



Posted 8.25.2022 at 3:00pm by JAD

**SELECT BOARD  
AGENDA  
Tuesday, August 30, 2022  
7:00pm**

*Rich Maiore, Erin McBee, Kara McGuire Minar, Don Ludwig, Charles Oliver*

**The Select Board Regular Meeting is being held virtually in accordance with legislation S. 2475, an act relative to extending certain COVID-19 measures adopted during the Covid Pandemic state of emergency. Interested individuals can listen in and participate by phone and/or online by following the link and phone # below.**

UpperTH ProWebinar is inviting you to a scheduled Zoom meeting.

Topic: Select Board

Time: Aug 30, 2022 07:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/86185221801?pwd=THd2aFhrcjJSR25ZOE1pQW9KYndzdz09>

Meeting ID: 861 8522 1801

Passcode: 200747

Find your local number: <https://us02web.zoom.us/j/kcO3JO21gY>

+1 253 215 8782 US

One tap mobile

+1 301 715 8592 US

+13126266799,,123906012# US (Chicago)

+19294362866,,12390012# US (New York)

**AGENDA ITEMS**

- 1) Call meeting to order – Chair Rich Maiore
- 2) Appointment of Matt Benway to the Park & Recreation Commission (7:00)
- 3) Meet with Isotorpe to define Select Board criteria/framework for cell tower lease RFP (7:05)
- 4) Public Communication (7:30)
- 5) Meet with the Park & Recreation Commission to discuss an RFP for a field's consultant (7:35)
- 6) Meet with the Transportation Advisory Committee to discuss transportation related objectives (7:50)
- 7) Discuss zoning change to allow entertainment for commercial farms (8:00)
- 8) Discuss proposed 40B project – Mill Pond Estates on Mill Road (8:10)
- 9) Approve minutes 7/19 & 8/9 (8:30)
- 10) Staff Report/Updates (8:35)
- 11) Action/Discussion items: (9:00)
  - a) Act on request from the Conservation Commission to erect signs in the towns right of way
  - b) Act on request from Carlson Orchards for entertainment license date change
  - c) Act on one-day liquor license for the Lions Club's Fall Festival
  - d) Act on out of state travel request from the Finance Director for the Assistant Assessor
  - e) Recognize resignation of Sue Tokay from the Commission on Disabilities
- 12) Select Board Reports

*Next Regular Select Board Meeting  
Tuesday, September 6, 2022  
7:00pm*



## Town of Harvard

13 Ayer Road

Phone: (978) 456-4100

### Volunteer Form

*Good Government Starts with You*

**Date Submitted:** August 2, 2022

**Name:** Matthew A Benway

**Home Address:** 113 Tahanto Trail  
Harvard

**Mailing Address:** 113 Tahanto Trail  
Harvard

**Phone Number(s):** [REDACTED]

**Email Address:** [REDACTED]

**Current Occupation/Employer:** Software Engineer/NDiV, Inc

**Have you previously been a member of a Board, Committee or Commission (either in the Town of Harvard or elsewhere)?** Yes

*If yes, please list the Board name and your approximate dates of service:*

Acton Boxboro Youth Softball Board of Directors - Summer Director 2019-current.

**Are you a registered voter?** Yes

**Do you, your spouse, or your employer have any current or potential business relationship with the Town of Harvard that could create a conflict of interest?** No

*If YES, please describe the possible conflict:*

**Narrative:** 20+ years as a Software Developer/Engineer; I've been on a contract with the US Army as as Senior Software Engineer since 2005 with a DOD Security Clearance. I am currently the paid Head Coach of Softball at Bromfield HS. I have renovated several of my primary residences over the years, including many parts of my home at 113 Tahanto Tr. I'm skilled at many construction tasks and physical fit at 54 years old. I have 2 kids in college and 2 kids currently at Bromfield School. My wife grew up in Harvard and is a Bromfield School grad. We moved back to Harvard after 14 years at 51 Conant St, Acton, MA.

I can dedicate several hours per week in clerical or physical tasks, although during softball season in the spring, I will likely be less available.

I spoke to Bob O'Shea at the end of July about some of the details about serving part of the Parks and Rec Commission.

**Board(s) / Committee(s):** \_\_\_ PARK & RECREATION COMMISSION



Thinking outside the sphere

## Initial Site Concept for Town of Harvard Tower

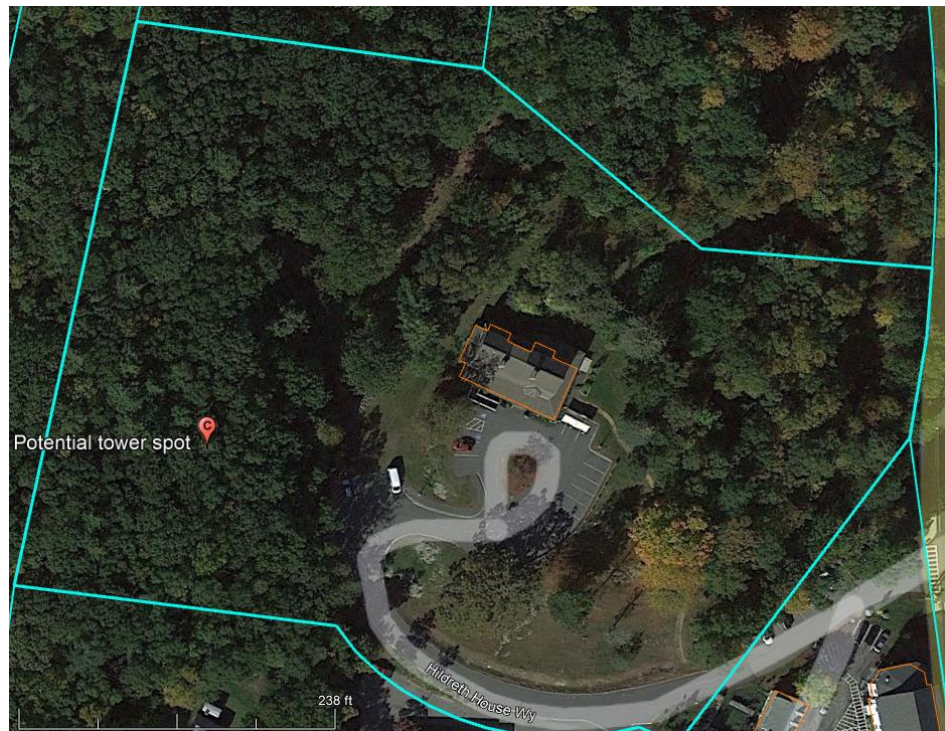
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August 4, 2022

The location of the proposed tower on the Hildreth House parcel would be in the wooded area to the west of the developed portion of the property. There appears to be a way to create a driveway without significant construction or disruption of existing travel lanes and parking. The siting goal is to nestle the tower in the wooded area while preserving trees, maintain appropriate setbacks, position the tower such that the upper portion exposed to public view from the town center area is minimized, and protect any wetland or other sensitive environmental conditions.

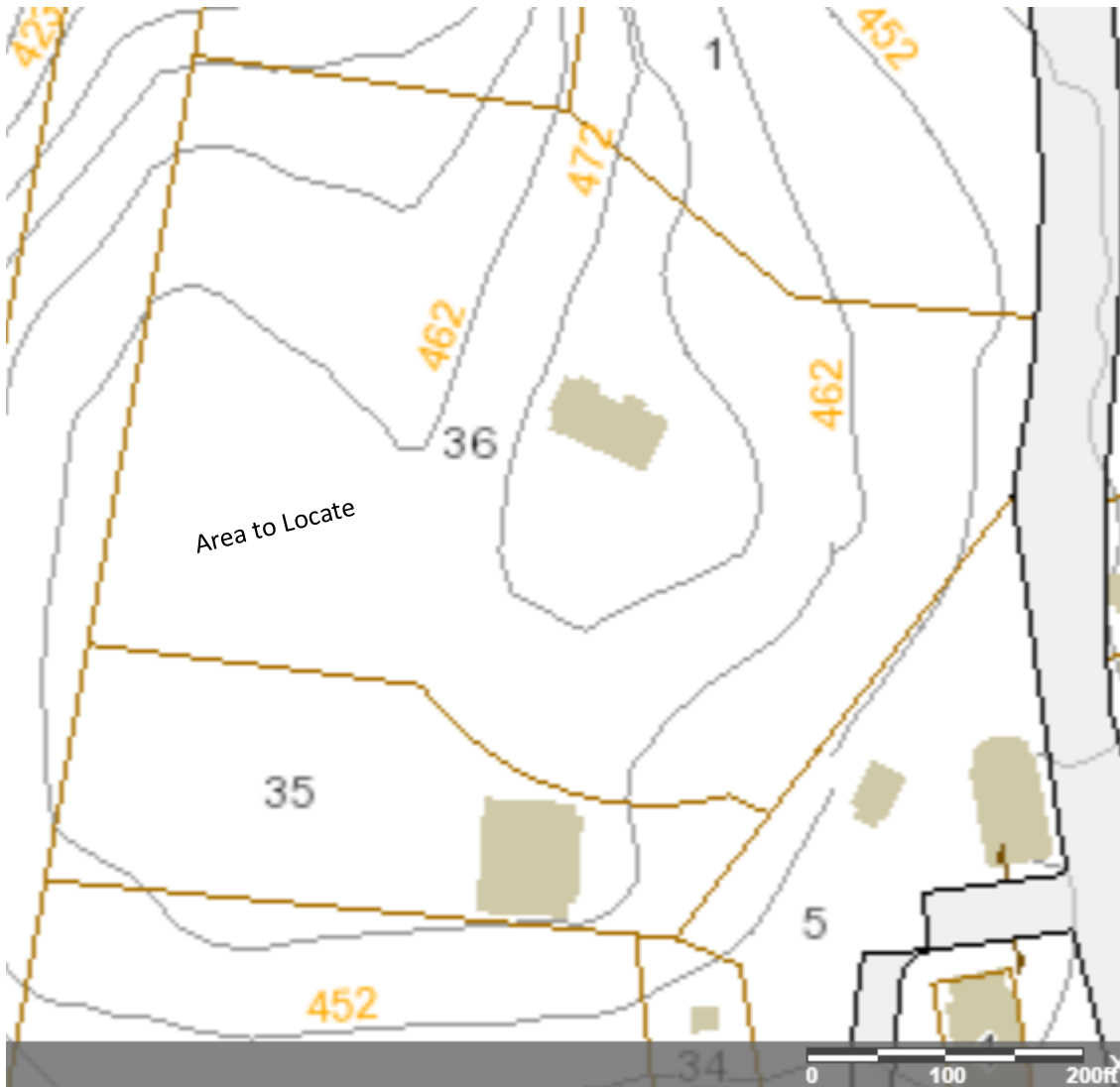
The RFP should have at least a pro-forma location for the tower. It is up to the Town to decide how much due diligence in the constructability of the site needs to be done before issuing the RFP. A civil engineering firm could be engaged to lay out a viable location and driveway and produce a proposed site plan.

To the right is a Google Earth view of the general location of the proposed tower site. Note that it is about 120 feet deeper into the woods than the location of the crane was during the crane test.





Below is a view of the town GIS map showing property lines and contours. It is reassuring to note that there are no DEP wetlands indicated on the map.





Massachusetts Housing Finance Agency  
One Beacon Street, Boston, MA 02108

TEL: 617.854.1000  
FAX: 617.854.1091 | [www.masshousing.com](http://www.masshousing.com)

Videophone: 857.366.4157 or Relay 711

August 10, 2022

Rich D. Maiore, Chair  
Select Board  
Town of Harvard  
Town Hall  
13 Ayer Road  
Harvard, MA 01451

RE: **Proposed 40B— Mill Pond Estates  
Harvard, MA  
MH ID No. 1157**

Dear Mr. Maiore:

The Massachusetts Housing Finance Agency (MassHousing) is currently reviewing an application for Site Approval submitted by the Juno Construction, LLC (the Applicant). The proposed development will consist of 24 units of homeownership housing on approximately 11 acres of land located on Old Mill Road in Harvard, MA.

The site approval process is offered to project sponsors who intend to apply for a Comprehensive Permit under Chapter 40B. MassHousing's review involves an evaluation of the site, the design concept, the financial feasibility of the proposal, and the appropriateness of the proposal in relation to local housing needs and strategies. As part of our review, we are soliciting comments from the local community, and we would appreciate your input. You also may wish to include in your response, issues or concerns raised by other Local Boards, officials, or other interested parties. Pursuant to the new Massachusetts General Laws Chapter 40B regulations (760 CMR 56.00) your comments may include information regarding municipal actions previously taken to meet affordable housing needs such as inclusionary zoning, multifamily districts adopted under G.L. c.40A and overlay districts adopted under G.L. c.40R. Your comments will be considered as part of our review.

We have been informed by the Applicant that the Town has received a copy of the application and site plans for Mill Pond Estates. Please inform us of any issues that have been raised or are anticipated in the Town's review of this application. We request that you submit your comments to this office by Monday, September 12, 2022, so we may process this application in a timely manner.

