicant is (check one): Owner _____ Agent _____ Prospective Buyer _____

Location of Property: _____ Zoning District: _____

Harvard Assessors' Map _____ Parcel _____

Owner's Name: _____ Email: _____

Owner's Address: _____ Owner's Phone: _____

Signed: _____

APPLICATION CHECK LIST

Minor Permit

- Sketch plan showing limits, scope of work and proposed Best Management Practices (BMPs)
- Project narrative that includes a description of the proposed project and a description of how and where stormwater will be controlled and erosion and sediment controls to be used
- \$25.00 filing fee

Major Permit

- Applicants shall file one (1) original completed application packet and seven (7) copies
- Project narrative that includes a description of the proposed project and a description of how and where stormwater will be controlled and erosion and sediment controls to be used, plus a description of any specimen trees within the project area.
- Engineered plan set, signed and stamped by a professional engineer or a professional land surveyor registered in the Commonwealth of Massachusetts, and drawn at a legible scale and including:

- **Existing and proposed conditions plans**, which shall identify significant natural features and native trees greater than a diameter of (6) inches within the project area.

- **Erosion control plan**, which shall include the following related specifically to the disturbance area:
 - Location of all structural and non-structural erosion and sediment control measures and BMPs;
 - Locations where stabilization practices are expected to occur;
 - Locations for storage of materials, waste, vehicles, equipment, soil, snow, and other potential contaminants;
 - Operations and Maintenance Plan for BMP's including inspections and maintenance activities as noted in §133-41 below;
 - Areas where previous stabilization has been accomplished and no further construction-phase permit requirements apply; and
 - Any other information deemed necessary by the Planning Board.

\$200.00 filing fee

Project Description: 57 BROWN ROAD

Project will add a 17' x 44' foot addition to the existing structure. The foundation will not include a full basement. Instead, a crawl space of approximately 5' in height is planned to allow for the installation of HVAC equipment. Note that the 5' foot height is achieved via a cripple wall on the foundation.

Material Removed from Foundation Excavation:

Total volume of material removed to allow for foundation emplacement is expected to be on the order of 250 yards. This value of 250 yards is based on the assumption that the foundation is over-excavated by 4' on the outside of the 17'x44' footprint of the foundation and that the average depth is 5' below existing grade. Note that the foundation is located on a 10% slope.

It has been estimated that approximately 103 yards will be returned to the volume that was over-excavated from the outer periphery of the foundation. The pre-existing grade will be restored surrounding the outer periphery of the foundation. The interior of the foundation is estimated to require 93 yards to provide the required 4" feet of fill over the foundation footer. The remainder of the excavated material consists of approximately 60 yards that will be distributed over a cleared area as noted in the sketch (see dwg. titled "Plot Plan") to a depth not exceed 4".

Erosion Control Methods:

Methods to control erosion will include 3" depth of bark mulch as recommended by the National Resources Conservation Service for slopes less than 33%. The slope of the grade surrounding the foundation is approximately 10% ((see dwg. titled "Landscaped Plan, L-1)). Mulch will be applied to the disturbed areas surrounding the foundation and maintained until such time that natural vegetation has been restored by nature. Grass seed will be applied to those areas that are near level (see sketch plan).

The soil in the vicinity of the excavated area has been observed by the property residents to drain readily during rainstorms with no observable runoff during seven years of continuous occupation. In addition, conditions up slope from the excavated zone result in little accumulation of flow directed at the excavated zone.

Due to the slope (less than 10%), observed drainage (high), additional measures to control stormwater, erosion and sediment controls were deemed not necessary.

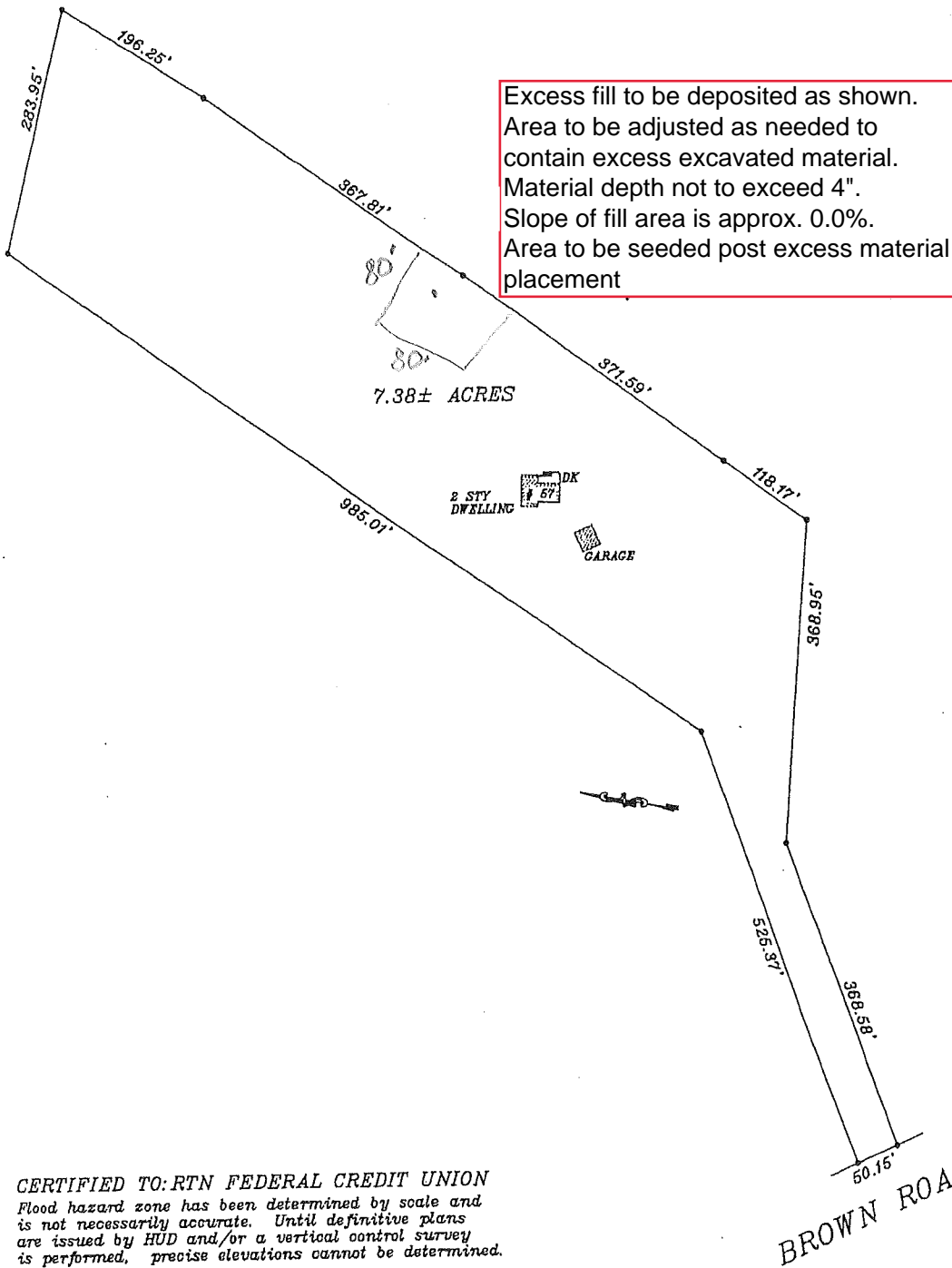
PLOT PLAN

NORTHERN ASSOCIATES, INC.

68 PARK ST 2ND FLOOR ANDOVER, MA 01810 TEL:(978) 837-3335 FAX:(978) 837-3336

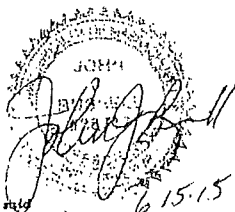
MORTGAGOR: PETER B. DUBOIS & JANICE M. DALEY
 LOCATION: 57 BROWN RD
 CITY, STATE: HARVARD, MA
 DATE: 6/15/15

DEED REF. 50254/114
 PLAN REF. 366/11
 SCALE: 1"=150'
 JOB #: 215/01578



CERTIFIED TO: RTN FEDERAL CREDIT UNION
 Flood hazard zone has been determined by scale and is not necessarily accurate. Until definitive plans are issued by HUD and/or a vertical control survey is performed, precise elevations cannot be determined.

NOTE: This mortgage inspection was prepared specifically for mortgage purposes only and is not to be relied upon as a land or property line survey, used for recording, preparing deed descriptions, or construction. No corners were set. Building location and offsets are approximately located on ground and are shown specifically for zoning determination only and are not to be used to establish property lines. The matters shown herein are based on client-furnished information and may be subject to further out-sides, takings, easements and rights of way, and other matters of record and privity or other rights. Northern Associates, Inc. assumes no responsibility herein to land owner or occupant, accepts no responsibility for damages resulting from this reliance by anyone other than the said mortgagee and its assigns in connection with its proposed mortgage financing to said mortgagor.



This mortgage inspection was prepared in accordance with the Technical Standards for Mortgage Loan Inspections as adopted by the Massachusetts Board of Registration of Professional Engineers and Land Surveyors 260 CMR 605.
 I further state that in my professional opinion that the structures shown conform with the local zoning horizontal dimensional setback requirements at the time of construction or are exempt under provisions of M.G.L. CH. 40-A Sec. 7.

1. Property/House is not in Flood Hazard.
 2. Property/House is in a Flood Hazard Area.
 3. Information is insufficient to determine Flood Hazard.

Flood Hazard determined from latest Federal Flood Insurance Rate Map Panel 25027C 047F

Date 07/16/14 Zone X-UNSHADED



Civil & Structural Engineering • Land Planning • Land Surveying

Engineering Solutions
for Land & Structures

June 13, 2023

Harvard Planning Board
13 Ayer Road
Harvard, MA 01451

Re: Scenic Road Consent Application Addendum
for William Ference
247 Littleton County Road, Harvard, MA
GPR Project No. 211137

Dear Board Members:

On behalf of our client, William Ference, we are filing a modification to the Scenic Road Consent application for access to ("the property") at 247 Littleton County Road.

The property is an existing lot consisting of 24.57 acres± with an existing building, associated driveway, and agricultural land. The property is also known as Friendly Crossways and has functioned as an event venue, retreat and conference center with lodging, and hostel for the past 75 years, dating back to at least 1947. A Special Permit was issued by the ZBA on April 22, 2022, recorded at the WSRD in book 68247 page 319, allowing the continued non-conforming use as an events venue and allowing the construction of a commercial kitchen and tent platform. The property is referenced by the Town of Harvard Assessors as Map 14, Parcels 53.1 & 53.2 and is zoned as Agricultural-Residential (AR).

To provide greater safety and experience, a new seasonal gravel parking lot will be constructed in the southeastern corner adjacent to the existing corn field on-site. The entrance to the gravel parking will be paved with a traffic island and be located directly across from the entrance to the Harvard Sportsman's Club. The gravel parking area located next to the existing building will be reclaimed as lawn surface, with an ADA accessible parking spaces and VIP parking to remain. The proposed parking has been designed to meet Harvard's parking requirements pursuant to Section 125-39 Site Standards.

The Harvard Director of Public Works, Tim Hart, was consulted to determine placement of the entrance to the proposed parking. The location selected, across from the Harvard Sportsmen's Club, was determined to be the optimal placement to ensure safety and ideal traffic flow for cars entering and exiting the property.

A portion of the existing stone wall along Littleton County Road (roughly 50 feet) will be removed to construct the gravel parking entrance. The stones removed for the opening will be used to enhance the adjacent sections of the wall. Further, the applicant will be removing

Goldsmith, Prest & Ringwall, Inc.

invasive and other vegetation from the stone wall to make the wall visible again. Images have been included to illustrate the section of wall the be moved.

Sincerely,

Goldsmith, Prest & Ringwall, Inc.

A handwritten signature in black ink, appearing to read 'BRUCE RINGWALL PRES.' with a stylized flourish at the end.

Bruce Ringwall, Pres.

cc William Ference
GPR File 211137

Scenic Road Consent Application Addendum
Map 14 – Parcel ID 53.1 & 53.2
247 Littleton Country Road, Harvard, MA
June 13, 2023



View of subject wall as seen from Harvard Sportsman's Club.

Scenic Road Consent Application Addendum
Map 14 – Parcel ID 53.1 & 53.2
247 Littleton Country Road, Harvard, MA
June 13, 2023



Close up View of subject wall as seen from Harvard Sportsman's Club.

Scenic Road Consent Application Addendum
Map 14 – Parcel ID 53.1 & 53.2
247 Littleton Country Road, Harvard, MA
June 13, 2023



View of subject wall as seen facing the property from Littleton Country Road, looking to the east.

Scenic Road Consent Application Addendum
Map 14 – Parcel ID 53.1 & 53.2
247 Littleton Country Road, Harvard, MA
June 13, 2023



View of subject wall as seen facing the property from Littleton Country Road, looking to the west.

Scenic Road Consent Application Addendum
Map 14 – Parcel ID 53.1 & 53.2
247 Littleton Country Road, Harvard, MA
June 13, 2023



View of wall as exiting the proposed parking onto Littleton County Road across from the Harvard Sportsman Club. Stake at centerline of drive.

Scenic Road Consent Application Addendum
Map 14 – Parcel ID 53.1 & 53.2
247 Littleton Country Road, Harvard, MA
June 13, 2023



View of subject wall as seen from the property facing Littleton Country Road, looking to the west.

Scenic Road Consent Application Addendum
Map 14 – Parcel ID 53.1 & 53.2
247 Littleton Country Road, Harvard, MA
June 13, 2023



View of subject wall as seen from the property facing Littleton Country Road, looking to the East.

Scenic Road Consent Application Addendum
Map 14 – Parcel ID 53.1 & 53.2
247 Littleton Country Road, Harvard, MA
June 13, 2023



Section of subject wall with invasive vegetation cleared.

Example of typical wall at subject property.

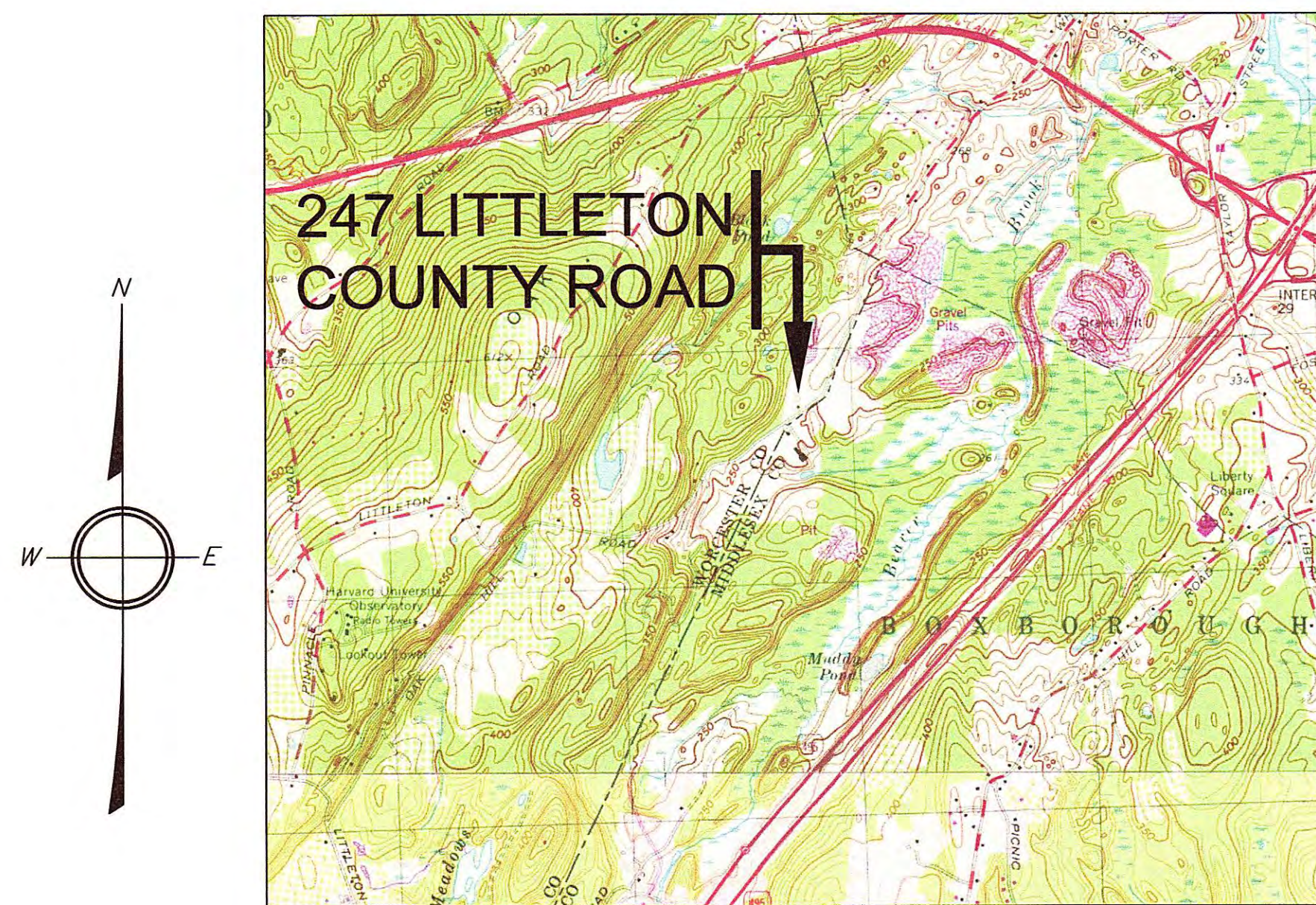
COMMERCIAL DEVELOPMENT

247 LITTLETON COUNTY RD

HARVARD, MA

SITE DATA

LOT AREA: 24.57± AC. (1,070,269± SF)
 WATER SUPPLY: NON-MUNICIPAL (PWS - TNC)
 APPROXIMATE WATER USE: 1,980 GPD
 SEWAGE DISPOSAL: ONSITE SEWAGE DISPOSAL SYSTEM
 APPROXIMATE SEWAGE FLOW: 1,980 GPD
 ZONING DISTRICT: AGRICULTURE & SINGLE FAMILY RESIDENCE
 OVERLAY DISTRICT: WIRELESS COMMUNICATIONS



VICINITY MAP

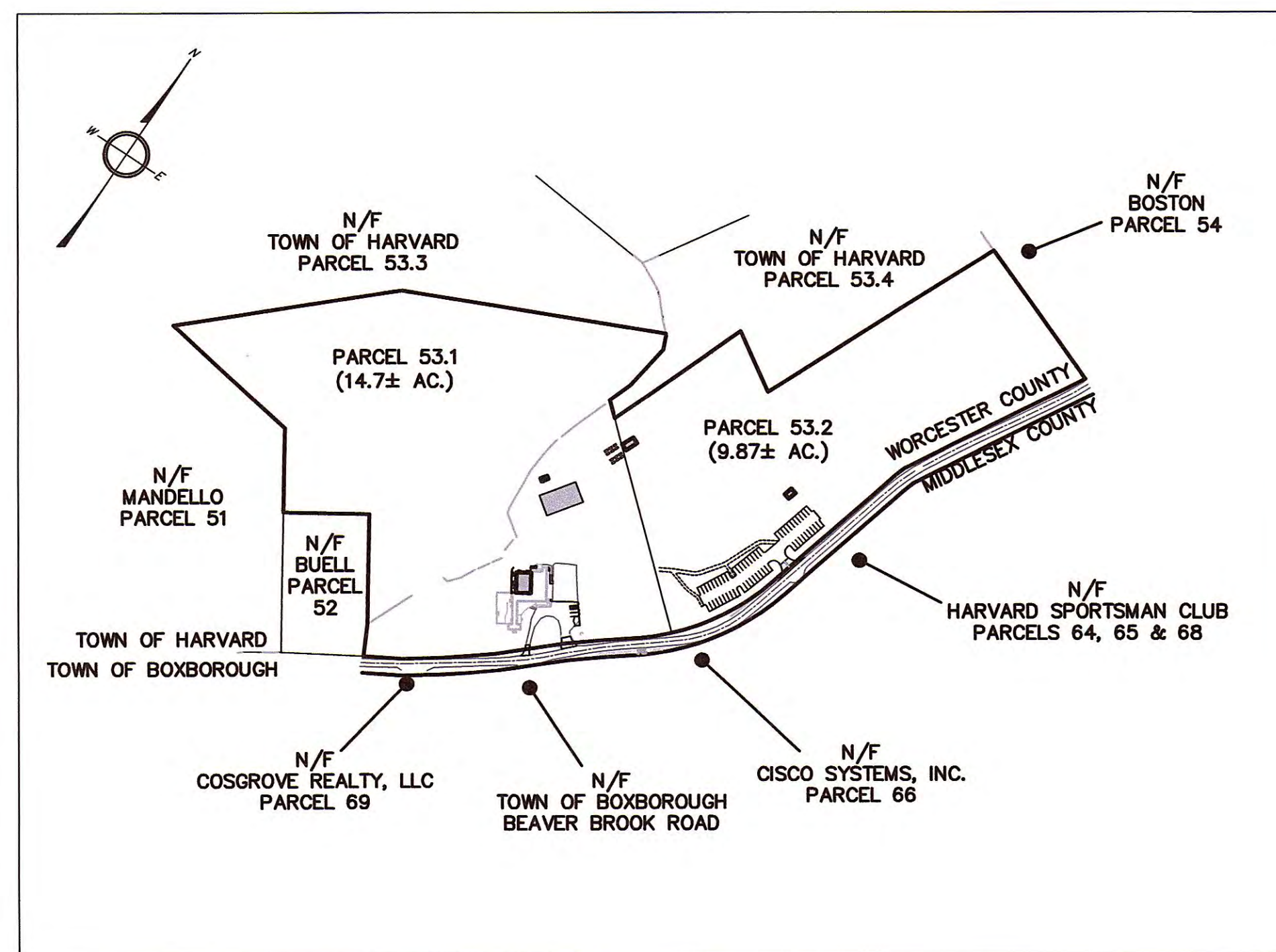
SCALE: 1" = 2,000'

GENERAL NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- BURIED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR RESPECTIVE COMPANY SPECIFICATIONS.
- CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS SHALL BE PERFORMED BY A LICENSED PROFESSIONAL LAND SURVEYOR. LOCATIONS OF EXISTING FEATURES OR PROPOSED IMPROVEMENTS DERIVED BY SCALING DRAWINGS MAY NOT BE ACCURATE. PROPERTY LINES SHOWN HEREON ARE APPROXIMATE. SEE PLAN REFERENCE HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS, AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING UTILITY OR STRUCTURE DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND/OR REMOVAL HEREON. DAMAGED UTILITY OR STRUCTURE SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- CONTRACTOR SHALL NOTIFY ENGINEER UPON COMMENCEMENT OF CONSTRUCTION IN ORDER TO ENSURE THAT REQUIRED INSPECTIONS ARE PERFORMED IN A TIMELY AND EFFICIENT MANNER.
- CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER UPON DISCOVERY OF ANY UNFORESEEN SURFACE OR SUBSURFACE CONDITIONS THAT MAY IMPACT SITE CONSTRUCTION.
- FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EROSION CONTROL MEASURES, SUCH AS SILT FENCE OR HAY BALES AS MAY BE SHOWN HEREON, SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.
- WHERE THE WORD "INSTALL" IS USED HEREIN, IT IS INTENDED TO DIRECT CONTRACTOR TO "FURNISH, INSTALL, AND PLACE IN OPERATION" THE COMPONENT REFERRED TO.
- LIMITS OF WORK SHALL BE STAKED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL STORM DRAIN PIPE TO BE SMOOTH INTERIOR HDPE PIPE, 2.0 PSI GASKETED JOINT, UNLESS OTHERWISE NOTED.
- WHERE SHOWN, CONSTRUCTION NOTES ARE INTENDED TO SUMMARIZE AND CLARIFY MAJOR ITEMS OF WORK. THESE NOTES SHOULD NOT BE CONSTRUED AS AN EXHAUSTIVE LISTING OF ALL WORK REQUIRED. CONTRACTOR SHOULD CONTACT ENGINEER WHEN FURTHER CLARIFICATION OF DEPICTED WORK IS DESIRED.
- CONSTRUCTION OF FIRE AND DOMESTIC WATER SUPPLY IMPROVEMENTS SHALL CONFORM TO TOWN OF HARVARD REQUIREMENTS.
- WHERE DIMENSIONS INVOLVE CURB, DIMENSIONS ARE TO FACE OF CURB. WHERE SLOPED GRANITE CURB OR CAPE COD BERM SPECIFIED, FACE OF CURB IS EDGE OF FINISH PAVEMENT AT TOE OF CURB.
- NO DEBRIS, JUNK, RUBBISH OR OTHER NON-BIODEGRADABLE MATERIALS, FILL CONTAINING HAZARDOUS MATERIALS OR WASTES, OR STUMPS SHALL BE BURIED ON ANY LAND ON THIS SITE, OR LEFT ON ANY LOT OR ON THE STREET RIGHT OF WAY.

REGULATORY NOTES

- CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 888.344.7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL GIVE TWENTY-FOUR (24)-HOUR NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK IN THE FIELD.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- CONTRACTOR SHALL BE AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
- GENERAL COMPLIANCE WITH 28 CFR PART 36 - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND 521 CMR PART C, EXTERIOR OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS IS INTENDED. CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION AND SHALL NOTIFY THE OWNER OF ANY NON-COMPLIANCE ISSUES AS SOON AS DISCOVERED.



PLOT PLAN

SCALE: 1" = 300'

ZONING

Parameter	Section [1]	Requirement	Remarks
Zoning District	125-21	AR	Agriculture & Single Family Residence
Overlay Districts	125-27		Wireless Communications
Proposed Use	125-3.D	SP from ZBA	Existing non-conforming uses & building (See Plan Reference #1)
Lot Area	125-29.B(1)	1.5 acres	24.57 acres total
Frontage	125-29.B(3)	180 FT	1,862.1 FT along Littleton County Road
Yard			
	Front 125-30.E(4)	125 FT	71'±
	Side 125-30.E(3)	60 FT	326'±
	Rear 125-30.E(3)	60 FT	62'±
Open Space	125-39.C(1)	20' buffer strip (lot perimeter)	Provided
	125-39.C(2)	50% of lot area	Provided
Floor Area Ratio	125-30.B	10% land area of lot	Or 8,000 sf GFA, whichever is greater; Provided
Building Height	125-30.C	<35 FT and <3 stories	Provided
Site Plans	125-38.A(4)		Site Plan review and approval by Planning Board for commercial uses
Parking	125-39.A		Quantity not regulated 20 FT green strip for every 160 FT of parking or 10 FT green strip for every 80 FT of parking 24 FT aisle width 9' X 19' parking space

NOTES:

[1] Reference to section of Zoning Bylaw, where applicable.

ABBREVIATIONS:

SF=square feet; CF=cubic feet; FT=feet; GFA=gross floor area; GPD=gallons per day; AC=acres; A=Aquifer Overlay District; WR=Water Resource Overlay District; ZBA=Zoning Board of Appeals.