During the course of its review, MassHousing will conduct a site visit, which Local Boards, as defined in 760 CMR 56.02, may attend. The site visit for Mill Pond estates has been tentatively scheduled for Wednesday, August 24th at 11 a.m. Please notify me promptly if any representatives of your office or if other Local Boards plan to attend the scheduled site visit.

Please note that if and when an application is submitted for a comprehensive permit, assistance is available to the Zoning Board of Appeals (ZBA) to review the permit application. The Massachusetts Housing Partnership's (MHP) Ch. 40B Technical Assistance Program administers grants to municipalities for up to \$15,000 to engage qualified third-party consultants to work with the town's ZBA in reviewing the Chapter 40B proposal. For more information about MHP's technical assistance grant visit MHP's web site or e-mail MHP at [kbosse@mhp.net](mailto:kbosse@mhp.net).

If you have any questions, please do not hesitate email me at [mbusby@masshousing.com](mailto:mbusby@masshousing.com).

Thank you for your assistance.

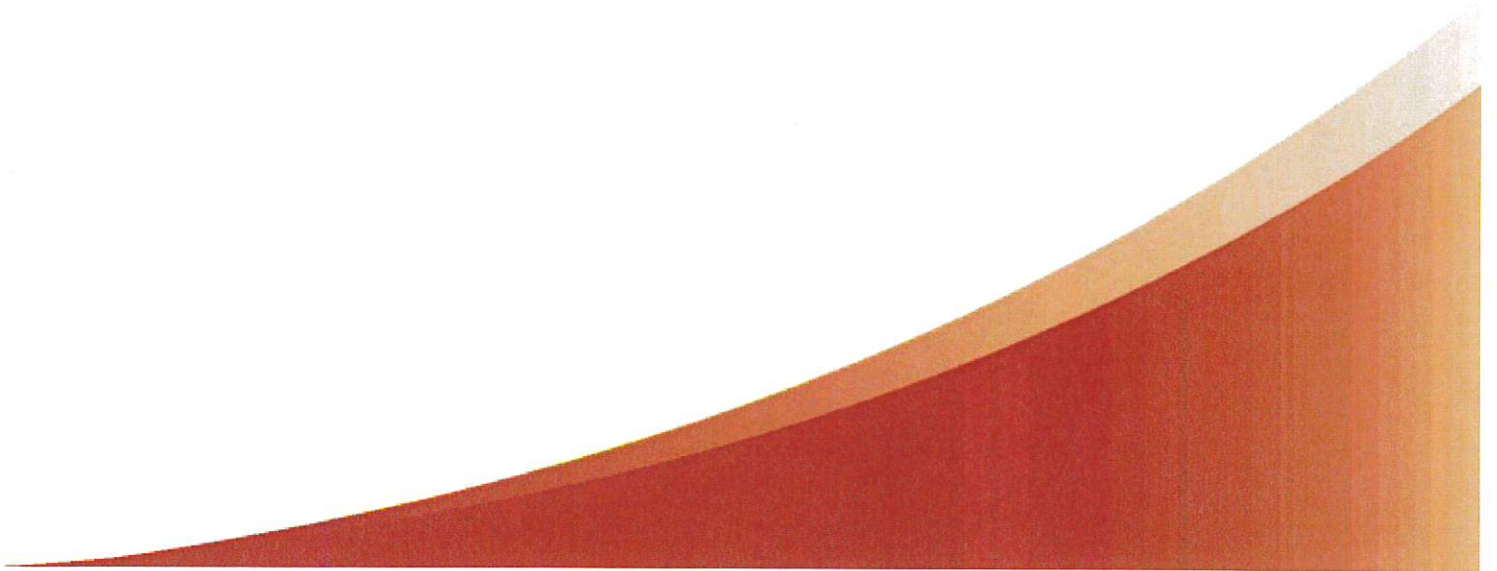
Sincerely,

Michael Busby  
Relationship Manager



**Comprehensive Permit  
Site Approval Application  
Homeownership**

[www.masshousing.com](http://www.masshousing.com) | [www.masshousingrental.com](http://www.masshousingrental.com)



## Comprehensive Permit Site Approval Application/Homeownership

Attached is the Massachusetts Housing Finance Agency ("MassHousing") application form for Project Eligibility/Site Approval ("Site Approval") under the state's comprehensive permit statute (M.G.L. c. 40B, Sections 20-23 enacted as Chapter 774 of the Acts of 1969) known as "Chapter 40B". Developers seeking a comprehensive permit to construct affordable housing under Chapter 40B and intending to use a MassHousing financing program or financing through the New England Fund ("NEF") program must receive Site Approval from MassHousing. This approval (also referred to as "project eligibility approval") is a required component of any comprehensive permit application to be submitted to the local Zoning Board of Appeals of the municipality in which the development is to be located .

As part of its review of your application, MassHousing will conduct an inspection of the site and will solicit comments from the relevant municipality. MassHousing will consider any relevant concerns that the municipality might have about the proposed project or the developer. The applicant is encouraged, therefore, to make contact with the municipality prior to submitting the Site Approval application in order to ensure that the applicant understands any concerns that the municipality may be likely to raise regarding the proposed development.

In order for a project to receive Site Approval, MassHousing must determine that (i) the applicant has sufficient legal control of the site, (ii) the applicant is a public agency, non-profit organization or limited dividend organization, and (iii) the applicant and the project are generally eligible under the requirements of the MassHousing program selected by the applicant, subject to final eligibility review and approval. Furthermore, MassHousing must determine that the site of the proposed project is generally appropriate for residential development (taking into consideration municipal actions previously taken to meet affordable housing needs ) and that the conceptual project design is generally appropriate for the site. In order for MassHousing to be able to make these findings (required by 760 CMR 56.04 (4)), it is important that you answer all questions in the application and include all required attachments.

**Please note that MassHousing requires that all applicants meet with a member of our Planning and Programs Department staff before submitting their application. Applications for any projects that have not been the subject of a required pre-application meeting will not be accepted or processed.**

Upon completion of its analysis, MassHousing will either issue a Site Approval Letter that approves , conditionally approves or denies the application. If the application is approved, the applicant should apply to the Zoning Board of Appeals within two years from the date of the Site Approval Letter (unless MassHousing extends such term in writing).

Please note that Site Approval from MassHousing does not constitute a loan commitment by MassHousing or any other financing program. All potential MassHousing financing is subject to further review and underwriting by MassHousing's Rental Lending Department.

Please be sure you have familiarized yourself with all of the applicable requirements set forth in the Chapter 40B regulations and guidelines, which can be found at

<https://www.mass.gov/doc/760-cmr-56-comprehensive-permit-low-or-moderate-income-housing/download>  
[www.mass.gov/hed/docs/dhcd/legal/comprehensivepermitguidelines.pdf](https://www.mass.gov/hed/docs/dhcd/legal/comprehensivepermitguidelines.pdf).

Instructions for completing the Site Approval Application are included in the application form which is attached . The completed application form and all additional documentation should be sent, after your pre-application meeting has been held, to:

**Manager of Planning Programs  
One Beacon Street, Boston, MA 02108**

We look forward to working with you on your proposed development . Please contact Jessica Malcolm at 617-854-1201 or [jmalcolm@masshousing.com](mailto:jmalcolm@masshousing.com) to discuss scheduling your pre-application meeting or if there is any assistance that we can provide in the meantime to make your application process a smooth and efficient one .



### Our Commitment to You

MassHousing recognizes that applicants seek some measure of predictability regarding the timeframe for our processing of their applications. Our staff will endeavor to adhere to the following schedule for reviewing applications for site approval :

Within one week of receipt of your application (provided that you have attended a required pre-application meeting) a member of our staff will notify you of any of the items listed on the checklist at the end of the application form that were missing from your application package. Please note that our acknowledgement of receipt of an item does not indicate that any substantive review has yet taken place.

**If your application package is missing any of the items indicated on the checklist by an asterisk, we will not be able to continue processing your application until such items are received.**

If we have received the information which is crucial to the commencement of our review process, we will proceed to (i) give the municipality a period of thirty (30) days in which to submit comments relating to your proposal, (ii) schedule and conduct a site visit, and (iii) solicit bids for and commission and review an "as is" appraisal of your site.

If during our review of your application package we determine that additional information or clarification is needed, we will notify you as soon as possible. Depending on when we receive such additional information, this may affect the amount of time required for MassHousing to complete the site approval process.

Assuming that your application package was complete and that you respond in a timely manner to requests for additional information or clarification, we would expect to issue or deny your site approval within 90 days of our receipt of your application package.



Application for Chapter 40B Project Eligibility / Site Approval  
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects

Section 1: GENERAL INFORMATION

Name of Proposed Project: Mill Pond Estates

Municipality: Harvard

County: Worcester

Address of Site: Old Mill Road

Cross Street: Ayer Road

Zip Code: 01451

Tax Parcel I.D. Number(s): 004-052-0000, 004-052-001-0000, 004-052-002-0000

Name of Proposed Development Entity Juno Construction, LLC

(typically a single purpose entity):

Entity Type: Limited Dividend Organization

\* If the Proposed Development Entity is a Non-Profit, please contact MassHousing regarding additional documentation that must be submitted.

Has this entity already been formed? Yes

State Formed: Massachusetts

Name of Applicant: Juno Construction, LLC

(typically the Proposed Development Entity or its controlling entity or individual)

Applicant's Web Address:

Does the Applicant have a related party relationship with any other member of the development team? Yes

If yes, please explain:

Applicant will be owner, builder and broker.

Primary Contact Information:

StateDesc

Contact Name: Melissa Robbins

Relationship to Applicant:

Company Name: Farrell & Robbins P.C.

Attorney

Address: 270 Littleton Road, Suite 32

Municipality: Westford

State: Massachusetts

Zip: 01886

Phone: 978-577-6255

Cell Phone:

Email: Melissa@WestfordLawFirm.com

**Secondary Contact Information:**

<b>Contact Name:</b> Walter Eriksen	<b>Relationship to Applicant:</b>	
<b>Company Name:</b> Juno Construction, LLC	Applicant	
<b>Address:</b> 92 Middlesex Road, Unit 3		
<b>Municipality:</b> Tyngsborough	<b>State:</b> Massachusetts	<b>Zip:</b> 01879
<b>Phone:</b> 978-649-2727	<b>Cell Phone:</b> 508-509-5220	
<b>Email:</b> awc.walter@comcast.net		

**Additional Contact Information:**

<b>Contact Name:</b>	<b>Relationship to Applicant:</b>	
<b>Company Name:</b>		
<b>Address:</b>		
<b>Municipality:</b>	<b>State:</b>	<b>Zip:</b>
<b>Phone:</b>	<b>Cell Phone:</b>	
<b>Email:</b>		

**Anticipated Financing:** NEF

**Name of Lender (if not MassHousing financed):**

**Age Restriction:** None

**Brief Project Description:**

Construction of a new residential development consisting of 24 units in 12 duplex buildings. 12 units will contain three bedrooms, and 12 units will be two bedrooms. Each home will be approximately 2,000 square feet in size, with a one car garage. The development will be a homeownership development, with 6 homes sold as affordable to families earnings 80% or lower of the Area Median Income. Approximately 600 linear feet of a new roadway will be built to serve the development. Water and Septic will be privately maintained on the site. The units will be very energy efficient, all electric units with some solar panels on every unit.