PARKING COMPUTATIONS

USE	FORMULA	VARIABLE	REQUIRED SPACES	PROPOSED SPACES
Functions	None			60*
*Includes 2 ADA accessible parking				

NOTES:

1. See Zoning Bylaw section 125-39.A.

COVERAGE COMPUTATIONS

PARAMETER	AREA (ACRES)	AREA (SQUARE FEET)	FRACTION OF TOTAL LOT AREA (%)
EXISTING CONDITION			
Lot Area	24.57	1,070,269	100%
Building Footprint	0.12	5,212	0.5%
Other Impervious Area	0.29	12,594	1.2%
Total Impervious Coverage	0.41	17,806	1.7%
DEVELOPED CONDITION			
Lot Area	24.57	1,070,269	100%
Building Footprint	0.27	11,788	1.1%
Other Impervious Area	0.63	27,498	2.6%
Total Impervious Coverage	0.90	39,286	3.7%
NET CHANGE in Total Impervious Coverage	+0.49	+21,480	+2.0%

SHEET INDEX

- TITLE SHEET
- EXISTING CONDITIONS
- EROSION & SEDIMENT CONTROL
- LANDSCAPE & SITE LAYOUT
- GRADING, DRAINAGE, & UTILITIES
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS

ASSESSORS REFERENCE

ASSESSORS MAP 14, BLOCK 53, PARCELS 1 & 2
 24.57± ACRES
 OWNER PER ASSESSOR RECORD:
 247 LITTLETON COUNTY ROAD LLC
 1 BOLTON ROAD
 HARVARD, MA 01451

PLAN REFERENCES

- "ZBA SPECIAL PERMIT PLAN - SITE PLAN 247 LITTLETON COUNTY ROAD," PREPARED BY GOLDSMITH, PREST & RINGWALL, INC. DATED MARCH 2022. SPECIAL PERMIT GRANTED BY TOWN OF HARVARD ZONING BOARD OF APPEALS ON JUNE 16, 2022. RECORDED AT WORCESTER SOUTH DISTRICT REGISTRY OF DEEDS ON SEPTEMBER 21, 2022. BK 68247 PG 318. DOCUMENT NO. 103841.
- "FERENCE CATERING - HARVARD, MA," PREPARED BY BECHTEL FRANK ERICKSON ARCHITECTS, INC. ISSUED FOR BID ON DECEMBER 9, 2022.

EXISTING CONDITIONS NOTES

- EXISTING CONDITION INFORMATION BASED ON AN ON-THE-GROUND TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY GOLDSMITH, PREST & RINGWALL, INC. DATED JANUARY 2022.

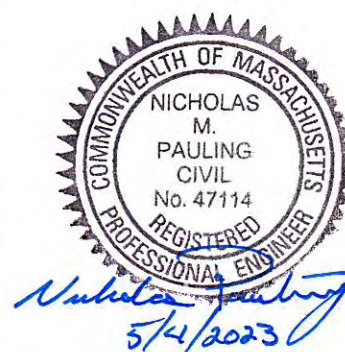
APPROVED BY THE TOWN OF HARVARD PLANNING BOARD

CHAIR _____
 APPLICATION FILED _____
 HEARING DATE _____
 PLAN APPROVED _____

DRAWING ISSUED FOR:

- CONCEPT CONSTRUCTION
 PERMIT CONSTRUCTION RECORD

THIS DRAWING MAY NOT SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, AND MAY NOT IDENTIFY ALL CONSTRUCTION WORK ITEMS/AREAS OF CONTRACTOR JURISDICTION.



PER 250 CMR 5.03(13), THE FOLLOWING ARE EXCLUDED FROM THE PROFESSIONAL ENGINEER'S RESPONSIBILITY: ALL BOUNDARY INFORMATION; LOCATION OF EXISTING STRUCTURES, TREES, UTILITIES, TOPOGRAPHY OR SIMILAR FEATURES; DESIGN OF RETAINING WALLS, PROPRIETARY EQUIPMENT. SEE EXISTING CONDITION NOTES.

NO.	DATE	BY	APP.	REVISION DESCRIPTION

GPR Engineering Solutions for Land & Structures

GOLDSMITH, PREST & RINGWALL, INC.
 39 MAIN STREET, SUITE 301, AYER, MA 01432
 CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING
 VOICE: 978.772.1590 FAX: 978.772.1591
 www.gpr-inc.com

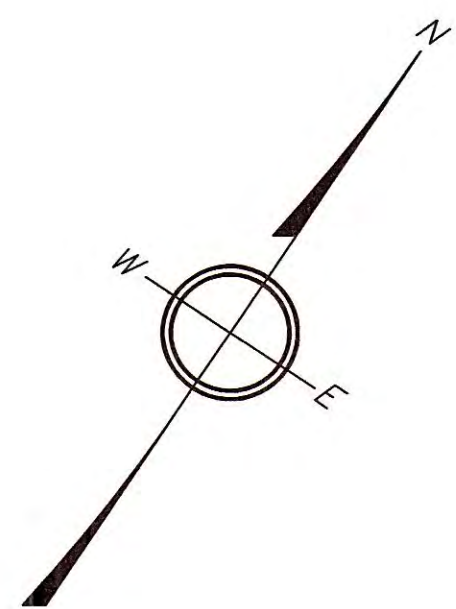
COMMERCIAL DEVELOPMENT
 SITE PLAN REVIEW APPLICATION

TITLE SHEET

247 LITTLETON COUNTY ROAD
 HARVARD, MA

PREPARED FOR:
 WILLIAM FERENCE
 40 MASS. AVE.
 HARVARD, MA

DES. BY: DJG DATE: MAY 2023 JOB 211137 1 OF 6
 CHK. BY: NMP



LEGEND

- EXISTING**
- ELEVATION CONTOUR
 - SPOT GRADE
 - PROPERTY LINE
 - WETLAND DELINEATION
 - WETLAND BUFFER ZONE
 - SHORELINE
 - 100-YEAR FLOODPLAIN LIMIT
 - TREE LINE / EDGE OF VEGETATION
 - EDGE OF PAVEMENT
 - CAPE COD BERM CURBING
 - GRANITE CURBING
 - GRAVEL/DIRT ROAD
 - STOCKADE FENCE
 - STONE WALL
 - WATER MAIN
 - WATER SERVICE
 - FIRE SERVICE
 - WATER VALVE
 - FIRE HYDRANT
 - FORCE MAIN
 - GRAVITY SEWER LINE
 - SEWER MANHOLE
 - GAS LINE
 - GAS SERVICE
 - GAS VALVE
 - BURIED POWER LINE
 - OVERHEAD POWER LINE
 - UTILITY POLE
 - GUY WIRE
 - ELECTRIC BOX
 - STORM DRAIN
 - UNDERDRAIN
 - ROOF DRAIN
 - FOUNDATION DRAIN
 - CATCH BASIN
 - DRAIN MANHOLE
 - SILT FENCE BARRIER
 - STRAW WATTLES
 - DEEP SOIL OBSERVATION HOLE
 - SITE LUMINAIRE
 - SIGN
 - SURFACE RUNOFF DIRECTION
 - STONE BOUND
 - DRILL HOLE
 - IRON ROD

ABBREVIATIONS

- | | | | |
|------|-------------|------|---------------------------|
| EL | ELEVATION | HDPE | HIGH DENSITY POLYETHYLENE |
| INV | INVERT | PVC | POLYVINYL CHLORIDE |
| SF | SQUARE FEET | RCP | REINFORCED CONCRETE PIPE |
| AC | ACRES | N/F | NOW OR FORMERLY |
| FT | FEET | VP | VERNAL POOL |
| R | RADIUS | WF | WETLAND FLAG |
| DIA | DIAMETER | TW | TOP OF WALL |
| BIT | BITUMINOUS | BW | BOTTOM OF WALL |
| CONC | CONCRETE | FG | FINISH GRADE |
| L | LENGTH | BSMT | BASEMENT |
| S | SLOPE | FF | FINISH FLOOR |

DRAWING ISSUED FOR:

- CONCEPT CONSTRUCTION
 PERMIT CONSTRUCTION RECORD

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NO.	DATE	BY	APP.	REVISION DESCRIPTION



GOLDSMITH, PREST & RINGWALL, INC.
 39 MAIN STREET, SUITE 301, AYER, MA 01432
 CIVIL ENGINEERING + LAND SURVEYING + LAND PLANNING
 VOICE: 978.772.1690 FAX: 978.772.1691
 www.gpr-inc.com

**COMMERCIAL DEVELOPMENT
 SITE PLAN REVIEW APPLICATION**

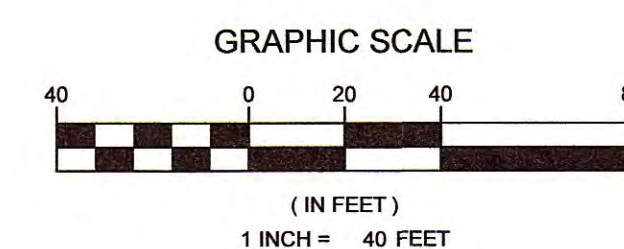
EXISTING CONDITIONS

**247 LITTLETON COUNTY ROAD
 HARVARD, MA**

PREPARED FOR:
 WILLIAM FERENCE
 40 MASS. AVE.
 HARVARD, MA

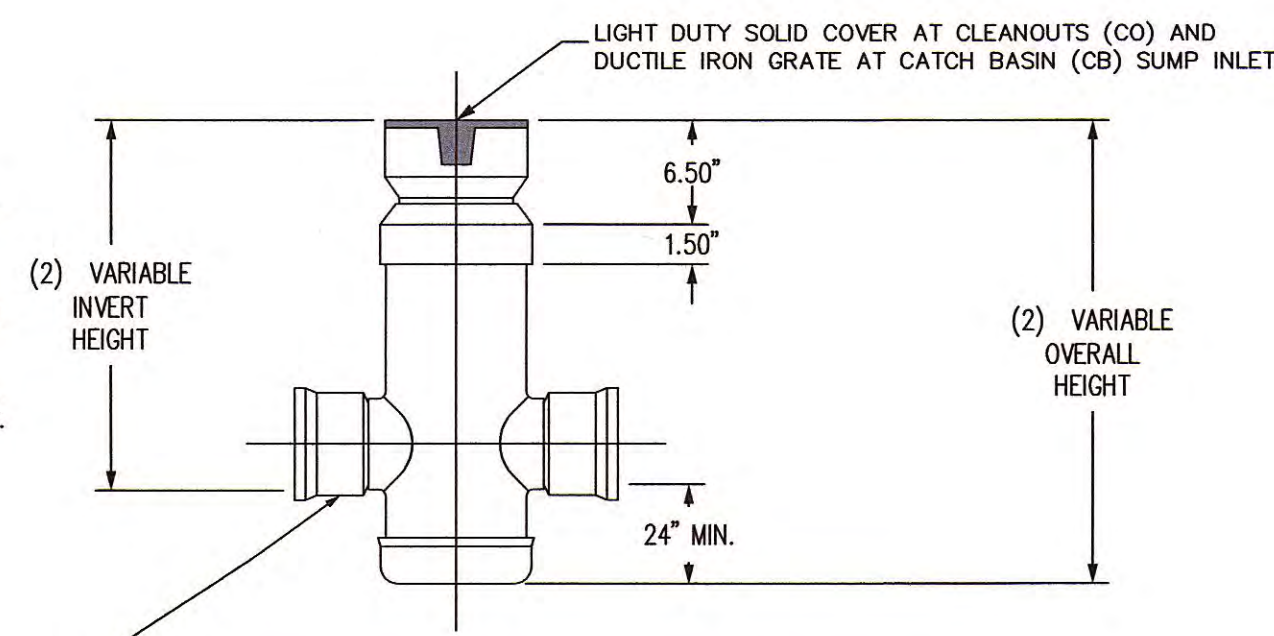
DES. BY: DJG	DATE: APRIL 2023	JOB 211137	2 OF 6
CHK. BY: NMP			

SURVEY NOTES:
 1. SEE TITLE SHEET FOR NOTES AND REFERENCES.



LCB NOTES:

- SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
- STANDARD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS OF 0° & 180°. CUSTOM DRAIN BASIN ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- DIMENSIONS ARE FOR REFERENCE ONLY ACTUAL DIMENSIONS MAY VARY.

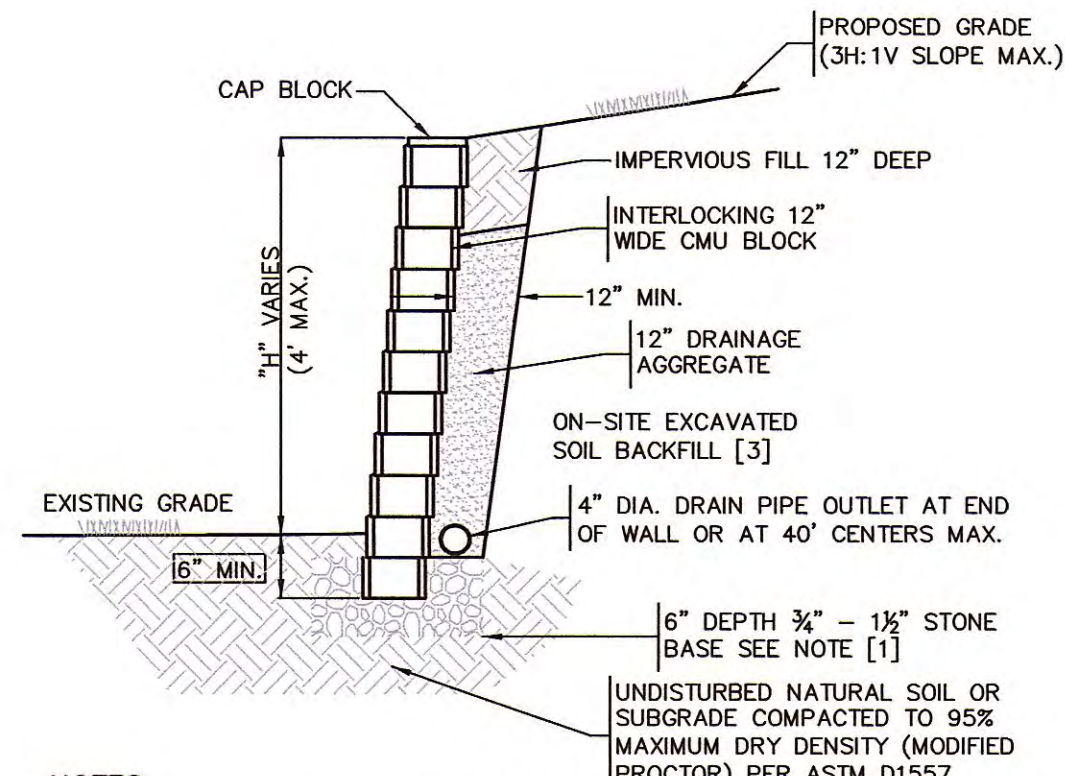


(3,4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE:
 4" - 8" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR SINGLE WALL), PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC

Nyloplast
 3130 VERONA AVE
 BUFORD, GA 30518
 PHN (770) 932-2443
 FAX (770) 932-2490
 www.nyloplast-us.com

"LCB" LANDSCAPE CATCH BASINS (OR EQUAL)

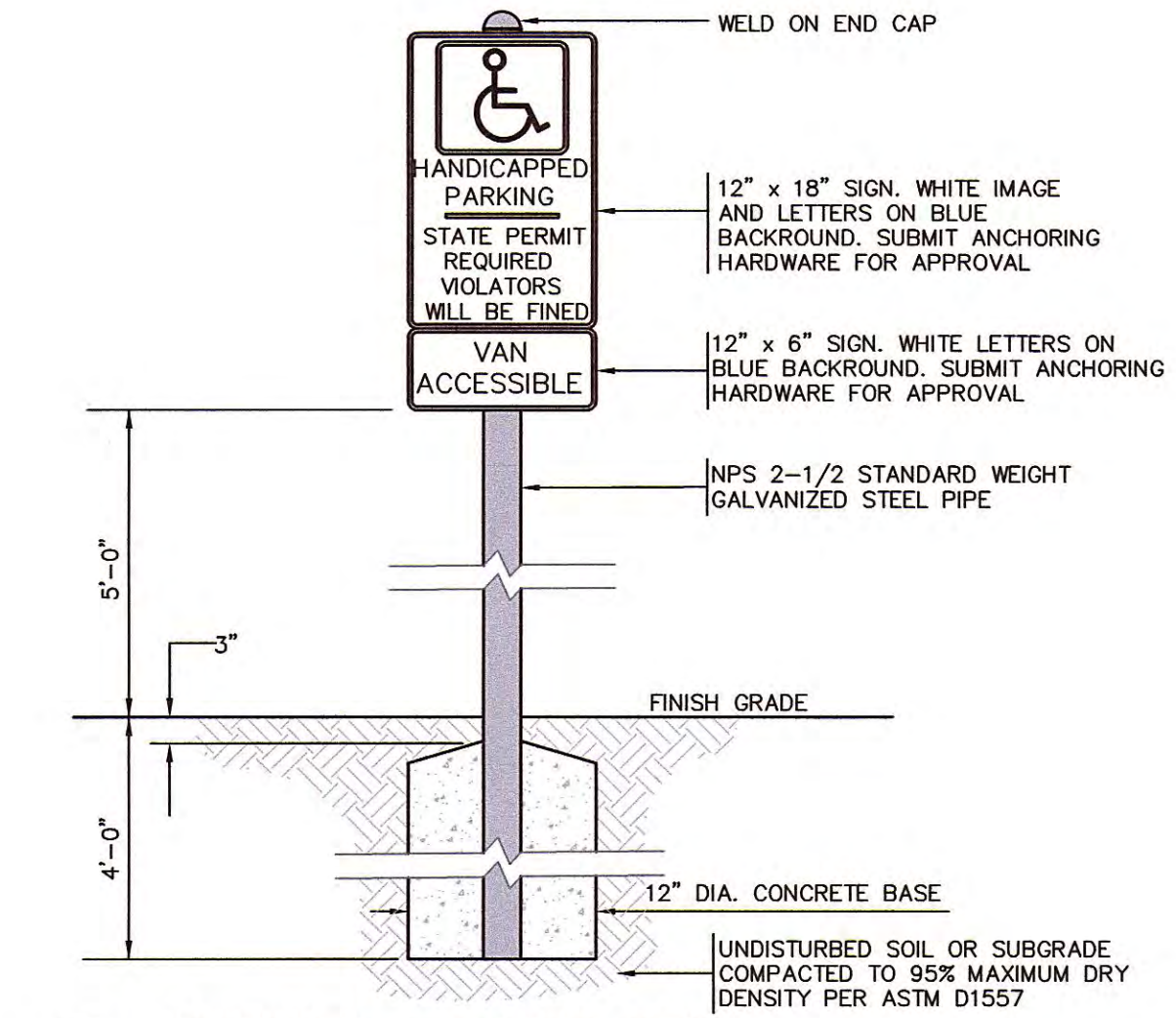
NOT TO SCALE



- NOTES**
- REMOVE ORGANIC MATERIAL TO A MAX. DEPTH OF 2 FEET AND REPLACE WITH 3/4" TO 1 1/2" STONE BASE.
 - CONSTRUCT INTERLOCKING CMU BLOCK WALL IN ACCORDANCE W/ MFG. RECOMMENDATIONS.
 - PLACE FILL BEHIND WALL IN MAX. 8" LIFTS AND COMPACT TO 95% OF MAXIMUM DRY DENSITY.
 - DESIGN ENGINEER SHALL OBSERVE SOILS IN BASE EXCAVATION FOR SUITABILITY OF USE PRIOR TO CONSTRUCTION OF RETAINING WALL.

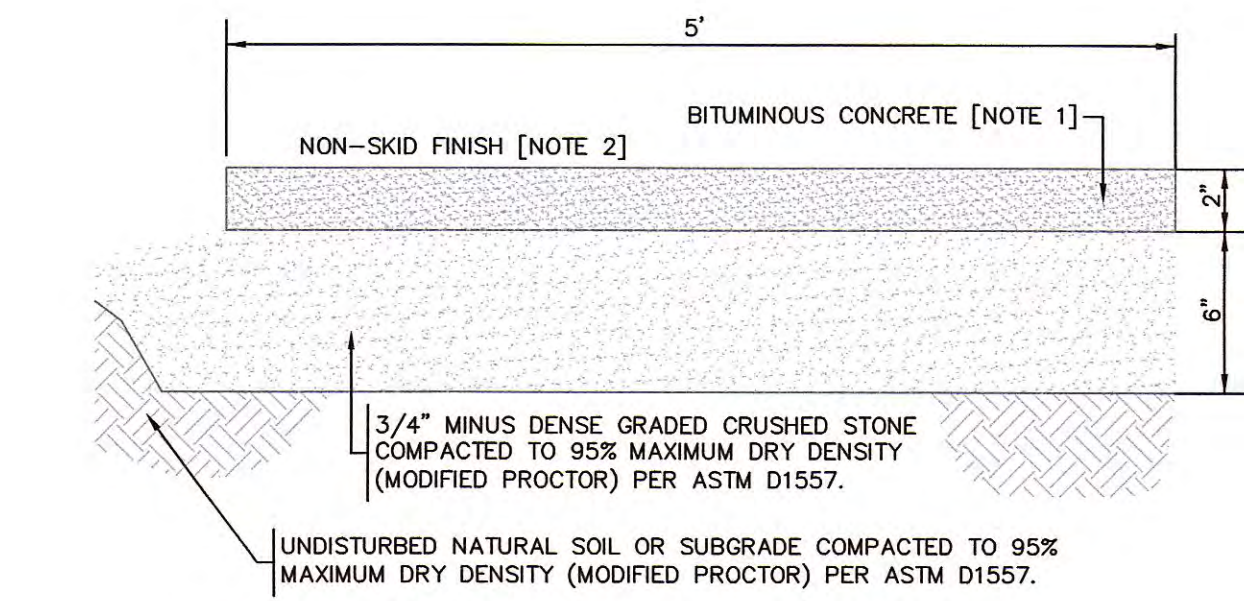
LANDSCAPE RETAINING WALL

TYPICAL CROSS SECTION
 NOT TO SCALE



HANDICAP PARKING SIGN

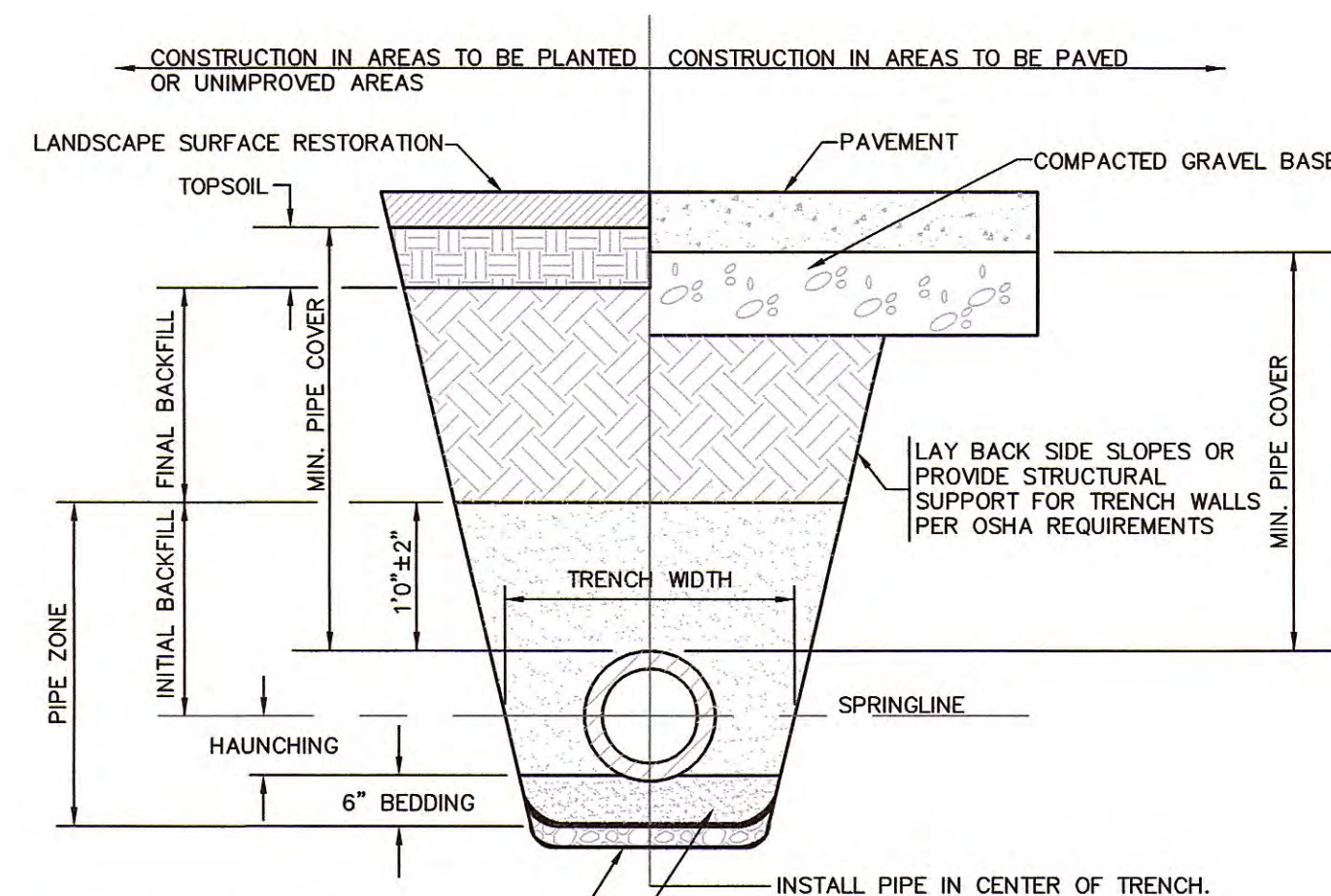
NOT TO SCALE



- NOTES:**
- MHD M3.11.03 CLASS I, TYPE I-1 BITUMINOUS CONCRETE. 1/2" MAXIMUM AGGREGATE OR PARTICLE SIZE. COMPACT TO TEST AVERAGE OF 95% NO TEST LOWER THAN 93%.
 - SLOPE 5% MAXIMUM.

BITUMINOUS CONCRETE WALK

TYPICAL CROSS SECTION
 NOT TO SCALE



FOUNDATION STABILIZATION WHEN REQUIRED BY ENGINEER, OTHERWISE, PLACE BEDDING ON UNDISTURBED NATURAL SOIL.

SHAPE BEDDING BY HAND TO FIT BOTTOM OF PIPE. INSTALL PIPE ON STABLE BEDDING WITH UNIFORM BEARING UNDER FULL LENGTH OF PIPE BARREL.

TRENCH WIDTH:
 [1] MINIMUM WIDTH OF TRENCH MEASURED AT SPRINGLINE OF PIPE, INCLUDING ANY NECESSARY SHEATHING:

PIPE I.D.	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

MINIMUM PIPE COVER:
 [1] MINIMUM SOIL COVER OVER TOP OF PIPE.