# Section One Attachments

1.1 Location Map

1.2 Tax Map

1.3 Directions

## 1.1 Location Map

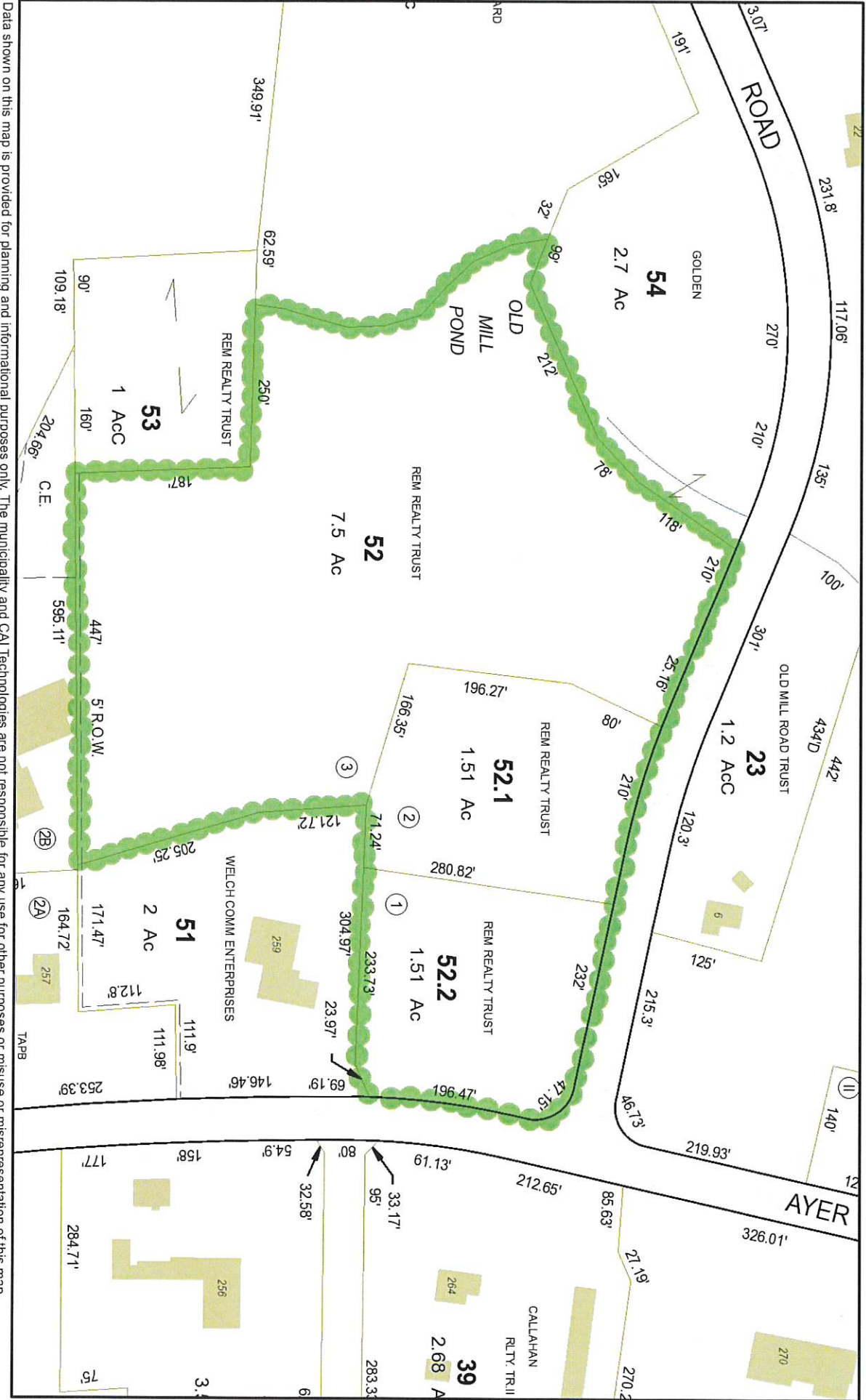
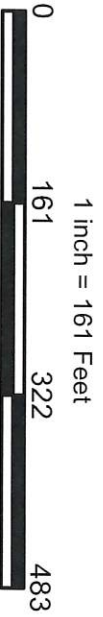


Harvard, MA



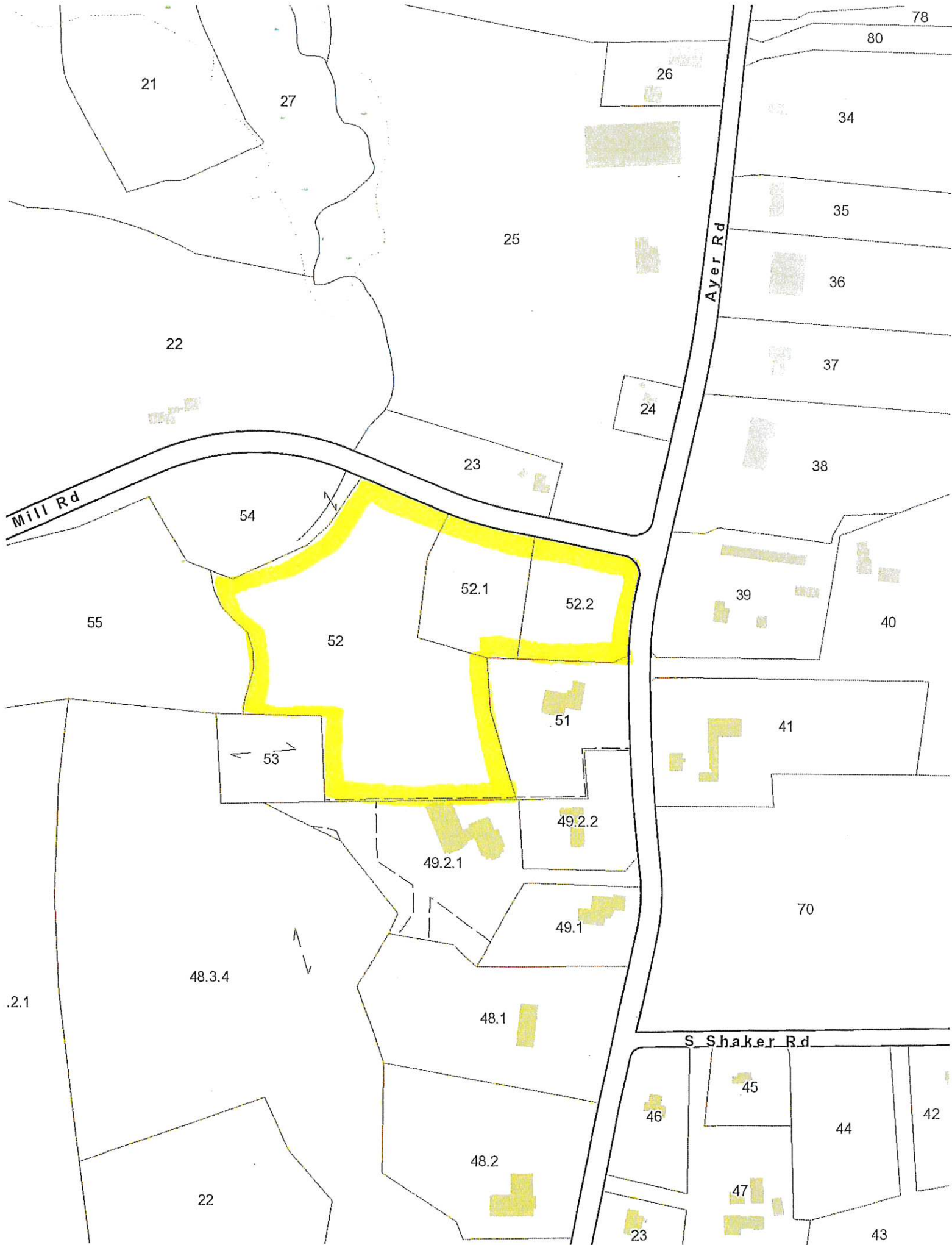
February 23, 2022

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

## 1.2 Tax Map





## 1.3 Directions

1 Beacon St  
Boston, MA 02108

Get on I-90 W from Congress St

- 5 min (1.3 mi)
- ↑ 1. Head east on Beacon St toward Freedom Trail/Tremont St
- 92 ft
- ↑ 2. Continue onto Freedom Trail/School St
- 0.1 mi
- ↶ 3. Turn left onto Freedom Trail/Washington St
- 108 ft
- ↷ 4. Turn right onto Water St
- 463 ft
- ↷ 5. Turn right onto Congress St
- 0.3 mi
- ↷ 6. Turn right onto Purchase St
- 43 ft
- ⤴ 7. Take the I-93 S ramp on the left to I-90 W/Quincy/Worcester
- 0.5 mi
- ↗ 8. Keep right at the fork, follow signs for I-90 W
- 417 ft
- ↷ 9. Keep right, follow signs for Route 90 W/Masspike/Worcester and merge onto I-90 W
- 0.2 mi

Follow I-90 W and I-95 N to MA-2 W in Lexington. Take exit 45B from I-95 N

- 20 min (18.6 mi)
- ⤴ 10. Merge onto I-90 W
- ⚠ Toll road
- 11.0 mi
- ↷ 11. Take exit 123A for I-95 toward Waltham/Providence
- ⚠ Toll road
- 0.5 mi
- ↶ 12. Keep left at the fork, follow signs for I-95 N/Portsmouth and merge onto I-95 N
- 6.7 mi

- 13. Take exit 45B to merge onto MA-2 W toward Acton/Fitchburg  
0.4 mi

**Continue to Acton**

- ⬆ 14. Merge onto MA-2 W  
13 min (10.3 mi)  
2.3 mi
- ↑ 15. Continue straight to stay on MA-2 W  
5.7 mi
- ⤷ 16. At the traffic circle, take the 4th exit onto MA-111 N/MA-2 W  
2.3 mi

**Follow MA-2 W to Harvard. Take exit 109B from MA-2 W**

- 17. Keep right to stay on MA-111 N/MA-2 W  
9 min (8.9 mi)  
ⓘ Continue to follow MA-2 W  
8.6 mi
- 18. Take exit 109B to merge onto MA-110 E/MA-111 N/Ayer Rd toward Ayer/Groton  
0.3 mi

**Continue on MA-110 E/MA-111 N/Ayer Rd. Drive to Old Mill Rd**

- ⬆ 19. Merge onto MA-110 E/MA-111 N/Ayer Rd  
2 min (0.9 mi)  
0.8 mi
- ↶ 20. Turn left onto Old Mill Rd  
ⓘ Destination will be on the left  
0.1 mi

Harvard  
Massachusetts

These directions are for planning purposes only. You may find that construction projects, traffic, weather, or other events may cause conditions to differ from the map results, and you should plan your route accordingly. You must obey all signs or notices regarding your route.

Application for Chapter 40B Project Eligibility / Site Approval  
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects

**Section 2: EXISTING CONDITIONS / SITE INFORMATION**

*In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the site is generally appropriate for residential development.*

**Buildable Area Calculations** (Acres)

<b>Total Site Area:</b>	<b>499,853.00</b>
<b>Wetland Area (per MA DEP):</b>	143,347.00
<b>Flood Hazard Area (per FEMA):</b>	0.00
<b>Endangered Species Habitat (per MESA):</b>	0.00
<b>Conservation / Article 97 Land:</b>	0.00
<b>Protected Agricultural Land (i.e. EO 193):</b>	0.00
<b>Other Non-Buildable:</b>	<b>0.00</b>
<b>Total Non-Buildable Area:</b>	143,347.00
<b>Total Buildable Area:</b>	356,506.00

**Current use of the site and prior use if known:**

Currently vacant wooded land.

**Is the site located entirely within one municipality?** Yes

**If not, in what other municipality is the site located?**

**How much land is in each municipality?**

**Additional Site Addresses:**

**Current zoning classification and principal permitted uses:**

Commercial

**Previous Development Efforts**

Please list any previous applications pertaining to construction on or development of the site, including (i) type of application (comprehensive permit, subdivision, special permit, etc.); (ii) application filing date; (iii) date of denial, approval or withdrawal. Also indicate the current Applicant's role, if any, in the previous applications.

*Note that, pursuant to 760 CMR 56.03 (1), a decision of a Zoning Board of Appeals to deny a Comprehensive Permit, or (if the Statutory Minima defined at 760 CMR 56.03 (3) (b or c) have been satisfied) grant a Comprehensive Permit with conditions, shall be upheld if a related application has previously been received, as set forth in 760 CMR 56.03 (7).*

To the best of your knowledge, has this site ever been rejected for project eligibility/site approval by another subsidizing agency or authority? No

If Rejected, Please Explain:

Existing Utilities and Infrastructure	Yes/No	Description
Wastewater- private wastewater treatment	Yes	Private
Wastewater - public sewer	No	
Storm Sewer	No	Private
Water-public water	No	
Water-private well	Yes	Community Well
Natural Gas	No	
Electricity	Yes	Adjacent to site
Roadway Access to Site	Yes	Old Mill Road and Ayer Road
Sidewalk Access to Site	No	
Other	No	

Describe Surrounding Land Uses:

Areas to the North, East, and South are small businesses. Areas to the West are open space, and 2.8 existing residential subdivision of single family homes.

Surrounding Land Use/Amenities	Distance from Site	Available by Public Transportation?
Shopping Facilities	2.80	No
Schools	2.80	No
Government Offices	2.40	No
Multi-Family Housing	2.00	No
Public Safety Facilities	2.40	No
Office/Industrial Uses	0.00	No
Conservation Land	0.00	No
Recreational Facilities	0.05	No
Houses of Worship	0.05	No
Other	1.40	No

Public transportation near the Site, including type of transportaion and distance from site:

Harvard has limited public transportation. MBTA stations are in Acton and West Concord.

**Site Characteristics and Development Constraints**

Are there any easements, rights of way or other restrictions of record affecting the development of the site?	No
Is there any evidence of hazardous, flammable or explosive material on the site?	No
Is the site, or any portion thereof, located within a designated flood hazard area?	Yes
Does the site include areas designated by Natural Heritage as endangered species habitat?	No
Are there documented state-designated wetlands on the site?	Yes
Are there documented vernal pools on the site?	No
Is the site within a local or state Historic District or listed on the National Register or Historic Places?	No
Has the site or any building(s) on the site been designated as a local, state or national landmark?	No
Are there existing buildings and structures on site?	No
Does the site include documented archeological resources?	No
Does the site include any known significant areas of ledge or steep slopes?	No

## Section Two Attachments

2.1 Existing Conditions Plan

2.2 Aerial Photograph

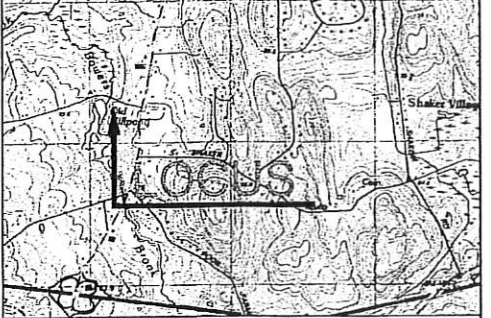
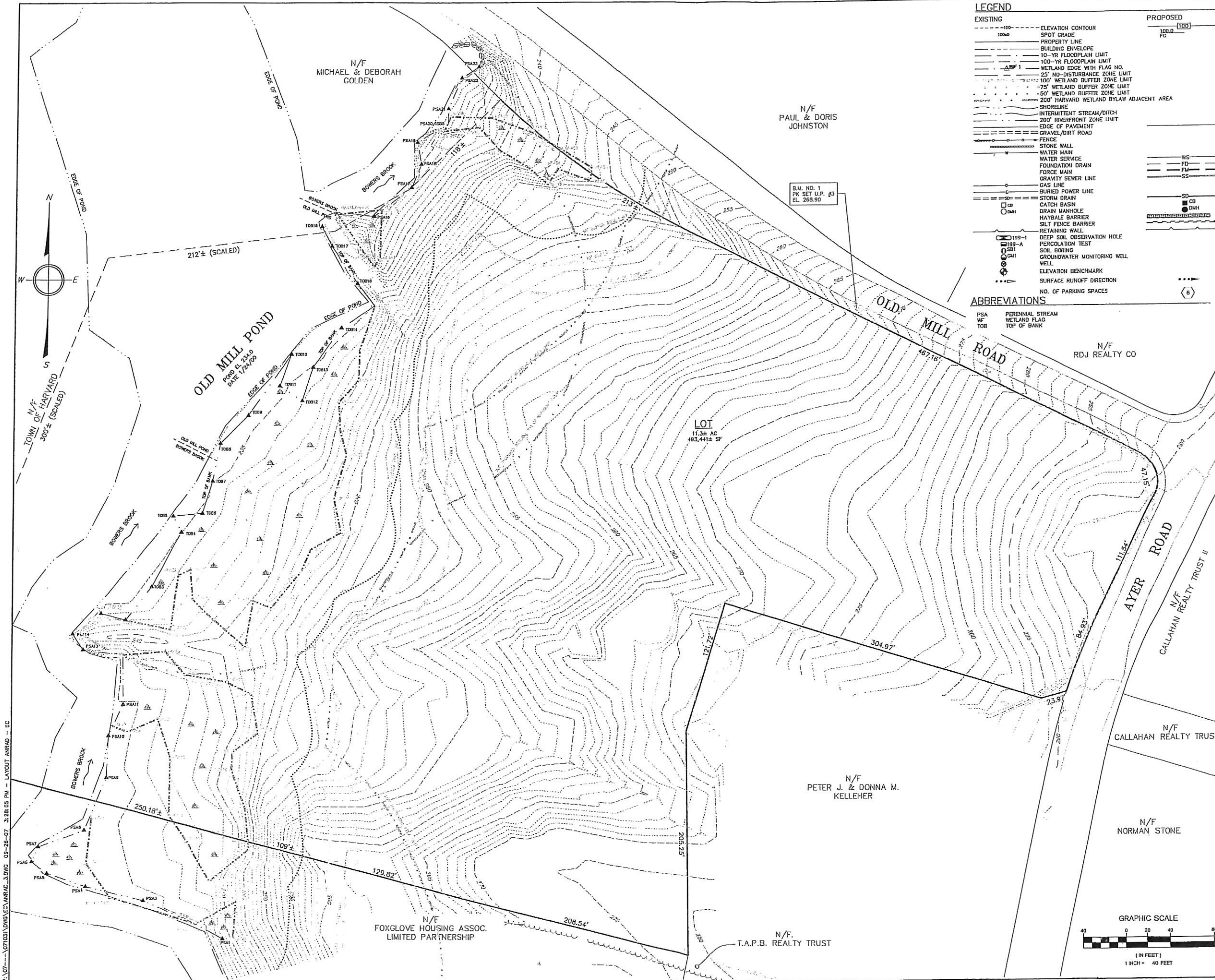
2.3 Site/ Context Photograph

2.4 Documentation Regarding Site Characteristics/Constraints

2.5 By-Right Site Plan

## 2.1 Existing Conditions Plan





LOCUS MAP  
1" = 200'

**ELEVATION DATUM**  
 DATUM: NGVD 1929

**EXISTING CONDITION NOTES:**  
 1. EXISTING CONDITION INFORMATION BASED ON AN ON-THE-GROUND TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY GOLDSMITH, PREST & RINGWALL, INC. ON JUNE 7, 2007.  
 2. WETLAND DELINEATION PERFORMED BY MATT LONG, PWS, GOLDSMITH, PREST, AND RINGWALL, INC. ON OR ABOUT MAY, 2007.

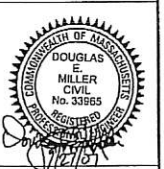
**ASSESSORS REFERENCE:**  
 ASSESSORS MAP 4, PARCEL 52

**PLAN REFERENCES**  
 1. "FLOOD INSURANCE RATE MAP" BY FEDERAL EMERGENCY MANAGEMENT AGENCY DATED JUNE 15, 1983, PLAN NO. 250308 0002 B.

**DRAWING ISSUED FOR:**

CONCEPT    CONSTRUCTION  
 PERMIT      CONSTRUCTION RECORD

THIS DRAWING MAY NOT SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, AND MAY NOT IDENTIFY ALL CONSTRUCTION WORK ITEMS/AREAS OF CONTRACTOR JURISDICTION.



NO.	DATE	BY	APP.	REVISION DESCRIPTION
2	09/24/07	CAD	DEM	RIVER/POND DELINEATION RELOCATION PER HCC
1	09/20/07	BMB	DEM	WETLAND DELINEATION REVISION PER CON. COMM.

**GPR** Engineering Solutions for Land & Structures

**GOLDSMITH, PREST & RINGWALL, INC.**  
 39 MAIN STREET, SUITE 301, AYER, MA 01432  
 CIVIL & STRUCTURAL ENGINEERING • LAND SURVEYING & LAND PLANNING  
 VOICE: 978.772.1590 FAX: 978.772.1591  
 www.gpr-inc.com

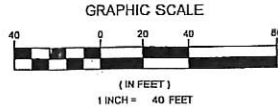
**ABBREVIATED NOTICE OF RESOURCE AREA DELINEATION**

**EXISTING CONDITIONS PLAN**

**OLD MILL ROAD HARVARD, MA**

PREPARED FOR:  
 PLEASANT PROPERTIES, INC  
 484 MAIN STREET, SUITE 330  
 WORCESTER, MA 01608

- LEGEND**
- EXISTING**
- 100' --- ELEVATION CONTOUR
  - 100.0 --- SPOT GRADE
  - --- PROPERTY LINE
  - --- BUILDING ENVELOPE
  - --- 10-YR FLOODPLAIN LIMIT
  - --- 100-YR FLOODPLAIN LIMIT
  - --- WETLAND EDGE WITH FLAG NO.
  - --- 25' NO-DISTURBANCE ZONE LIMIT
  - --- 100' WETLAND BUFFER ZONE LIMIT
  - --- 75' WETLAND BUFFER ZONE LIMIT
  - --- 50' WETLAND BUFFER ZONE LIMIT
  - --- 200' HARVARD WETLAND BYLAW ADJACENT AREA
  - --- SHORELINE
  - --- INTERMITTENT STREAM/DITCH
  - --- 200' RIVERFRONT ZONE LIMIT
  - --- EDGE OF PAVEMENT
  - --- GRAVEL/DIRT ROAD
  - --- FENCE
  - --- STONE WALL
  - --- WATER MAIN
  - --- WATER SERVICE
  - --- FOUNDATION DRAIN
  - --- FORCE MAIN
  - --- GRAVITY SEWER LINE
  - --- GAS LINE
  - --- BURIED POWER LINE
  - --- STORM DRAIN
  - --- CATCH BASIN
  - --- DRAIN MANHOLE
  - --- SILT FENCE BARRIER
  - --- RETAINING WALL
  - --- DEEP SOIL OBSERVATION HOLE
  - --- PERCOLATION TEST
  - --- SOIL BORING
  - --- GROUNDWATER MONITORING WELL
  - --- WELL
  - --- ELEVATION BENCHMARK
  - --- SURFACE RUNOFF DIRECTION
  - --- NO. OF PARKING SPACES
- PROPOSED**
- 100.0 --- FG
  - --- WS
  - --- FD
  - --- FM
  - --- SS
  - --- SD
  - --- CB
  - --- DMH
  - --- RW
  - --- B
- ABBREVIATIONS**
- PISA PERENNIAL STREAM
  - WF WETLAND FLAG
  - TOB TOP OF BANK



1:07:00 1:07:03:10 1:07:05:20 1:07:07:30 1:07:09:40 1:07:11:50 1:07:14:00 1:07:16:10 1:07:18:20 1:07:20:30 1:07:22:40 1:07:24:50 1:07:27:00 1:07:29:10 1:07:31:20 1:07:33:30 1:07:35:40 1:07:37:50 1:07:40:00 1:07:42:10 1:07:44:20 1:07:46:30 1:07:48:40 1:07:50:50 1:07:53:00 1:07:55:10 1:07:57:20 1:07:59:30 1:08:01:40 1:08:03:50 1:08:06:00 1:08:08:10 1:08:10:20 1:08:12:30 1:08:14:40 1:08:16:50 1:08:19:00 1:08:21:10 1:08:23:20 1:08:25:30 1:08:27:40 1:08:29:50 1:08:32:00 1:08:34:10 1:08:36:20 1:08:38:30 1:08:40:40 1:08:42:50 1:08:45:00 1:08:47:10 1:08:49:20 1:08:51:30 1:08:53:40 1:08:55:50 1:08:58:00 1:09:00:10 1:09:02:20 1:09:04:30 1:09:06:40 1:09:08:50 1:09:11:00 1:09:13:10 1:09:15:20 1:09:17:30 1:09:19:40 1:09:21:50 1:09:24:00 1:09:26:10 1:09:28:20 1:09:30:30 1:09:32:40 1:09:34:50 1:09:37:00 1:09:39:10 1:09:41:20 1:09:43:30 1:09:45:40 1:09:47:50 1:09:50:00 1:09:52:10 1:09:54:20 1:09:56:30 1:09:58:40 1:00:00:50 1:00:03:00 1:00:05:10 1:00:07:20 1:00:09:30 1:00:11:40 1:00:13:50 1:00:16:00 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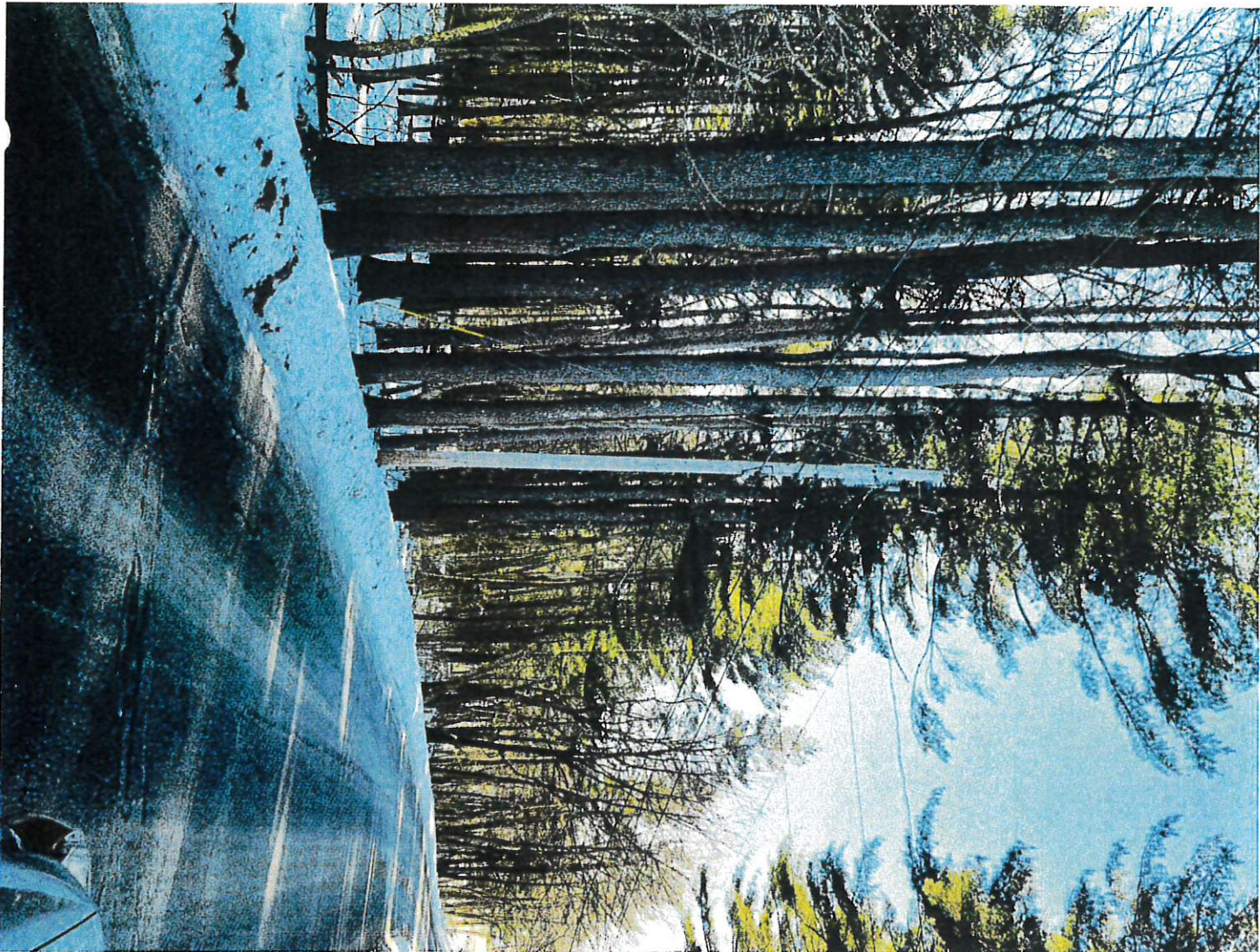
## 2.2 Aerial Photograph