PIPE MATERIAL	HDPE, PVC	RC, DI
WATER	5' - 0"	5' - 0"
SEWER	4' - 0"	4' - 0"
DRAIN	2' - 0"	1' - 0"

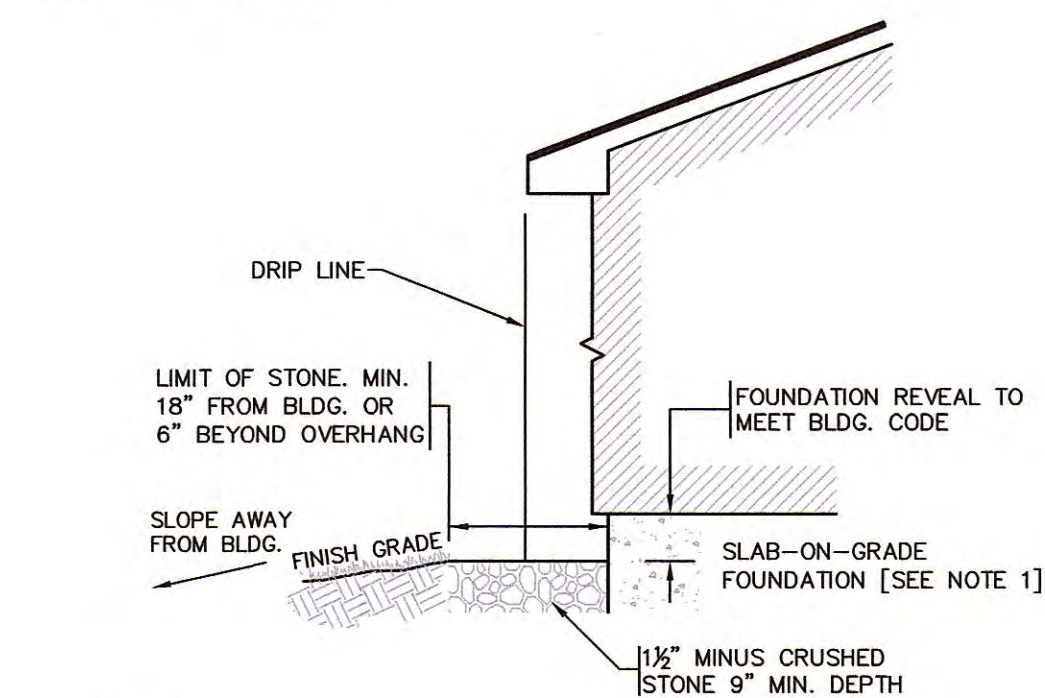
MATERIAL KEY NOTES (SEE TABLE BELOW):

- PLACE 2" MINUS CRUSHED STONE.
- PLACE 1/2" MINUS SAND BORROW (MHD M1.04.1), AT OPTIMUM MOISTURE IN HORIZONTAL 8" DEEP LOOSE LAYERS, COMPACT TO 95% PER ASTM D-1557 MODIFIED PROCTOR METHOD.
- IN PLANTED OR UNIMPROVED AREAS, USE 2-INCH MINUS ON-SITE EXCAVATED MATERIAL. COMPACT TO 80% PER ASTM D-1557. IN PAVED AREAS, OBTAIN ENGINEER APPROVAL OF 2-INCH MINUS ON-SITE EXCAVATED MATERIALS.

FOUNDATION, BEDDING AND BACKFILL MATERIALS		
PIPE MATERIAL	HDP, PVC	RC, DI
FOUNDATION STABILIZATION	[NOTE 1]	[NOTE 1]
BEDDING	[NOTE 2]	[NOTE 2]
HAUNCHING	[NOTE 2]	[NOTE 2]
INITIAL BACKFILL	[NOTE 2]	[NOTE 2]
FINAL BACKFILL	[NOTE 3]	[NOTE 3]

PIPE TRENCH

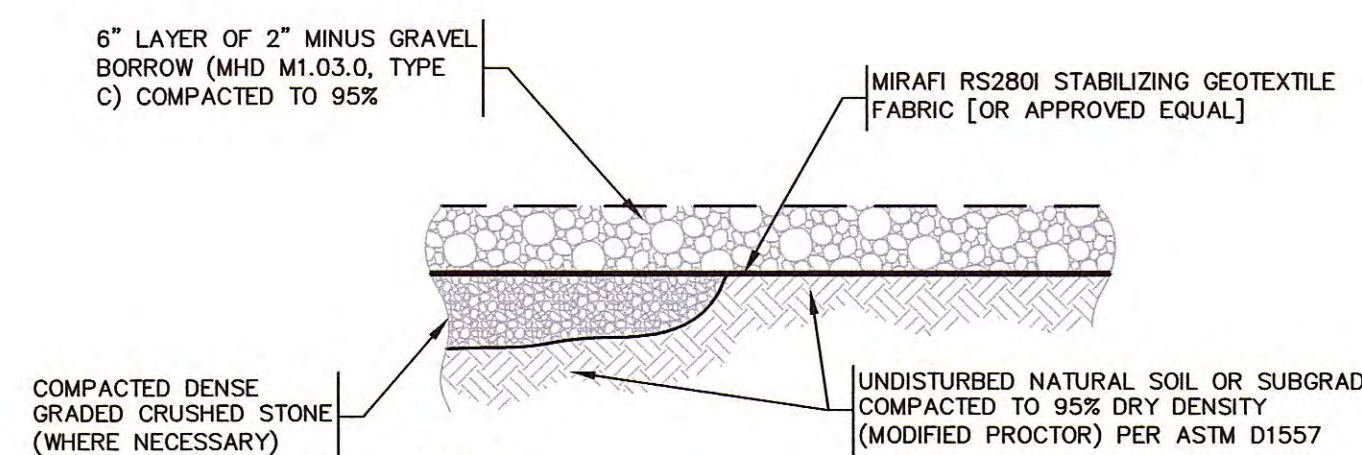
TYPICAL CROSS SECTION
 NOT TO SCALE



- NOTES:**
- DO NOT USE DRIP EDGE ADJACENT HABITABLE SPACES LOCATED BELOW GRADE (I.E. BASEMENT). IN SUCH CASES, CONSULT WITH ENGINEER REGARDING CUTTERS, FOUNDATION DRAINS, SUMP PUMPS, AND OTHER MEASURES TO LESSEN THE LIKELIHOOD OF INTERIOR FLOODING.

DRIP EDGE

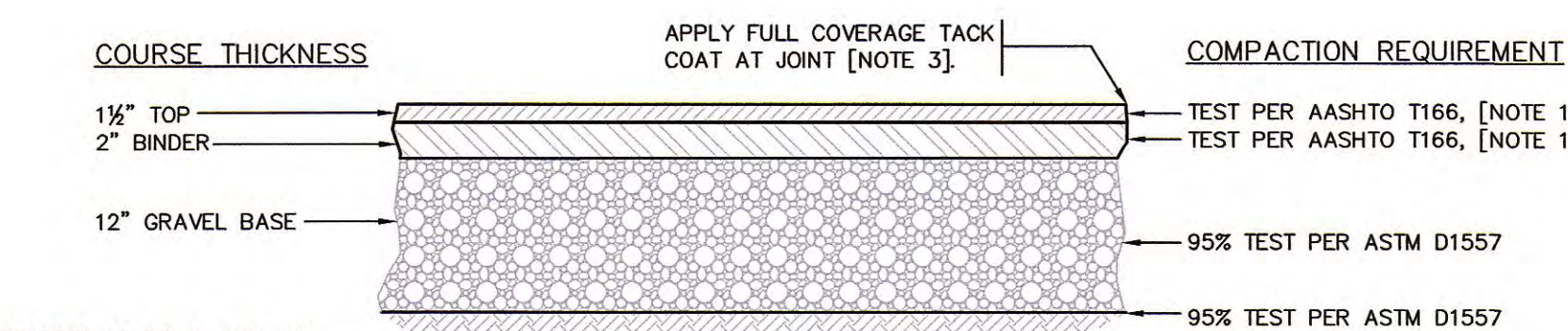
TYPICAL CROSS SECTION
 NOT TO SCALE



- NOTES:**
- UNSATURABLE MATERIAL IN THE SUBGRADE SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SUBSTITUTE MATERIAL: 3/4" MINUS DENSE GRADED CRUSHED STONE.
 - FINAL GRAVEL DRIVEWAY STABILIZATION DESIGN TO BE CONFIRMED BY THE GEOTECHNICAL ENGINEER.

GRAVEL DRIVEWAY/PARKING

TYPICAL CROSS SECTION
 NOT TO SCALE



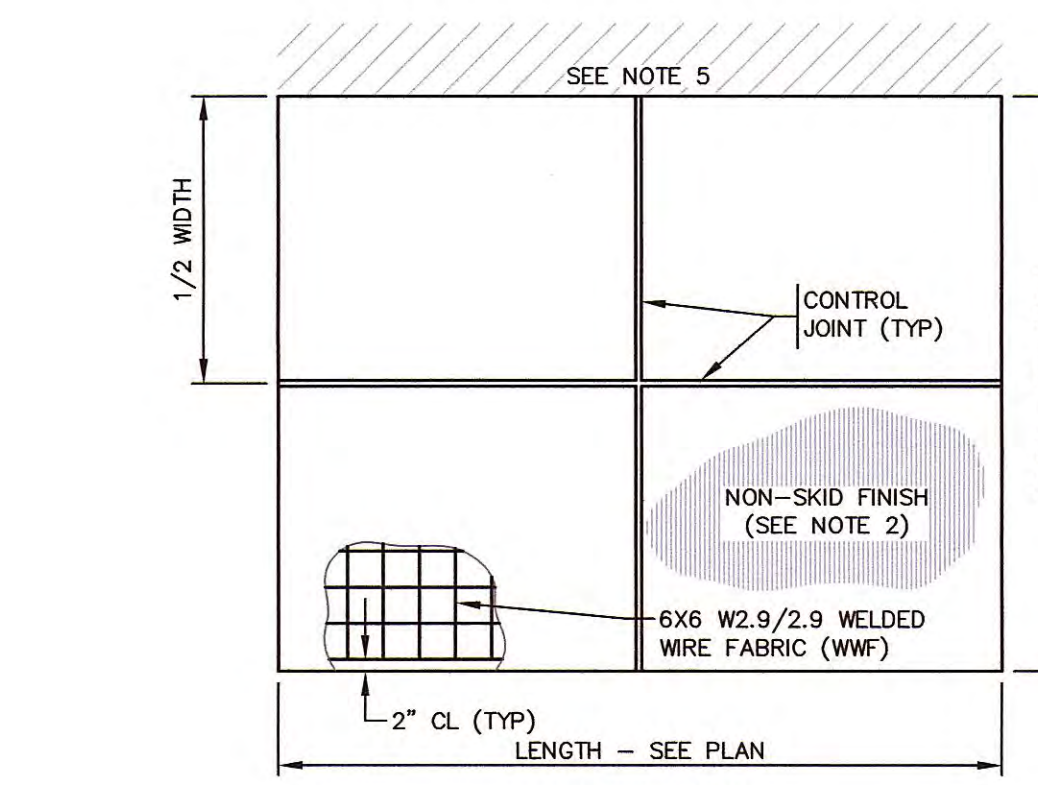
UNDISTURBED NATURAL SOIL OR SUBGRADE COMPACTED TO 95% DRY DENSITY (MODIFIED PROCTOR) PER ASTM D1557 (REMOVE UNSUITABLE MATERIAL, LOAM AND ORGANICS)

COURSE	MATERIAL	SPECIFICATION PER MASS HIGHWAY DEPARTMENT (MHD)	MAX AGG. SIZE (INCH)
TOP	BITUMINOUS CONCRETE	M3.11.03 CLASS I, TYPE I-1	1/2
BINDER	BITUMINOUS CONCRETE	M3.11.03 CLASS I, TYPE I-1	3/4
BASE	GRAVEL BORROW [2]	M1.03.0 TYPE B	3
UNSATURABLE SUBGRADE	ORDINARY BORROW	ON-SITE EXCAVATED MATERIAL	12

- NOTES:**
- COMPACT TO TEST AVERAGE OF 95% NO TEST LOWER THAN 93%.
 - ACCEPTABLE SUBSTITUTE MATERIAL: 3/4" MINUS DENSE GRADED CRUSHED STONE.
 - EXISTING PAVEMENT SHALL BE SAW CUT VERTICALLY AT FINAL JOINT LOCATIONS.