## 2.3 Site/Context Photographs







## 2.4 Documentation Regarding Site Characteristics/Constraints



# National Flood Hazard Layer FIRMette



71°34'50"W 42°32'21"N

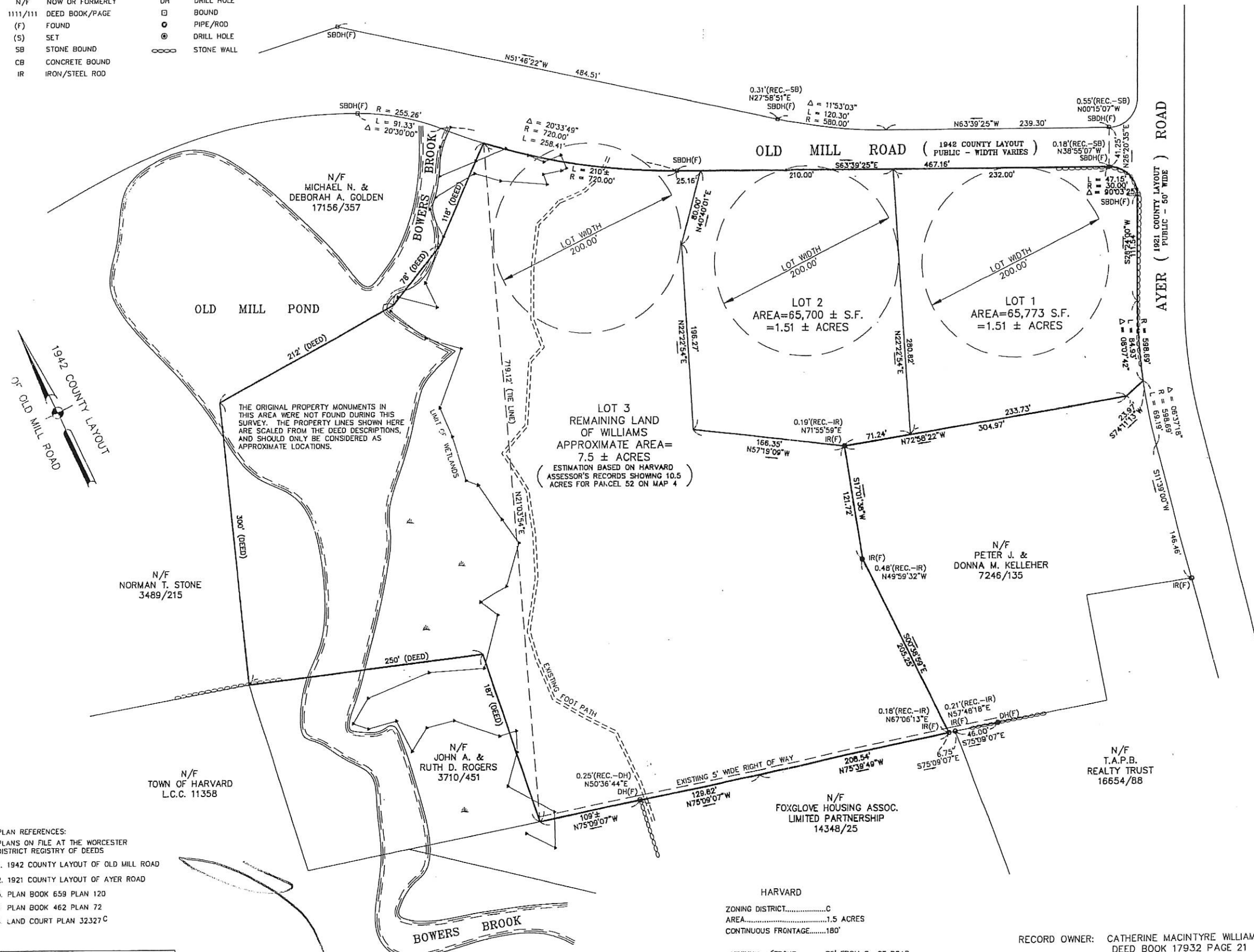


0 250 500 1,000 1,500 2,000 Feet 1:6,000  
Basemap: USGS National Map: Orthoimagery: Data refreshed October, 20

## 2.5 By-Right Site Plan

**LEGEND**

N/F	NOW OR FORMERLY	DH	DRILL HOLE
1111/111	DEED BOOK/PAGE	□	BOUND
(F)	FOUND	○	PIPE/ROD
(S)	SET	⊙	DRILL HOLE
SB	STONE BOUND	—○—	STONE WALL
CB	CONCRETE BOUND		
IR	IRON/STEEL ROD		



THE ORIGINAL PROPERTY MONUMENTS IN THIS AREA WERE NOT FOUND DURING THIS SURVEY. THE PROPERTY LINES SHOWN HERE ARE SCALED FROM THE DEED DESCRIPTIONS, AND SHOULD ONLY BE CONSIDERED AS APPROXIMATE LOCATIONS.

THE PLANNING BOARD'S ENDORSEMENT OF THIS PLAN, THAT APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS NOT REQUIRED, SHALL NOT BE CONSTRUED AS THE PLANNING BOARD'S FINDINGS THAT THE LOTS CREATED BY THIS PLAN CONFORM TO THE REQUIREMENTS OF THE TOWN OF HARVARD PROTECTIVE ZONING BYLAWS, EXCEPT AS TO FRONTAGE AND ACCESS.

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED  
HARVARD PLANNING BOARD

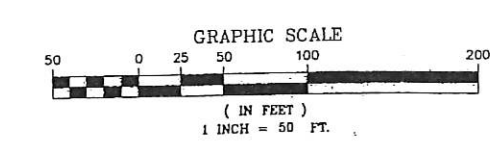
*John P. Macolini*  
*John P. Macolini*  
*John P. Macolini*  
*John P. Macolini*

DATE: 1/4/00

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



*John P. Macolini*  
JOHN P. MACOLINI, P.L.S. #40765  
DATE: 11-28-00



- PLAN REFERENCES:  
PLANS ON FILE AT THE WORCESTER DISTRICT REGISTRY OF DEEDS
1. 1942 COUNTY LAYOUT OF OLD MILL ROAD
  2. 1921 COUNTY LAYOUT OF AYER ROAD
  3. PLAN BOOK 659 PLAN 120
  4. PLAN BOOK 462 PLAN 72
  5. LAND COURT PLAN 32327 C

THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, COVENANTS, OR OTHER LIMITATIONS WHICH MAY BE DISCLOSED BY A TITLE EXAMINATION.

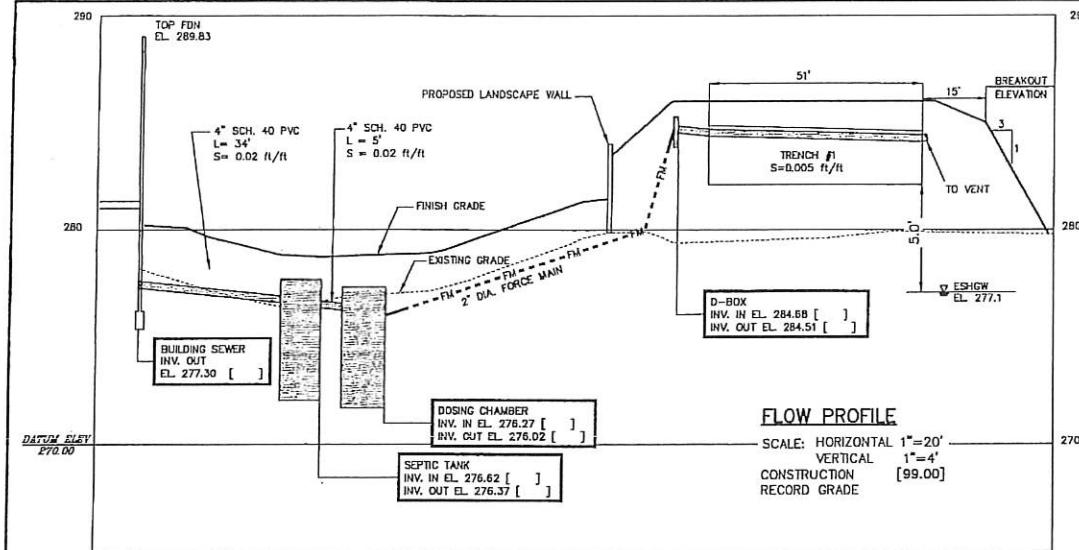
HARVARD  
ZONING DISTRICT.....C  
AREA.....1.5 ACRES  
CONTINUOUS FRONTAGE.....180'  
MINIMUM (FRONT.....75' FROM C OF ROAD  
YARD <SIDE.....40'  
DIMENSIONS (REAR.....40'

RECORD OWNER: CATHERINE MACINTYRE WILLIAMS  
DEED BOOK 17932 PAGE 21  
HARVARD ASSESSOR'S MAP 4 PARCEL 52

**PLAN OF LAND**  
IN  
**HARVARD, MASS.**  
PREPARED FOR:  
SIGNET HOMES, INC.  
C/O EDWARD W. PLANTE  
P.O. BOX 352 BOLTON, MASS.

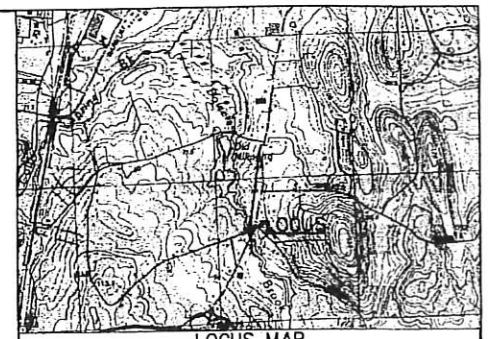
**Goldsmith, Prest & Ringwall, Inc.**  
257 AYER RD. HARVARD, MA 01451  
CIVIL & STRUCTURAL ENGINEERING,  
LAND PLANNING & LAND SURVEYING  
(978) 772-1590 (978) 772-1591 FAX.

Drawn By: JPM	Scale: 1"=50'	Date: NOV. 28, 2000
Checked By: JPM	Plan #: 99213	Sheet: 1 of 1



SOIL ABSORPTION AREA SCHEDULE OF ELEVATIONS				
TRENCH #	BREAKOUT	HIGH INV.	LOW INV.	BOTTOM
1	284.9	284.36	284.10	282.1
2	284.1	283.56	283.30	281.3
3	283.3	282.76	282.50	280.5
4	282.5	281.96	281.70	279.7
5	281.8	281.26	281.00	279.0
6	281.1	280.56	280.30	278.3
7R	290.3	289.76	289.50	287.5
2R	289.5	288.96	288.70	286.7
3R	288.7	288.16	287.90	285.9
4R	287.9	287.36	287.10	285.1
5R	287.5	286.96	286.70	284.7
6R	286.7	286.16	285.90	283.9
7R	286.0	285.46	285.20	283.2

SOIL TEST ELEVATIONS				
HOLE NO.	GRADE	ESHW	BOTTOM	
1199-90	285.3	283.4	278.6	
1199-91	286.8	283.8	277.5	
1199-92	282.7	280.2	273.5	
1199-M	285.7	NONE	282.2	
1199-N	288.0	NONE	283.0	
1199-P	286.3	NONE	283.3	
1199-Q	282.3	NONE	279.8	
1299-1	281.7	278.2	273.4	
1299-2	277.4	274.2	269.9	
1299-50	276.9	273.8	266.9	
1299-S1	279.2	275.9	268.7	
1299-Y	279.3	NONE	275.1	
1299-Z	278.5	NONE	274.5	



**LOCUS MAP**  
1" = 2000'

**NITROGEN LOADING LIMITATIONS** (310 CMR 15.214-217)  
SENSITIVE AREA: NONE  
DESIGN FLOW LIMIT: NONE  
DESIGN FLOW: NONE

**DESIGN CRITERIA**  
FLOW AND SEPTIC TANK  
1. BUILDING USE: OFFICE  
2. NO. OF BEDROOMS: N/A  
3. DESIGN FLOW: 8000 SF/1000 SF X 75 GPD = 600 GPD  
4. TOTAL DAILY FLOW: 600 GALLONS  
5. GARBAGE GRINDER: NO  
6. SEPTIC TANK SIZE: 600 GPD X 200% = 1200 GAL., 200%/100% 2 COMPARTMENT (1320/660) TANK PROVIDED

**SOIL ABSORPTION AREA**  
1. DESIGN PERCOLATION RATE: 30 MIN. PER INCH  
2. SOIL TEXTURAL CLASS: II  
3. LONG TERM ACCEPTANCE RATE: 0.33 GPD/SF  
4. EFFECTIVE AREA REQUIRED (LOCAL CODE): 600 GPD / 0.33 GPD/SF = 1819 SF  
5. EFFECTIVE AREA PROVIDED:  
6. TRENCHES X 51 FT LONG X 2 FT WIDE X 2 FT DEEP = 1636 SF  
7. MIN. SEPARATION, BOTTOM STONE TO ESHW: REQ'D: 5 FT; PROVIDED: 5 FT.

**RESERVE AREA**  
1. DESIGN PERCOLATION RATE: 30 MIN. PER INCH  
2. EFFECTIVE AREA REQUIRED (LOCAL CODE): 600 GPD / 0.33 GPD/SF = 1819 SF X 150% = 2729 SF  
3. EFFECTIVE AREA PROVIDED:  
7. TRENCHES X 65 FT LONG X 2 FT WIDE X 2 FT DEEP = 2730 SF

**DRAWING ISSUED FOR:**  
 CONCEPT  CONSTRUCTION  
 PERMIT  CONSTRUCTION RECORD

THIS DRAWING IS NOT INTENDED TO SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, NOR IS IT INTENDED TO DEFINE ALL CONSTRUCTION CONTRACTOR RESPONSIBILITIES/AREAS OF JURISDICTION.

**ASSASSORS REFERENCE:**  
ASSESSORS MAP 4, PARCEL 52

NO.	DATE	BY	APP.	REVISION DESCRIPTION
1.	5/22/01	JEG	BOR	PER NABH COMMENTS 7/31/01

**GPR**  
GOLDSMITH, PREST & RINGWALL, INC.  
257 AYER RD. HARVARD, MA 01451  
CIVIL & STRUCTURAL ENGINEERING LAND SURVEYING & LAND PLANNING  
VOICE: 978-772-1599 FAX: 978-772-1591  
EMAIL: civ@pr-lac.com

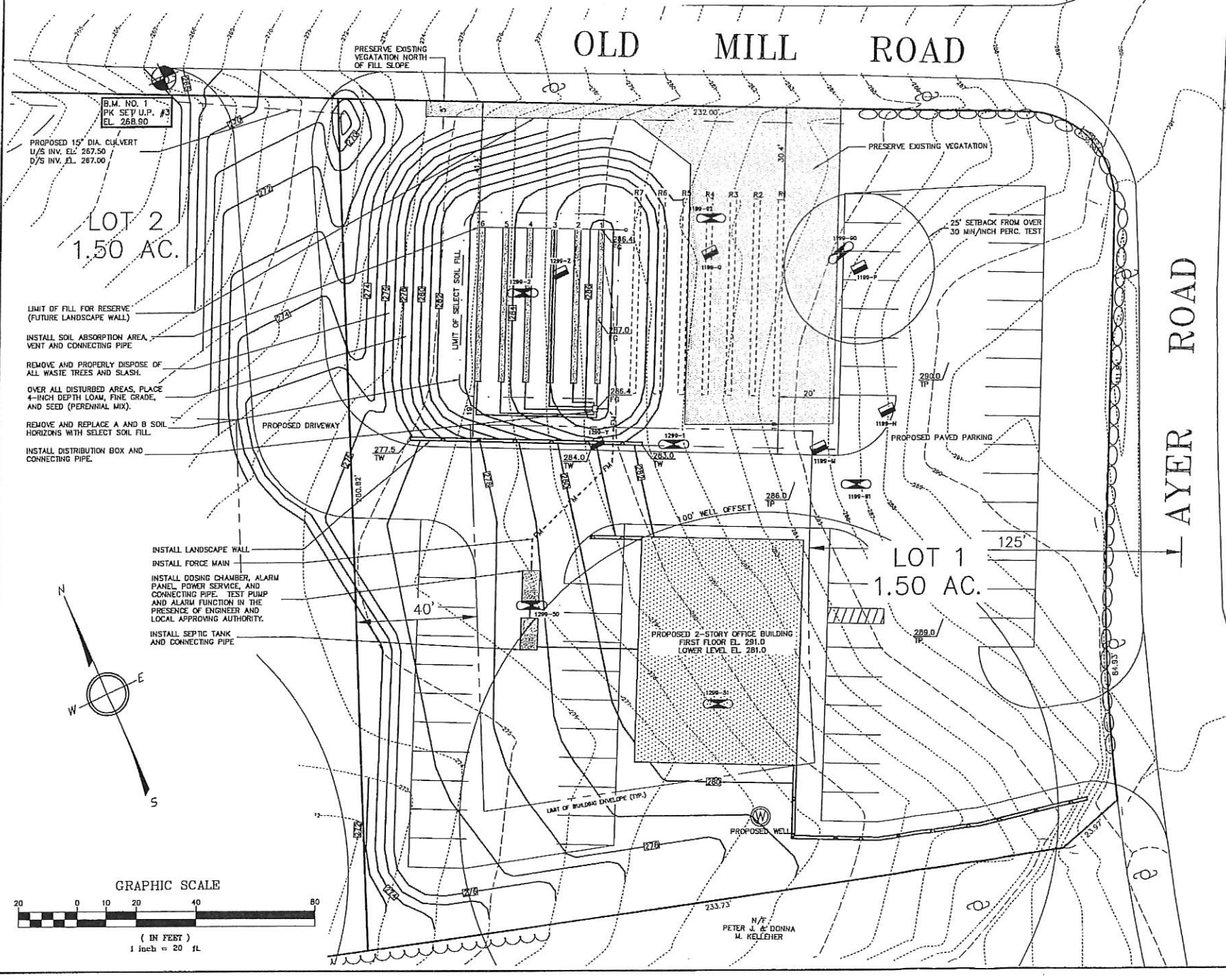
**SUBSURFACE SEWAGE DISPOSAL SYSTEM NEW CONSTRUCTION**

**SITE PLAN AND FLOW PROFILE**

**LOT 1  
OLD MILL ROAD  
HARVARD, MA**

OWNER:  
SIGNET HOMES, INC.  
PO BOX 352  
BOLTON, MA 01740

DES. BY:	JEG	SCALE:	1" = 20'	JOB NO.:	99213	1 OF 2
CHK. BY:	AFS	DATE:	JUNE, 2001			



**LEGEND**

**EXISTING**  
100.0 ELEVATION CONTOUR  
100.0 SPOT GRADE  
PROPERTY LINE  
BUILDING ENVELOPE  
10-YR FLOODPLAIN LIMIT  
100-YR FLOODPLAIN LIMIT  
WETLAND EDGE WITH FLAG NO.  
25' NO-DISTURBANCE ZONE LIMIT  
100' WETLAND BUFFER ZONE LIMIT  
SHORELINE  
INTERMITTENT STREAM/DITCH  
200' RIVERFRONT ZONE LIMIT  
EDGE OF PAVEMENT  
GRAVEL/DIRT ROAD  
FENCE  
STONE WALL  
WATER MAIN  
WATER SERVICE  
FOUNDATION DRAIN  
FORCE MAIN  
GRAVITY SEWER LINE  
GAS LINE  
BURIED POWER LINE  
STORM DRAIN  
CATCH BASIN  
DRAIN MANHOLE  
HAYBALE BARRIER  
SILT FENCE BARRIER  
RETAINING WALL  
DEEP SOIL OBSERVATION HOLE  
PERCOLATION TEST  
SOIL BORING  
GROUNDWATER MONITORING WELL  
WELL  
ELEVATION BENCHMARK

**PROPOSED**  
100.0 ELEVATION CONTOUR  
100.0 SPOT GRADE  
PROPERTY LINE  
BUILDING ENVELOPE  
10-YR FLOODPLAIN LIMIT  
100-YR FLOODPLAIN LIMIT  
WETLAND EDGE WITH FLAG NO.  
25' NO-DISTURBANCE ZONE LIMIT  
100' WETLAND BUFFER ZONE LIMIT  
SHORELINE  
INTERMITTENT STREAM/DITCH  
200' RIVERFRONT ZONE LIMIT  
EDGE OF PAVEMENT  
GRAVEL/DIRT ROAD  
FENCE  
STONE WALL  
WATER MAIN  
WATER SERVICE  
FOUNDATION DRAIN  
FORCE MAIN  
GRAVITY SEWER LINE  
GAS LINE  
BURIED POWER LINE  
STORM DRAIN  
CATCH BASIN  
DRAIN MANHOLE  
HAYBALE BARRIER  
SILT FENCE BARRIER  
RETAINING WALL  
DEEP SOIL OBSERVATION HOLE  
PERCOLATION TEST  
SOIL BORING  
GROUNDWATER MONITORING WELL  
WELL  
ELEVATION BENCHMARK

**ABBREVIATIONS**  
TP TOP OF PAVEMENT  
TW TOP OF WALL  
FG FINISH GRADE  
FF FIRST FLOOR  
LL LOWER LEVEL  
BF BOTTOM OF FOOTING

**ELEVATION DATUM**  
DATUM: NGVD 1929 B.M. NO.1  
NOTE: IF THERE ARE NO BENCH MARKS WITHIN 75 FEET OF THE DISPOSAL SYSTEM TO BE INSTALLED, CONTRACTOR SHALL SET AT LEAST ONE BENCH MARK WITHIN SUCH PROXIMITY PRIOR TO ANY EXCAVATION.

**LOCAL BOARD OF HEALTH WAIVERS**  
REGULATION ADOPTED APRIL 4, 1984  
1. REQUIRED: TWO PASSING PERCOLATION TESTS IN THE PRIMARY AREA AND TWO PASSING PERCOLATION TESTS IN THE EXPANSION AREA.  
REQUESTED: ONE PASSING PERCOLATION TEST IN THE PRIMARY AREA AND ONE PASSING PERCOLATION TEST IN THE EXPANSION AREA.

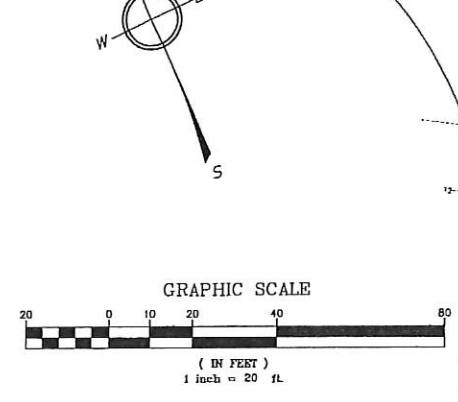
**SECTION B**  
2. REQUIRED: PERCOLATION RATE TWENTY MINUTES LIMIT PER INCH  
REQUESTED: PERCOLATION RATE THIRTY MINUTES PER INCH

3. REQUIRED: THE BOTTOM OF THE PROPOSED LEACHING AREA, AT ALL POINTS, MUST BE DESIGNED AT LEAST SIX (6) FEET ABOVE GROUND WATER ELEVATION AS NOTED WHEN THE TEST IS TAKEN DURING MAY 1 - MAY 30 OR DECEMBER 1 - THROUGH FEBRUARY.  
REQUESTED: (TEST HOLE 1299-1) THE BOTTOM OF PROPOSED LEACHING AREA BE FIVE (5) FEET ABOVE THE ESTIMATED SEASONAL HIGH GROUND WATER CALL.