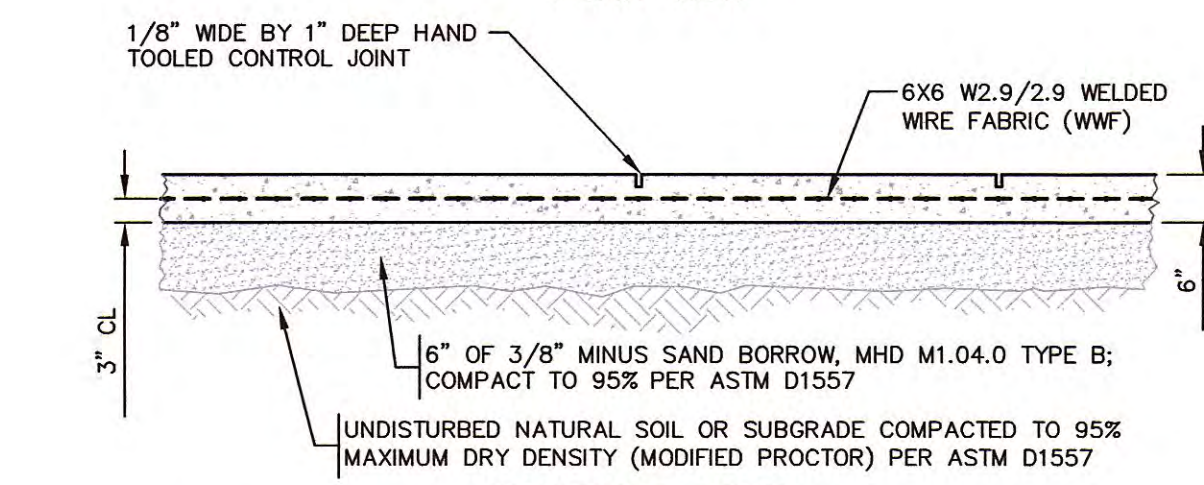
BITUMINOUS CONCRETE PAVEMENT

TYPICAL CROSS SECTION
 NOT TO SCALE



CEMENT CONCRETE SLAB

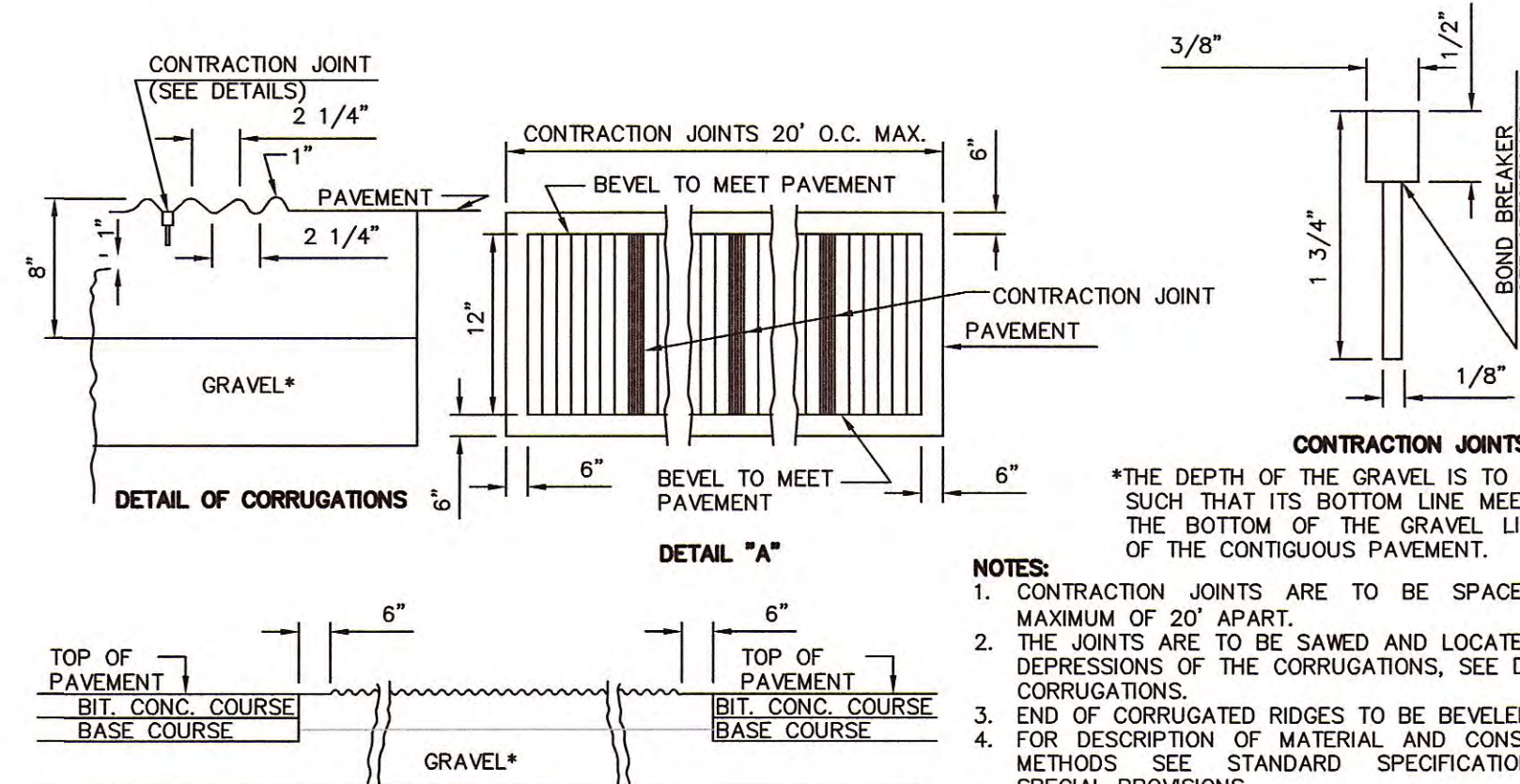
NOT TO SCALE



- NOTES:**
- CEMENT CONCRETE: 4000 PSI AT 28 DAYS W/ 3/8" MINUS MAXIMUM PARTICLE SIZE (MHD M4.02.00).
 - PROVIDE MEDIUM HAIR BROOM FINISH TO ALL EXPOSED SURFACES. USE ROUGH HAIR BROOM ON GRADES OVER 6%.
 - WHERE SLAB ABUTS FACE OF BUILDING, AN ISOLATION JOINT SHALL BE USED BETWEEN SLAB AND BUILDING.

CEMENT CONCRETE SLAB

NOT TO SCALE



- NOTES:**
- CONTRACTION JOINTS ARE TO BE SPACED AT A MAXIMUM OF 20' APART.
 - THE JOINTS ARE TO BE SAWED AND LOCATED IN THE DEPRESSIONS OF THE CORRUGATIONS, SEE DETAIL OF CORRUGATIONS.
 - END OF CORRUGATED RIDGES TO BE BEVELED.
 - FOR DESCRIPTION OF MATERIAL AND CONSTRUCTION METHODS SEE STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS.
 - SCORED CEMENT CONCRETE TO BE 5000 psi. SEE MASSDOT SPECIFICATIONS FOR DESIGN REQUIREMENTS.
 - THOUGH FLUSH WITH OR ABOVE ADJACENT PAVEMENT FOR DRAINAGE.

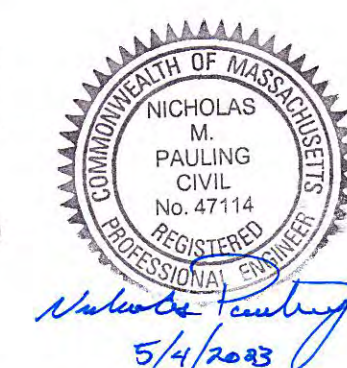
SCORED CEMENT CONCRETE PAVEMENT

NOT TO SCALE

DRAWING ISSUED FOR:

- CONCEPT CONSTRUCTION
 PERMIT CONSTRUCTION RECORD

THIS DRAWING MAY NOT SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, AND MAY NOT IDENTIFY ALL CONSTRUCTION WORK ITEMS/AREAS OF CONTRACTOR JURISDICTION.



PER 250 CMR 5.03(13), THE FOLLOWING ARE EXCLUDED FROM THE PROFESSIONAL ENGINEER'S RESPONSIBILITY: ALL BOUNDARY INFORMATION; LOCATION OF EXISTING STRUCTURES, TREES, UTILITIES, TOPOGRAPHY OR SIMILAR FEATURES; DESIGN OF RETAINING WALLS, PROPRIETARY EQUIPMENT. SEE EXISTING CONDITION NOTES.

NO.	DATE	BY	APP.	REVISION DESCRIPTION

GPR Engineering Solutions for Land & Structures

GOLDSMITH, PREST & RINGWALL, INC.
 39 MAIN STREET, SUITE 301, AYER, MA 01432
 CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING
 VOICE: 978.772.1590 FAX: 978.772.1591
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COMMERCIAL DEVELOPMENT SITE PLAN REVIEW APPLICATION
CONSTRUCTION DETAILS

247 LITTLETON COUNTY ROAD
 HARVARD, MA

PREPARED FOR:
 WILLIAM FERENCZ
 40 MASS. AVE.
 HARVARD, MA

DES. BY: DJG	DATE: MAY 2023	JOB 211137	6 OF 6
CHK. BY: NMP			

Site Plan Review Application

**247 Littleton County Road
Harvard, MA**

May 2023

**Submitted to:
Harvard Planning Board
13 Ayer Road
Harvard, MA 01451**

**Submitted by:
William Ference
40 Massachusetts Ave
Harvard, MA 01451**

**Prepared by:
Goldsmith, Prest & Ringwall, Inc.
39 Main Street, Suite 301
Ayer, MA 01432**

**Project No:
211137**



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Site Plan Review Application

Erosion Control Application

Scenic Road Application

Appendix

Agent Authorization Letter

Harvard Certified List of Abutters

Boxborough Certified List of Abutters

Site Photos

Attachments

Commercial Development - Site Plan Review Application

247 Littleton County Road, Harvard, MA (24"x36")

Prepared by Goldsmith, Prest & Ringwall, Inc.

NARRATIVE

to accompany

SITE PLAN REVIEW APPLICATION

247 Littleton County Road, Harvard, MA 01451

GENERAL

The property at 247 Littleton County Road ("the property") is an existing lot consisting of 24.57 acres± with an existing building, associated driveway, and agricultural land. The property is also known as Friendly Crossways and has functioned as an event venue, retreat and conference center with lodging, and hostel for the past 75 years, dating back to at least 1947. A Special Permit was issued by the ZBA on April 22, 2022, recorded at the WSRD in book 68247 page 319, allowing the continued non-conforming use as an events venue and allowing the construction of a commercial kitchen and tent platform. The property is referenced by the Town of Harvard Assessors as Map 14, Parcels 53.1 & 53.2 and is zoned as Agricultural-Residential (AR).

PROJECT DESCRIPTION

The applicant would like to construct a commercial kitchen that is critical to the continued use as an event venue and is required by the Board of Health in order to prepare food on-site. The proposed kitchen addition will be approximately 1,650 square feet (sf) and located in the back of the existing building at basement level. Past events at the property traditionally took place under a tent set up outside in the spacious lawn behind the building to the north. The applicant is proposing to enhance this area by installing a 4,500-sf concrete platform to support a seasonal tent for future events. Gas and electrical lines will be installed to service the platform. Other structures such as a trailer containing restrooms, raised garden beds and a 480-sf barn are being proposed in the vicinity of the tent platform to support events that will take place on-site. Previous guests to the property have parked in an abutting lot, based solely on a handshake agreement with the property owner. To provide greater safety and experience, a new gravel parking lot will be constructed in the southeastern corner adjacent to the existing corn field on-site. The entrance to the gravel parking will be paved with a traffic island and be located directly across from the entrance to the Harvard Sportsman's Club. The paved area located next to the existing building will be reclaimed as lawn surface, with an ADA accessible parking spot and VIP parking to remain. The proposed parking has been designed to meet Harvard's parking requirements pursuant to Section 125-39 Site Standards.

The current septic system is very old and without a grease trap, therefore it will be inadequate to service the proposed commercial kitchen. The current system will be abandoned in accordance with Title 5 requirements. A grease trap will be installed for the proposed kitchen which will be connected to a new upgraded subsurface sewage disposal system located south of the proposed tent platform and north of the existing building as shown on the site plans. The existing building sewer will be rerouted to the proposed system via new piping. The system will include a pump station that will connect to the proposed soil absorption area through a force main. The soil absorption area shall be located in the corn field, north of the proposed gravel parking lot.

Erosion control shall be performed using a straw wattle and silt fence barrier as shown on the site plans. A temporary stone construction entrance shall be installed for the construction of the gravel parking lot and proposed soil absorption area. There are no trees proposed to be cut or removed for the project. Trees outside of the limit of work will be preserved and protected

throughout construction. A portion of the existing stone wall along Littleton County Road will be relocated to the south in order to construct the gravel parking entrance. The stones removed for the opening will be used to enhance the adjacent sections of the wall. Further, the applicant will be removing invasive and other vegetation from the stone wall to make the wall visible again.

The site currently provides recharge through the naturally occurring depression (recharge basin) located west of the cornfield. Much of the project site will continue to drain to this area for recharge. Roof runoff from the proposed kitchen will be routed to the recharge basin via 6" HDPE piping. A proposed landscape catch basin located near the kitchen will receive incoming stormwater flows which will be connected to the same pipe outlet.

It is our belief that the continued use and the proposed alterations to enhance and bring the property into conformance will adhere to the provisions of Chapter 125 Protective Bylaw.

APPLICATION TO THE HARVARD PLANNING BOARD

Applicants should review the Harvard Protective (Zoning) Bylaw, Chapter 125 of the Code of the Town of Harvard, the Planning Board's Rules and Regulations, Chapter 133 of the Code of the Town of Harvard and the Requirements regarding Driveway Inspections (Chapter 125 of the Protective Bylaw). Copies of the Bylaw may be purchased from the Town Clerk and copies of the Rules and Regulations may be purchased from the Land Use Office. Information is also available online at www.harvard.ma.us. The Rules and Regulations specify the documents that are required as a part of the application. The Application, with certified abutters list and filing fee, must be filed with the Town Clerk.

Name of Applicant: William Ference

Address: 40 Mass. Ave, Harvard, MA 01451 Phone: 267-566-2637 Email: Bill.Ference@gmail.com

Applicant is (check one): Owner Agent Prospective Buyer

Location of Property: 247 Littleton County Rd Zoning District: AR

Harvard Assessors' Map 14 Parcel 53.1 & 53.2

Registry of Deeds: Book Number 67898 Page Number 271

Owner's Name: Same as Applicant Email: _____

Owner's Address: Same as Applicant Owner's Phone: _____

Seventeen (17) copies of the application must be submitted to the Town Clerk. This application is for:

- Special Permits* \$500/required permit
- Driveway Site Plan \$180
- Inspections of Driveways \$300
- Approval of Covenant \$100
- Wireless Communication Tower \$2500
- Consultant Review Fee** \$1000
- Site Plan Review with a Special Permit \$180
- Site Plan Review without a Special Permit \$500
- Modification/Extension 1/2 of original application fee

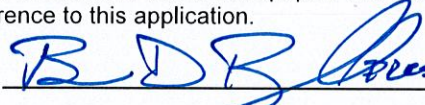
Specific bylaw section(s) you are applying under 125-39.A(4)

* Unless otherwise specified

** Required with all Special Permit Applications. This is a deposit to cover costs of Planning Board consultants and additional amounts may be required depending on the complexity of the Application. All unused monies will be returned. Please submit "Request for New Vendor" form with application. (Available on line at www.harvard.ma.us under Forms & Documents)

All applications associated with a Wireless Communication Tower requires proof of compliance with § 125-27H(2)

All filing fees are cumulative. All Special Permits and uses subject to Site Plan Approval require Driveway Inspections and written approval by the Planning Board, or its agent, prior to issuance of an occupancy permit or use of the premises (§ 125-31 C) All Shared (common) Driveways require an approved covenant running with the land in accordance with § 125-31 B (4) (b). The applicant will be required to pay a local newspaper of general circulation for the current cost of advertising the hearing. The applicant will be billed directly from the newspaper for the cost of the advertised hearing or all advertising must be paid for in full prior to submittal to the newspaper. The undersigned hereby requests a hearing before the Planning Board with reference to this application.

Signed: 
Bruce Ringwall, Pres., GPR, as Agent for Owner

EROSION CONTROL APPLICATION

Applicants should review the Harvard Protective (Zoning) Bylaw, Chapter 125-58 of the Code of the Town of Harvard, the Planning Board's Rules and Regulations, Chapter 133 of the Code of the Town of Harvard. Copies of the Bylaw may be purchased from the Town Clerk and copies of the Rules and Regulations may be purchased from the Land Use Office. Information is also available online at www.harvard-ma.gov. The Rules and Regulations specify the documents that are required as a part of the application.