4. REQUIRED: THE BOTTOM OF THE PROPOSED LEACHING AREA, AT ALL POINTS, MUST BE DESIGNED AT LEAST SEVEN (7) FEET ABOVE GROUND WATER ELEVATION AS NOTED WHEN THE TEST IS TAKEN DURING JUNE 1 - NOVEMBER 30 AND AT THE DISCRETION OF THE BOARD BETWEEN JULY 1 - OCTOBER 31.  
REQUESTED: (TEST HOLE 1199-92) THE BOTTOM OF PROPOSED LEACHING AREA BE FIVE (5) FEET ABOVE THE ESTIMATED SEASONAL HIGH GROUND WATER CALL.

**TITLE 5 VARIANCES** (310 CMR 15.410-417)  
NONE REQUIRED

**PLAN REFERENCES**  
1. "PLAN OF LAND IN HARVARD, MA" PREPARED FOR SIGNET HOMES, INC BY GOLDSMITH, PREST, AND RINGWALL, INC. DATED NOVEMBER 2000. PLAN NO. 99213.



PLAN NO. 99213, 08/21/01, 11:15:26 PM

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**GENERAL NOTES**

1. LOCATION OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
2. UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
3. CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS SHALL BE PERFORMED BY A LICENSED PROFESSIONAL LAND SURVEYOR. PROPERTY LINES SHOWN HEREON ARE APPROXIMATE. SEE PLAN REFERENCE HEREON.
4. SAFETY MEASURES, CONSTRUCTION METHODS, AND CONTROL OR WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND/OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
6. THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINS TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
7. ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
8. CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER UPON COMMENCEMENT OF CONSTRUCTION IN ORDER TO ENSURE THAT REQUIRED INSPECTIONS ARE PERFORMED IN A TIMELY AND EFFICIENT MANNER. CONTRACTOR SHALL NOT COVER ANY PART OF THE DISPOSAL SYSTEM UNTIL AUTHORIZED TO DO SO BY ENGINEER AND LOCAL BOARD OF HEALTH.
9. CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER UPON DISCOVERY OF ANY UNFORESEEN SURFACE OR SUBSURFACE CONDITIONS THAT MAY IMPACT SYSTEM INSTALLATION, REGULATORY APPROVAL, OR FUNCTION.
10. FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
11. WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
12. WHERE THE WORD "INSTALL" IS USED HEREIN, IT IS INTENDED TO DIRECT CONTRACTOR TO "FURNISH, INSTALL, AND PLACE IN OPERATION" THE COMPONENT REFERRED TO.
13. THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE SHALL NOT BE CONSTRUED AS A GUARANTEE THAT THE DISPOSAL SYSTEM WILL FUNCTION SATISFACTORILY.
14. EROSION CONTROL MEASURES, SUCH AS SILT FENCE OR HAY BALES AS MAY BE SHOWN HEREON, SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.
15. THE SUBJECT SYSTEM HAS BEEN DESIGNED TO PROCESS ONLY DOMESTIC SEWAGE AT THE INDICATED LOADING RATE. THE SYSTEM IS NOT DESIGNED TO ACCOMMODATE A GARAGE DISPOSAL.

**REGULATORY NOTES**

1. ALL WORK ON THE SEWAGE DISPOSAL SYSTEM SHALL BE PERFORMED BY A LICENSED DISPOSAL SYSTEM INSTALLER.
2. CONTRACTOR SHALL CONTACT DIS-SAFE FOR UNDERGROUND UTILITY MARKING AT 888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
3. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
4. CONTRACTOR SHALL BE AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK.
5. ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE EXISTING FACE OF BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.

**SITE NOTES**

1. ALL SEWAGE DISPOSAL SYSTEM COMPONENTS ARE GREATER THAN 400 FEET FROM SURFACE WATER RESERVOIRS AND GREATER THAN 200 FEET FROM TRIBUTARIES TO SURFACE WATER RESERVOIRS.
2. THERE ARE NO KNOWN EXISTING WELLS WITHIN 150 FEET OF PROPOSED SOIL ABSORPTION AREA, OR WITHIN 50 FEET OF PROPOSED SEPTIC TANK.
3. ALL KNOWN WELLS WITHIN 200 FEET OF SEWAGE DISPOSAL SYSTEM ARE SHOWN HEREON.
4. WATER SERVICE VIA  
- PRESSURE LINE FROM WELL.

**SPECIFICATIONS**

**PIPE (310 CMR 15.251)**

1. BUILDING SEWER - 4-INCH DIA. SCH 40 PVC, MIN. SLOPE 1/4 IN. PER FT.
2. SEPTIC TANK TO DOSING CHAMBER - 4-INCH DIA. SCH 40 PVC OR SDR35 PVC, MIN. SLOPE 1/8 IN. PER FT.
3. FORCE MAIN - 2-INCH DIA. SDR 26 CL 160 CASKETEED JOINT PVC.
4. DISTRIBUTION LINES - 4-INCH DIA. SCH 40 PVC OR SDR35 PVC, MIN. SLOPE 1/16 IN. PER FT., PERFORATED IN SOIL ABSORPTION AREA (PERFORATIONS DOWN AT 5 AND 7 O'CLOCK).
5. DISTRIBUTION LINES SHALL BE SQUARED WALL BETWEEN SOIL ABSORPTION AREA AND DISTRIBUTION BOX, LAID LEVEL FIRST 2 FEET DOWNSTREAM OF DISTRIBUTION BOX.
6. ALL PIPE SHALL BE BEDDED, HAUNCHED, AND BACKFILLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
7. BUILDING SEWER SHALL BE VENTED THROUGH MAIN STACK IN BUILDING SERVED BY IT.

**SEPTIC TANK (310 CMR 15.221, 15.223, 15.226)**

1. TANK SHALL BE RATED FOR H-20 LOADING. MANUFACTURER: SHEA CONCRETE PRODUCTS, INC., WILMINGTON, MA (978-658-2645), OR EQUAL.
2. TANK SHALL BE MADE WATERTIGHT, USING RUBBER JOINT SEALER AND NON-SHRINK GROUT ALONG ALL JOINTS. A WATER TEST MAY BE REQUIRED.

**DOSING CHAMBER (310 CMR 15.221, 15.231, 15.254)**

1. CHAMBER SHALL BE RATED FOR H-20 LOADING. MANUFACTURER: SHEA CONCRETE PRODUCTS, INC., WILMINGTON, MA (978-658-2645), OR EQUAL.
2. CHAMBER SHALL BE MADE WATERTIGHT, USING RUBBER JOINT SEALER AND NON-SHRINK GROUT ALONG ALL JOINTS. A WATER TEST MAY BE REQUIRED.
3. PUMP SHALL BE INSTALLED IN A DUPLEX CONFIGURATION. PUMP SHALL BE:
  - a. SUBVERSIBLE TYPE, RATED FOR CLASS I, DIVISION II SPACE;
  - b. SIMILAR OR EQUAL TO BARNES MODEL WHRHS, RATED AT 0.5 HP FOR SINGLE-PHASE POWER SERVICE;
  - c. CAPABLE OF PUMPING 50 GPM AT 18 FEET TOTAL DYNAMIC HEAD.
4. PUMP AND ALARM SHALL BE CONTROLLED BY MERCURY FLOAT SWITCHES. FLOATS SHALL BE READILY REMOVABLE FROM CHAMBER. THERE SHALL BE NO SPICES OR JUNCTION BOXES LOCATED WITHIN CHAMBER. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH CODE REQUIREMENTS.
5. CONTROL PANEL ENCLOSURE SHALL BE NEMA 3, WALL MOUNT CABINET, AND SHALL INCLUDE THE FOLLOWING:
  - a. A VISIBLE AND AUDIBLE ALARM TO SIGNAL HIGH WATER, POWERED BY A SEPARATE, DEDICATED CIRCUIT;
  - b. PUMPS SHALL ALTERNATE;
    - PUMPS OFF
    - LEAD PUMP ON
    - ALARM ON
    - LAG PUMP ON
    - PUMPS SHALL ALTERNATE

6. FORCE MAIN WITHIN DOSING CHAMBER SHALL BE 2-INCH DIAMETER SOLVENT WELDED SCHEDULE 80 PVC PIPE SHALL BE SECURED AGAINST MOVEMENT AND SHIELDED FROM ABRASION. A 2-INCH BALL TYPE CHECK VALVE SHALL BE INSTALLED ON THE VERTICAL FORCE MAIN RUN, ABOVE THE ALARM-ON LEVEL.
7. FORCE MAIN SHALL INCLUDE A SINGLE 1/4-INCH DIAMETER WEEP HOLE BETWEEN THE CHECK VALVE AND CHAMBER WALL.

**DISTRIBUTION BOX (310 CMR 15.232)**

1. DISTRIBUTION BOX SHALL BE RATED FOR H-10 LOADING. MANUFACTURER: SHEA CONCRETE PRODUCTS, INC., WILMINGTON, MA (978-658-2645), OR EQUAL.
2. A PVC INLET TEE, BOTTOM OF TEE ONE INCH ABOVE OUTLET INVERT, SHALL BE INSTALLED WHEN THE INLET PIPE SLOPE EXCEEDS 8% OR, WHERE A FORCE MAIN INLET IS SPECIFIED.
3. DISTRIBUTION BOX SHALL HAVE A MINIMUM INSIDE DIMENSION OF 12 INCHES AND A MINIMUM SWAMP DEPTH OF 6 INCHES BELOW OUTLET INVERT. BOX SHALL BE MADE WATERTIGHT WITH NON-SHRINK GROUT.

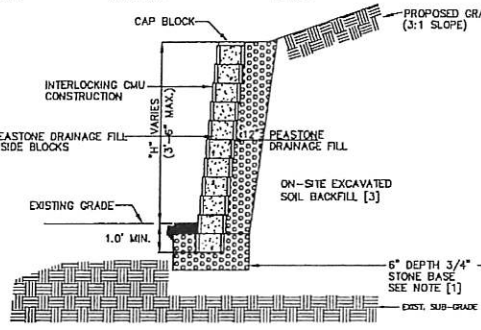
**SOIL ABSORPTION AREA**

1. ALL TOPSOIL, LARGE BOULDERS, OR OTHER UNSUITABLE MATERIAL ENCOUNTERED DURING EXCAVATION SHALL BE REMOVED FROM SOIL ABSORPTION AREA.
2. ALL EXCAVATION INTERFACES SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL OR LEACHING AGGREGATE.
3. WHEN SOIL ABSORPTION AREA IS TO BE INSTALLED WITHIN A & B SOIL HORIZONS (TOP & SUBSOIL) OR ABOVE NATURAL GRADE, THE TOP AND SUBSOIL, AND OTHER IMPERVIOUS MATERIALS SHALL BE REMOVED FROM BENEATH AREA, AND FROM THE SURROUNDING 5-FOOT BUFFER (SEE PLAN) AND REPLACED WITH SELECT SOIL FILL. FILL SHALL BE PLACED AND COMPACTED TO MINIMIZE SETTLEMENT. FILL SHALL BE SCARIFIED PRIOR TO PLACEMENT OF LEACHING AGGREGATE.
4. LEACHING AGGREGATE SHALL BE 3/4 TO 1-1/2" DOUBLE-WASHED STONE, FREE OF IRON, FINES, AND DUST IN PLACE.
5. FILTER AGGREGATE SHALL BE 1/8 TO 1/2" DOUBLE-WASHED STONE, FREE OF IRON, FINES, AND DUST IN PLACE.
6. COVER MATERIAL SHALL BE FREE OF DEBRIS AND STONES LARGER THAN 6 INCHES. COVER OVER SOIL ABSORPTION AREA SHALL BE GRADED TO ENSURE ADEQUATE RUNOFF (2% MIN.).

**SELECT SOIL FILL (310 CMR 15.255(3))**

1. SELECT SOIL FILL MATERIAL FOR SYSTEM CONSTRUCTION MAY CONSIST OF SELECT ON-SITE SOIL, OR IMPORTED SOIL.
2. SELECT SOIL FILL MATERIAL SHALL BE COMPRISED OF CLEAN, GRANULAR SAND, FREE FROM ORGANIC MATTER AND DELETERIOUS SUBSTANCES. MAXIMUM PARTICLE SIZE SHALL BE 2 INCHES.
3. A SIEVE ANALYSIS SHALL BE PERFORMED ON A REPRESENTATIVE SAMPLE OF THE FILL. UP TO 45% BY WEIGHT OF THE FILL SAMPLE MAY BE RETAINED ON A #4 SIEVE. A SIEVE ANALYSIS SHALL ALSO BE PERFORMED ON THE FRACTION OF THE FILL SAMPLE PASSING THE #4 SIEVE. SUCH ANALYSIS SHALL DEMONSTRATE THAT THE MATERIAL PASSING THE #4 SIEVE MEETS THE FOLLOWING GRADATION:

SIEVE	EFFECTIVE PARTICLE SIZE	PERCENT PASSING
#4	4.75 mm	100
#50	0.30 mm	10 TO 100
#100	0.15 mm	0 TO 20
#200	0.075 mm	0 TO 5



**LANDSCAPE RETAINING WALL**

TYPICAL CROSS SECTION SCALE 1"=3'

**NOTES:**

- [1] ORGANIC MATERIAL TO BE REMOVED TO A MAX. DEPTH OF 2 FEET AND REPLACED WITH 3/4" TO 1-1/2" STONE BASE.
- [2] INTERLOCKING CMU BLOCK WALL TO BE CONSTRUCTED IN ACCORDANCE W/ MFG. RECOMMENDATIONS.
- [3] FILL BEHIND WALL TO BE PLACED IN MAX. 8" LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY.