Applicant's Name: William Ference

Address: 40 Mass. Ave, Harvard, MA 01451 Phone: 267-566-2637 Email: Bill.Ference@gmail.com

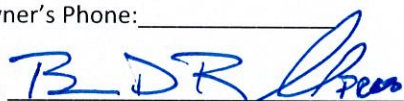
Applicant is (check one): Owner Agent Prospective Buyer

Location of Property: 247 Littleton County Road Zoning District: AR

Harvard Assessors' Map 14 Parcel 53.1 & 53.2

Owner's Name: Same as Applicant Email: _____

Owner's Address: Same as Applicant Owner's Phone: _____

Signed: 

Bruce Ringwall, Pres., GPR, as Agent for Owner

APPLICATION CHECK LIST

Minor Permit

- Sketch plan showing limits, scope of work and proposed Best Management Practices (BMPs)
- Project narrative that includes a description of the proposed project and a description of how and where stormwater will be controlled and erosion and sediment controls to be used
- \$25.00 filing fee

Major Permit

- Applicants shall file one (1) original completed application packet and seven (7) copies
- Project narrative that includes a description of the proposed project and a description of how and where stormwater will be controlled and erosion and sediment controls to be used, plus a description of any specimen trees within the project area.
- Engineered plan set, signed and stamped by a professional engineer or a professional land surveyor registered in the Commonwealth of Massachusetts, and drawn at a legible scale and including:

- **Existing and proposed conditions plans**, which shall identify significant natural features and native trees greater than a diameter of (6) inches within the project area.
- **Erosion control plan**, which shall include the following related specifically to the disturbance area:
 - Location of all structural and non-structural erosion and sediment control measures and BMPs;
 - Locations where stabilization practices are expected to occur;
 - Locations for storage of materials, waste, vehicles, equipment, soil, snow, and other potential contaminants;
 - Operations and Maintenance Plan for BMP's including inspections and maintenance activities as noted in §133-41 below;
 - Areas where previous stabilization has been accomplished and no further construction-phase permit requirements apply; and
 - Any other information deemed necessary by the Planning Board.

■ \$200.00 filing fee

TOWN OF HARVARD PLANNING BOARD



APPLICATION & CHECKLIST FOR A HEARING UNDER THE SCENIC ROAD BYLAW, CHAPTER 90 CODE OF THE TOWN OF HARVARD & M.G.L. Chapter 40 §15C SCENIC ROAD ACT

The Scenic Road Bylaw provides that any repair, maintenance, reconstruction or paving work done with respect to any road designated as a Scenic Road shall not involve or include the cutting or removal of trees or tearing down or destruction of stone walls, or portions thereof, except with prior written consent of the Planning Board after a public hearing.

Seventeen (17) copies of the application, checklist, abutters list, accompanying plans and statements along with a filing fee of \$150.00 shall be submitted to the Planning Board.

Applicant's Name: William Ference

Mailing Address: 40 Mass. Ave, Harvard, MA 01451 Phone#: 267-566-2637

Property Owner's Name: Same as Applicant

Mailing Address: Phone #:

Location of Subject Property: 247 Littleton County Road

Assessor's Map: 14 Parcel: 53.1 & 53.2

Deed Recorded in the Worcester Registry of Deeds in Book: 67898 Page: 271

Or Certificate #:

Representatives Name: Goldsmith, Prest & Ringwall, Inc.

Mailing Address: 39 Main St, Suite 301, Ayer, MA 01432 Phone#: 978-772-1590

What type of project is proposed: Applicant is proposing to construct a commercial kitchen, tent platform, associated parking and utilities, and other structures for the continued use of the site as an event venue.

Applicant's Signature: Bruce Ringwall, Pres., GPR, as Agent for Owner Date: 5/2/2023

NOTE: If applicant is not the owner of the property please attach written consent from the owner.

A Representative may sign on behalf of the applicant with written consent.

SCENIC ROAD APPLICATION CHECKLIST

The following checklist is a part of the Scenic Road Application Form to be completed by the Applicant.

- A written description and plans or drawings showing the entire frontage and the location and nature of the proposed disturbance area. The description should enable readers to locate the area of disturbance with reasonable specificity on the ground without the need for additional plans or references;
- Photographs of all stone walls and trees within and adjacent to the proposed disturbance area prior to any work,
- If tree removal is required, a separate application shall be submitted to the Tree Warden for a hearing under the Shade Tree Act, MGL Chapter 87, which may be held concurrently with the Scenic Road Hearing;
- A statement explaining the reason for the cutting or removal of a tree(s) or the tearing down or destruction of stone walls, or portions thereof, in the proposed disturbance area;
- A statement outlining possible alternatives, proposed compensatory actions, and mitigation measures including restoration, to the proposed cutting or removal of a tree(s) or the tearing down or destruction of stone walls, or portions thereof;
- A list, certified by the Assessor's office, of abutters, as defined herein;
- Except in the case of town agencies, a Scenic Road Consent fee as specified on the Planning Board's application form made payable to the Town of Harvard,
- Any other explanatory material useful to adequately inform the Planning Board and Tree Warden prior to the public hearing.

APPENDIX

March 9, 2022

**Subject: 247 Littleton County Rd, Harvard, MA
Map 14, Parcels 53.1 & 53.2**

To Whom It May Concern:

I hereby authorize Goldsmith, Prest & Ringwall, Inc., 39 Main Street, Suite 301, Ayer, MA, 978.772.1590, to act as my agent in administrative and civil engineering matters pertaining to permitting of existing uses at the subject site. This authorization covers the execution of application forms, presentation of plans and designs, and communication with involved parties.

Respectfully,

A handwritten signature in black ink, appearing to read "Bill Ference". The signature is written in a cursive style with a long horizontal stroke at the end.

Bill Ference
40 Mass Ave.
Harvard, Ma 01451

Copy: Goldsmith, Prest & Ringwall, Inc.
File - 211137



TOWN OF HARVARD
ASSESSORS OFFICE
13 AYER ROAD
HARVARD, MA 01451
978-456-4100 X315

RECEIVED
MAR 16 2023

BOARD OF ASSESSORS
TOWN OF HARVARD

REQUEST FOR CERTIFIED ABUTTERS LIST

PROPERTY LOCATION: 247 Littleton County Road

MAP/BLOCK/LOT: 14 / 53.1 & 53.2 (2 parcels)

PROPERTY OWNERS: 247 Littleton County Road LLC

REQUIRED FOOTAGE: 300'

I've attached the one prepared for this address one year ago to assist with preparation.

CONTACT INFORMATION

EMAIL ADDRESS: bringwall@gpr-inc.com or reception@gpr-inc.com (Susan Durant)

MAILING ADDRESS IF DIFFERENT FROM PROPERTY LOCATION:

GPR, Inc. , 39 Main St, Ste 301, Ayer, MA 01432

FEE: \$25.00

#50.00 2 parcels

To be paid with completed Abutters List request by Cash or Check

payable to the Town of Harvard

****Please allow 10 working days for your request to be processed****

If you have questions or concerns, please contact the Assessors office at

assessingdept@havard-ma.gov or 978-456-4100x315

Emailed: 3-16-23
Package

Sent
originals: 3-16-23
USPS



Abutters List Report
Town of Harvard, MA

Date: March 16, 2023
Parcel Number: 014-053-001
014-053-002
Property Address: 247 Littleton Cnty Rd
0 Littleton Cnty Rd
Abutters To: 300ft

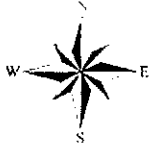
The above Certified Abutters List is a true copy of the records in the Town of Harvard Assessor's office for the last known names and addresses of owners of land located within the above stated range of the subject property.

Signed: 

Date: 3/16/23

Carol Dearborn
Assistant Assessor
(978) 456-4100 x315

FINANCE DEPARTMENT - ACCOUNTANT, ASSESSORS, TREASURER/COLLECTOR
13 Ayer Road, Harvard, Massachusetts 01451-1458
www.harvard-ma.gov



247 LITTLETON CNTY RD/0 LITTLETON CNTY RD

Town of Harvard, MA

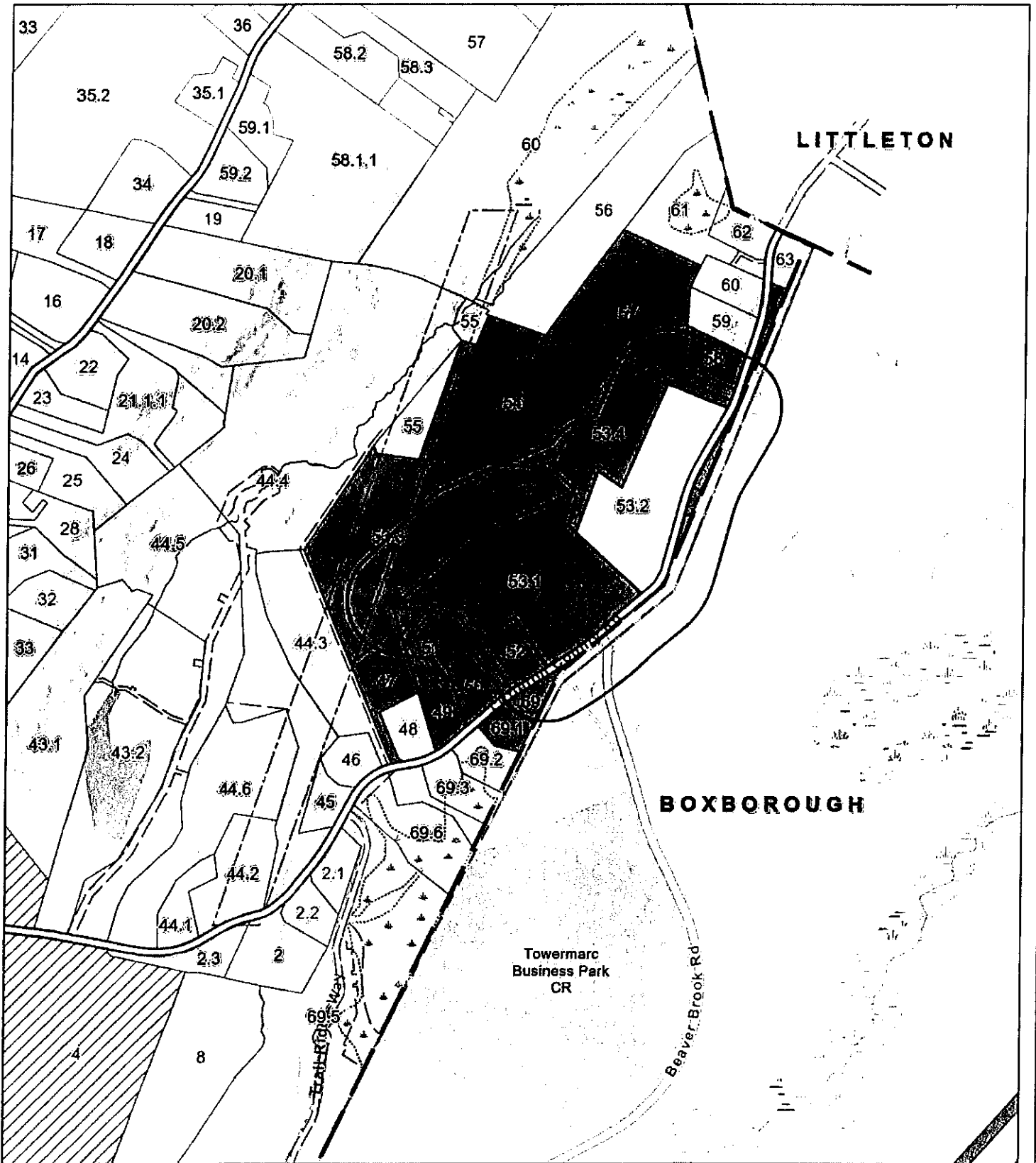


1 inch = 752 Feet

www.cai-tech.com

March 16, 2023

0 752 1504 2256



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Harvard, MA
March 16, 2023

Subject Properties:

Parcel Number: 014-053-001-000 Mailing Address: 247 LITTLETON COUNTY ROAD LLC
CAMA Number: 014-053-001-000 1 BOLTON RD
Property Address: 247 LITTLETON CNTY RD HARVARD, MA 01451

Parcel Number: 014-053-002-000 Mailing Address: 247 LITTLETON COUNTY ROAD LLC
CAMA Number: 014-053-002-000 1 BOLTON RD
Property Address: LITTLETON CNTY RD HARVARD, MA 01451

Abutters:

Parcel Number: 014-047-000-000 Mailing Address: BANDLOW, JONATHAN A
CAMA Number: 014-047-000-000 223 LITTLETON CNTY RD
Property Address: 223 LITTLETON CNTY RD HARVARD, MA 01451

Parcel Number: 014-049-000-000 Mailing Address: BURWELL, JEFFREY A & LINDSAY M
CAMA Number: 014-049-000-000 225 LITTLETON CNTY RD
Property Address: 225 LITTLETON CNTY RD HARVARD, MA 01451

Parcel Number: 014-050-000-000 Mailing Address: SUGAI, DON P & BUKATKO, DANUTA
CAMA Number: 014-050-000-000 233 LITTLETON CNTY RD
Property Address: 233 LITTLETON CNTY RD HARVARD, MA 01451

Parcel Number: 014-051-000-000 Mailing Address: MICHAEL MANDELLO
CAMA Number: 014-051-000-000 235 LITTLETON CNTY RD
Property Address: 235 LITTLETON CNTY RD HARVARD, MA 01451

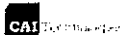
Parcel Number: 014-052-000-000 Mailing Address: BUELL, MARK
CAMA Number: 014-052-000-000 237 LITTLETON CNTY RD
Property Address: 237 LITTLETON CNTY RD HARVARD, MA 01451

Parcel Number: 014-053-001-000 Mailing Address: 247 LITTLETON COUNTY ROAD LLC
CAMA Number: 014-053-001-000 1 BOLTON RD
Property Address: 247 LITTLETON CNTY RD HARVARD, MA 01451

Parcel Number: 014-053-003-000 Mailing Address: HARVARD, TOWN OF, CONSERVATION
CAMA Number: 014-053-003-000 13 AYER RD
Property Address: LITTLETON CNTY RD HARVARD, MA 01451

Parcel Number: 014-053-004-000 Mailing Address: HARVARD, TOWN OF, CONSERVATION
CAMA Number: 014-053-004-000 13 AYER RD
Property Address: LITTLETON CNTY RD HARVARD, MA 01451

Parcel Number: 014-054-000-000 Mailing Address: BOSTON, CATHERINE J.
CAMA Number: 014-054-000-000 281 LITTLETON CNTY RD
Property Address: 281 LITTLETON CNTY RD HARVARD, MA 01451



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3/16/2023

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300 feet Abutters List Report

Harvard, MA
March 16, 2023

Parcel Number: 014-057-000-000
CAMA Number: 014-057-000-000
Property Address: 283 LITTLETON CNTY RD

Mailing Address: BRITTAI, SCOTT & JENNIFER
283 LITTLETON CNTY RD
HARVARD, MA 01451

Parcel Number: 014-058-000-000
CAMA Number: 014-058-000-000
Property Address: 279 LITTLETON CNTY RD

Mailing Address: BROWN, TODD & CULLINANE, F
ROBERT
279 LITTLETON CNTY RD
HARVARD, MA 01451

Parcel Number: 014-064-000-000
CAMA Number: 014-064-000-000
Property Address: LITTLETON CNTY RD

Mailing Address: HARVARD SPORTSMEN CLUB INC
PO BOX 114
HARVARD, MA 01451

Parcel Number: 014-065-000-000
CAMA Number: 014-065-000-000
Property Address: LITTLETON CNTY RD

Mailing Address: HARVARD SPORTSMEN CLUB INC
PO BOX 114
HARVARD, MA 01451

Parcel Number: 014-066-000-000
CAMA Number: 014-066-000-000
Property Address: LITTLETON CNTY RD

Mailing Address: CAMPANELLI-TRIGATE BOXBOROUGH
SUB, LLC
ONE CAMPANELLI DR
BRAintree, MA 02184

Parcel Number: 014-068-000-000
CAMA Number: 014-068-000-000
Property Address: LITTLETON CNTY RD

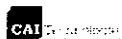
Mailing Address: HARVARD SPORTSMENS CLUB INC
PO BOX 114
HARVARD, MA 01451

Parcel Number: 014-069-000-000
CAMA Number: 014-069-000-000
Property Address: LITTLETON CNTY RD

Mailing Address: COSGROVE REALTY LLC
441 MAYNARD RD
SUDBURY, MA 01776

Parcel Number: 014-069-001-000
CAMA Number: 014-069-001-000
Property Address: 230 LITTLETON CNTY RD

Mailing Address: REN, XI & GAO, YA
230 LITTLETON CNTY RD
HARVARD, MA 01451



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3/16/2023

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Page 2 of 2

247 LITTLETON COUNTY ROAD
1 BOLTON RD
HARVARD, MA 01451

HARVARD SPORTSMENS CLUB I
PO BOX 114
HARVARD, MA 01451

BANDLOW, JONATHAN A
223 LITTLETON CNTY RD
HARVARD, MA 01451

HARVARD, TOWN OF, CONSERV
13 AYER RD
HARVARD, MA 01451

BOSTON, CATHERINE J.
281 LITTLETON CNTY RD
HARVARD, MA 01451

MICHAEL MANDELLO
235 LITTLETON CNTY RD
HARVARD, MA 01451

BRITAIN, SCOTT & JENNIFE
283 LITTLETON CNTY RD
HARVARD, MA 01451

REN, XI & GAO, YA
230 LITTLETON CNTY RD
HARVARD, MA 01451

BROWN, TODD & CULLINANE,
279 LITTLETON CNTY RD
HARVARD, MA 01451

SUGAI, DON P & BUKATKO, D
233 LITTLETON CNTY RD
HARVARD, MA 01451

BUELL, MARK
237 LITTLETON CNTY RD
HARVARD, MA 01451

BURWELL, JEFFREY A & LIND
225 LITTLETON CNTY RD
HARVARD, MA 01451

CAMPANELLI-TRIGATE BOXBOR
ONE CAMPANELLI DR
BRAintree, MA 02184

COSGROVE REALTY LLC
441 MAYNARD RD
SUDBURY, MA 01776

HARVARD SPORTSMEN CLUB IN
PO BOX 114
HARVARD, MA 01451



TOWN OF BOXBOROUGH
 Assessors
 29 Middle Road
 Boxborough, Massachusetts 01719
 978-264-1721 • FAX 978-264-3127
 klim@boxborough-ma.gov

OFFICE
 TOWN BOARD
RECEIVED

MAR 15 2023

Assessors
 Boxborough, MA

REQUEST FOR ABUTTERS

DATE OF REQUEST: 3/14/2023 DATE LIST NEEDED: asap

PROPERTY LOCATION: 247 Littleton County Road, Harvard (across the street from parcel 01-006-000)

MAP _____ LOT _____ BLOCK _____

PROPERTY OWNER: 247 Littleton County Road LLC

To assist I've attached the list your office prepared one year ago. Same property with a minor modification. Thank you.

REASON FOR LIST

- CONSERVATION COMMISSION
- ZONING BOARD OF APPEALS (Harvard ZBA)
- PLANNING BOARD
 - PRELIMINARY PLAN
 - SITE PLAN
 - DEFINITIVE PLAN
 - SPECIAL PERMIT
- BOARD OF SELECTMEN
- OTHER _____

RADIUS OF 300 FEET WILL BE USED FOR ALL ABUTTERS' LIST REQUEST

REQUESTER INFORMATION

NAME Bruce Ringwall
 ADDRESS Goldsmith, Prest & Ringwall, Inc (GPR)
39 Main Street, Suite 301, Ayer, MA 01432
 PHONE 978-772-1590 EMAIL bringwall@gpr-inc.com

OFFICE USE ONLY

DATE LIST PREPARED: 3/15/2023
 FEE CHARGED: \$ 10 AMOUNT PAID \$ 10
 DATE PAID: 3/20/2023 CHECK # 2248
 CASH

FEE SCHEDULE: \$1.00 PER NAME IF THE LIST IS FOR CONSERVATION COMMISSION, \$2.00 PER NAME OTHERWISE
 \$10.00 MINIMUM
 \$30.00 MAXIMUM

LIST IS VALID FOR SIX (6) MONTHS. TOWN ASSESSOR IS ALLOWED TEN (10) BUSINESS DAYS FROM DATE OF REQUEST TO PROVIDE CERTIFIED LIST OF ABUTTERS.

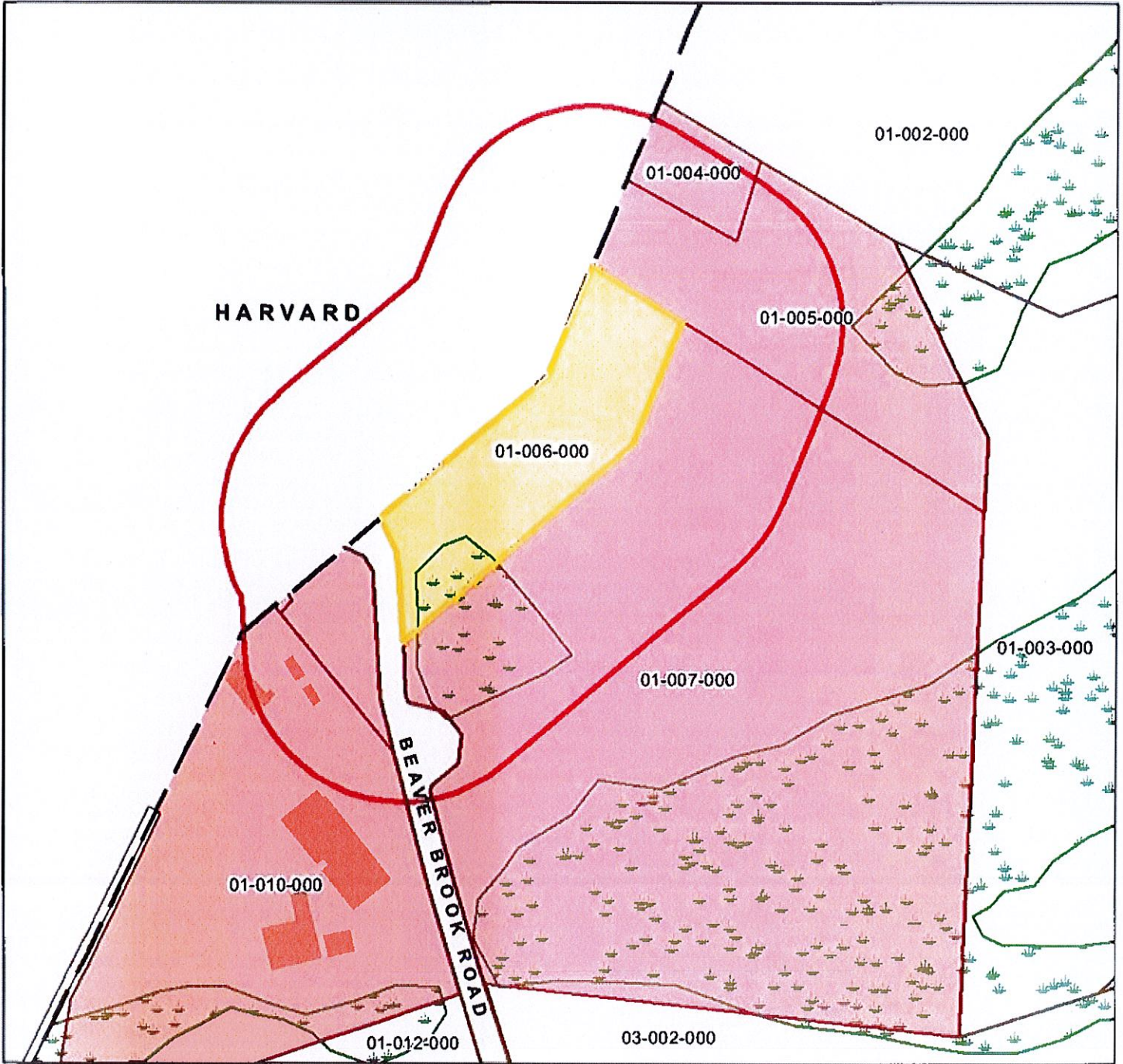


Boxborough, MA

March 15, 2023

1 inch = 277 Feet

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Large Scale	Outside Town Line
CAI Town Line	Buildings
Property Line	Right of Ways
Road	Wet Areas

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Subject Property:

Parcel Number: 01-006-000
CAMA Number: 01-006-000
Property Address: 999 BEAVER BROOK ROAD

Mailing Address: CAMPANELLI-TRIGATE BOXBOROUGH
C/O CAMPANELLI COMPANIES
ONE CAMPANELLI DRIVE
BRAintree, MA 02184

Abutters:

Parcel Number: 01-004-000
CAMA Number: 01-004-000
Property Address: 999 REAR BEAVER BROOK ROAD

Mailing Address: HARVARD SPORTSMEN'S CLUB, INC.
P.O. BOX 114
HARVARD, MA 01451

Parcel Number: 01-005-000
CAMA Number: 01-005-000
Property Address: 995 REAR BEAVER BROOK ROAD

Mailing Address: HARVARD SPORTSMENS CLUB, INC
PO BOX 114
HARVARD, MA 01451

Parcel Number: 01-007-000
CAMA Number: 01-007-000
Property Address: 995 BEAVER BROOK ROAD

Mailing Address: CAMPANELLI-TRIGATE BOXBOROUGH
C/O CAMPANELLI COMPANIES
ONE CAMPANELLI DRIVE
BRAintree, MA 02184

Parcel Number: 01-008-000
CAMA Number: 01-008-000
Property Address: 1000 BEAVER BROOK ROAD

Mailing Address: CAMPANELLI-TRIGATE BOXBOROUGH
C/O CAMPANELLI COMPANIES
ONE CAMPANELLI DRIVE
BRAintree, MA 02184

Parcel Number: 01-009-000
CAMA Number: 01-009-000
Property Address: 1000 REAR BEAVER BROOK
ROAD

Mailing Address: CAMPANELLI-TRIGATE BOXBOROUGH
C/O CAMPANELLI COMPANIES
ONE CAMPANELLI DRIVE
BRAintree, MA 02184

Parcel Number: 01-010-000
CAMA Number: 01-010-000
Property Address: 240 LITTLETON COUNTY ROAD

Mailing Address: COSGROVE JAMES
240 LITTLETON COUNTY RD
HARVARD, MA 01451

THIS IS A CERTIFIED ABUTTERS LIST FROM THE
TOWN OF BOXBOROUGH. WE CERTIFY THAT ALL
THE NAMES AND ADDRESSES OF ALL
PROPERTY OWNERS ARE ACCURATE TO
THE BEST OF OUR KNOWLEDGE.
[Signature] 3/15/2023
Office of the Board of Assessors Date



www.cai-tech.com



Area where planting to be added.



Proposed parking access.

V# 2559

01173200 - 569500

PB: 26 June 2023

PAY in July 2023

NOTIFICATION OF ASSESSMENT

TO: Chief Elected Official, Harvard

FROM: Glenn Eaton, Executive Director, Montachusett Regional Planning Commission

DATE: January 14, 2023

RE: Fiscal Year 2024 MRPC Membership Assessment

AMOUNT: \$2,079.46

This notification is to certify that the above amount represents your community's assessment for membership in the Montachusett Regional Planning Commission for the upcoming fiscal year (July 1, 2023-June 30, 2024).

This amount is based on a uniform assessment of all member communities at the rate of 0.3624 cents per capita and has been calculated in accordance with the requirements of Proposition 2 1/2 using the 2020 U.S. Census of Population, in accordance with Section 7 of Chapter 40B, General Laws of the Commonwealth of Massachusetts.

Assessments for FY2024 are due and payable on July 1, 2023. Your City/Town Accountant will receive an invoice for this assessment at least a month prior to that date.

Cc: Town/City Accountant
Town/City Treasurer