**SOIL EVALUATION SUMMARY**

PERFORMED BY: GUS SHARRY, P.E. GPR, INC.  
WITNESSED BY: IRA GROSSMAN, R.S., NABH  
EVALUATION PERFORMED: 11/2/99

**DEEP OBSERVATION HOLE LOG**

Depth from Surface (feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Stones, Boulder, Comatability, % Gravel)
0-10	A/B	lo	2.5Y 3/3	-	Top soil
10-24	C	lo	10YR 5/1	-	dk. sh. 3% gr to 4" dia. cr
24-42	C	cl	10YR 5/1	-	dk. sh. 3% gr to 4" dia. clay
42-80	C3	cl	10YR 5/1	-	dk. sh. 10% gr. cr

\* MINIMUM OF 3 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA  
From Manual Logsheet(s) 02      Depth to Bedrock: 212'  
Depth to Groundwater, Standing Water in the Hole: none      Wearing from P.F. Fac.: none  
Estimated Seasonal High Ground Water: 22'

**DEEP OBSERVATION HOLE LOG**

Depth from Surface (feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Stones, Boulder, Comatability, % Gravel)
0-12	A	lo	2.5Y 3/3	-	Top soil
12-42	Bw	lo	2.5Y 4/2	-	dk. sh. 15% gr to 2" dia. cr
42-66	C	cl	10YR 5/1	-	dk. sh. 3% gr to 4" dia. cr
66-102	C	cl	10YR 5/1	-	dk. sh. 3% gr to 4" dia. clay
102-112	C3	cl	10YR 5/1	-	dk. sh. 10% gr. cr

\* MINIMUM OF 3 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA  
From Manual Logsheet(s) 02      Depth to Bedrock: 212'  
Depth to Groundwater, Standing Water in the Hole: none      Wearing from P.F. Fac.: none  
Estimated Seasonal High Ground Water: 22'

**DEEP OBSERVATION HOLE LOG**

Depth from Surface (feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Stones, Boulder, Comatability, % Gravel)
0-16	A/B	lo	2.5Y 3/3	-	Top soil
16-40	C	lo	10YR 5/1	-	dk. sh. 3% gr to 4" dia. cr
40-60	C	cl	10YR 5/1	-	dk. sh. 3% gr to 4" dia. clay
60-110	C3	cl	10YR 5/1	-	dk. sh. 10% gr. cr

\* MINIMUM OF 3 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA  
From Manual Logsheet(s) 02      Depth to Bedrock: 212'  
Depth to Groundwater, Standing Water in the Hole: none      Wearing from P.F. Fac.: none  
Estimated Seasonal High Ground Water: 22'

**SOIL EVALUATION SUMMARY**

PERFORMED BY: GUS SHARRY, P.E. GPR, INC.  
WITNESSED BY: IRA GROSSMAN, R.S., NABH  
EVALUATION PERFORMED: 12/30/99

**DEEP OBSERVATION HOLE LOG**

Depth from Surface (feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Stones, Boulder, Comatability, % Gravel)
0-10	A	lo	2.5Y 3/3	-	dk. sh. lo. many roots
10-27	Bw	lo	10YR 4/8	-	dk. some roots, 10% to 12"
27-43	C	lo	2.5Y 5/2	-	dk. sh.
43-80	C2	cl	2.5Y 5/3	-	dk. sh. 4% to 4" dia. cr
80-120	C3	cl	2.5Y 5/3	-	dk. sh. no roots

\* MINIMUM OF 3 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA  
From Manual Logsheet(s) 02      Depth to Bedrock: 212'  
Depth to Groundwater, Standing Water in the Hole: none      Wearing from P.F. Fac.: none  
Estimated Seasonal High Ground Water: 22'

**DEEP OBSERVATION HOLE LOG**

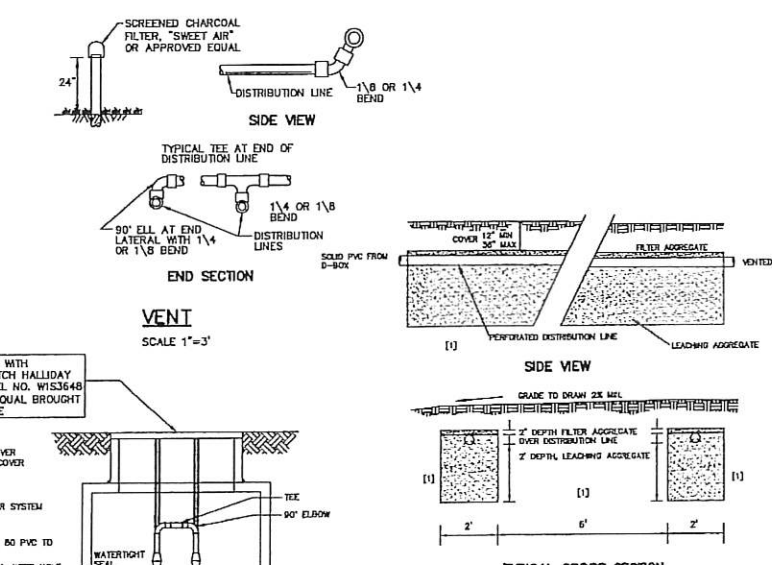
Depth from Surface (feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Stones, Boulder, Comatability, % Gravel)
0-10	A	lo	2.5Y 3/3	-	dk. sh. lo. many roots
10-20	B	lo	10YR 3/6	-	dk. some roots
20-34	C	lo	2.5Y 5/2	-	dk. sh.
34-50	C	lo	2.5Y 5/2	-	dk. sh. 3% to 4" dia. cr
50-90	C3	cl	2.5Y 5/2	-	dk. sh.
90-120	C4	cl	10YR 4/4	-	dk. sh. 3% to 3.5% to 4" dia

\* MINIMUM OF 3 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA  
From Manual Logsheet(s) 02      Depth to Bedrock: 212'  
Depth to Groundwater, Standing Water in the Hole: none      Wearing from P.F. Fac.: none  
Estimated Seasonal High Ground Water: 22'

**DEEP OBSERVATION HOLE LOG**

Depth from Surface (feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Stones, Boulder, Comatability, % Gravel)
0-10	A	lo	2.5Y 3/3	-	dk. sh. lo. many roots
10-22	B	lo	10YR 3/6	-	dk. some roots, bedrock to 12" 15%
22-44	C	lo	2.5Y 5/4	-	<5% pb
44-102	C2	cl	2.5Y 5/2	-	dk. sh. 3% to 3" dia. cr
102-128	C3	cl	2.5Y 4/3	-	no pb, no roots

\* MINIMUM OF 3 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA  
From Manual Logsheet(s) 02      Depth to Bedrock: 212'  
Depth to Groundwater, Standing Water in the Hole: none      Wearing from P.F. Fac.: none  
Estimated Seasonal High Ground Water: 22'



**PERCOLATION TEST DATA**

PERFORMED BY: BARRY BERZINS, GPR, INC.  
WITNESSED BY: ROB OVERTON, R.S., NABH  
TESTING PERFORMED: 11/3/99

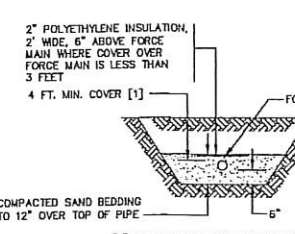
1199-M      26 MIN/INCH @ 42"  
1199-N      14 MIN/INCH @ 50"

PERFORMED BY: GUS SHARRY, P.E., GPR, INC.  
WITNESSED BY: IRA GROSSMAN, R.S., NABH  
TESTING PERFORMED: 11/2/99

1199-P      OVER 30 MIN/INCH @ 35"  
1199-Q      15 MIN/INCH @ 30"

PERFORMED BY: GUS SHARRY, P.E., GPR, INC.  
WITNESSED BY: IRA GROSSMAN, R.S., NABH  
TESTING PERFORMED: 12/30/99

1299-Y      16 MIN/INCH @ 50"  
1299-Z      10 MIN/INCH @ 48"



**FORCE MAIN TRENCH**  
TYPICAL CROSS SECTION  
NOT TO SCALE

**DRAWING ISSUED FOR:**

CONCEPT     CONSTRUCTION  
 PERMIT         CONSTRUCTION RECORD

THIS DRAWING IS NOT INTENDED TO SHOW CONSTRUCTION DETAILS AND SPECIFICATIONS FOR ALL PROPOSED IMPROVEMENTS, NOR IS IT INTENDED TO DEFINE ALL CONSTRUCTION CONTRACTOR RESPONSIBILITIES/AREAS OF JURISDICTION.

*[Professional Seal]*

NO.	DATE	BY	APP.	REVISION DESCRIPTION
1.	8/14/01	JEG	BOR	PER NABH COMMENTS 7/31/01

**GPR**

**GOLDSMITH, PREST & RINGWALL, INC.**  
357 AYER RD. HARVARD, MA 01451  
CIVIL & STRUCTURAL ENGINEERING LAND SURVEYING & LAND PLANNING  
VOICE: 978.772.1598 FAX: 978.772.1591  
EMAIL: chg@gpr-inc.com

**SUBSURFACE SEWAGE DISPOSAL SYSTEM NEW CONSTRUCTION**

**CONSTRUCTION DETAILS AND SPECIFICATIONS**

LOT 1  
OLD MILL ROAD  
HARVARD, MA

OWNER:  
SIGNET HOMES, INC.  
PO BOX 352  
BOLTON, MA 01740

DES. BY: JED	SCALE: 1" = 20'	JOB 99213	2 OF 2
CHK. BY: AFS	DATE: JUNE, 2001		

4:\DD2\99213\DWG\99213\_SDS\_HLDWG\_08-22-01\_2.06.37.dwg

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**Application for Chapter 40B Project Eligibility / Site Approval  
for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects**

**Section 3: PROJECT INFORMATION**

*In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the proposed project appears generally eligible under the requirements of the housing subsidy program and that the conceptual project design is generally appropriate for the site.*

**Construction Type:** New Construction

<b>Total Dwelling Units:</b>	24	<b>Total Number of Affordable Units:</b>	6
<b>Number of Market Units:</b>	18	<b>Number of AMI 50% Affordable Units:</b>	0
		<b>Number of AMI 80% Affordable Units:</b>	6

**Unit Information:**

Unit Type	Bedrooms	Baths	# Of Units	Unit Sq. Ft.	Sales Price	Condo/HO Fee
Market	3 Bedroom	2.5 Bat	9	2,000	\$659,000	\$250
Affordable Unit - Below 80%	3 Bedroom	1.5 Bat	3	2,000	\$340,000	\$250
Market	2 Bedroom	2.5 Bat	9	2,000	\$649,000	\$250
Affordable Unit - Below 80%	2 Bedroom	1.5 Bat	3	2,000	\$330,000	\$250

**Approach to calculating any additional fees relating to Condominium Association or Homeowners Association:**

**Percentage of Units with 3 or More Bedrooms:** 50

*\* Note that the January 17, 2014 Interagency Agreement Regarding Housing Opportunities for Families with Children requires that at least 10% of the units in the Project must have three (3) or more bedrooms. Evidence of compliance with this requirement must be provided at Final Approval.*

<b>Handicapped Accessible Units - Total:</b>	0	<b>Market Rate:</b>	0	<b>Affordable:</b>	0
<b>Gross Density (units per acre):</b>	0.0000	<b>Net Density (units per buildableacre):</b>	0.0001		

**Building Information**

Building Type	Building Style	Construction Type	Stories	Height	GFA	Number Bldg
Residential	Other	Construction	2	35	2,000	12

Will all features and amenities available to market unit residents also be available to affordable unit residents?

No

If not, explain the differences:

Although the exterior of the units will look the same, some of the interior decorating features will not be in affordable units. Laminate countertops, vinyl sheet flooring, and carpet will be in place of hardwood, tile, and granite, for instance. There will also be one less bathroom in the affordable units.

**Parking**

**Total Parking Spaces Provided:** 52      **Ratio of Parking Spaces to Housing Units:** 2.17

**Lot Coverage**

<b>Buildings:</b>	6%	<b>Parking and Paved Areas:</b>	4%
<b>Usable Open Space:</b>	80%	<b>Unusable Open Space:</b>	10%
<b>Lot Coverage:</b>	10%		

Does project fit definition of "Large Project" (as defined in 760 CMR 56.03 (6))?

No

## Section Three Attachments

3.1 Preliminary Site Layout Plan

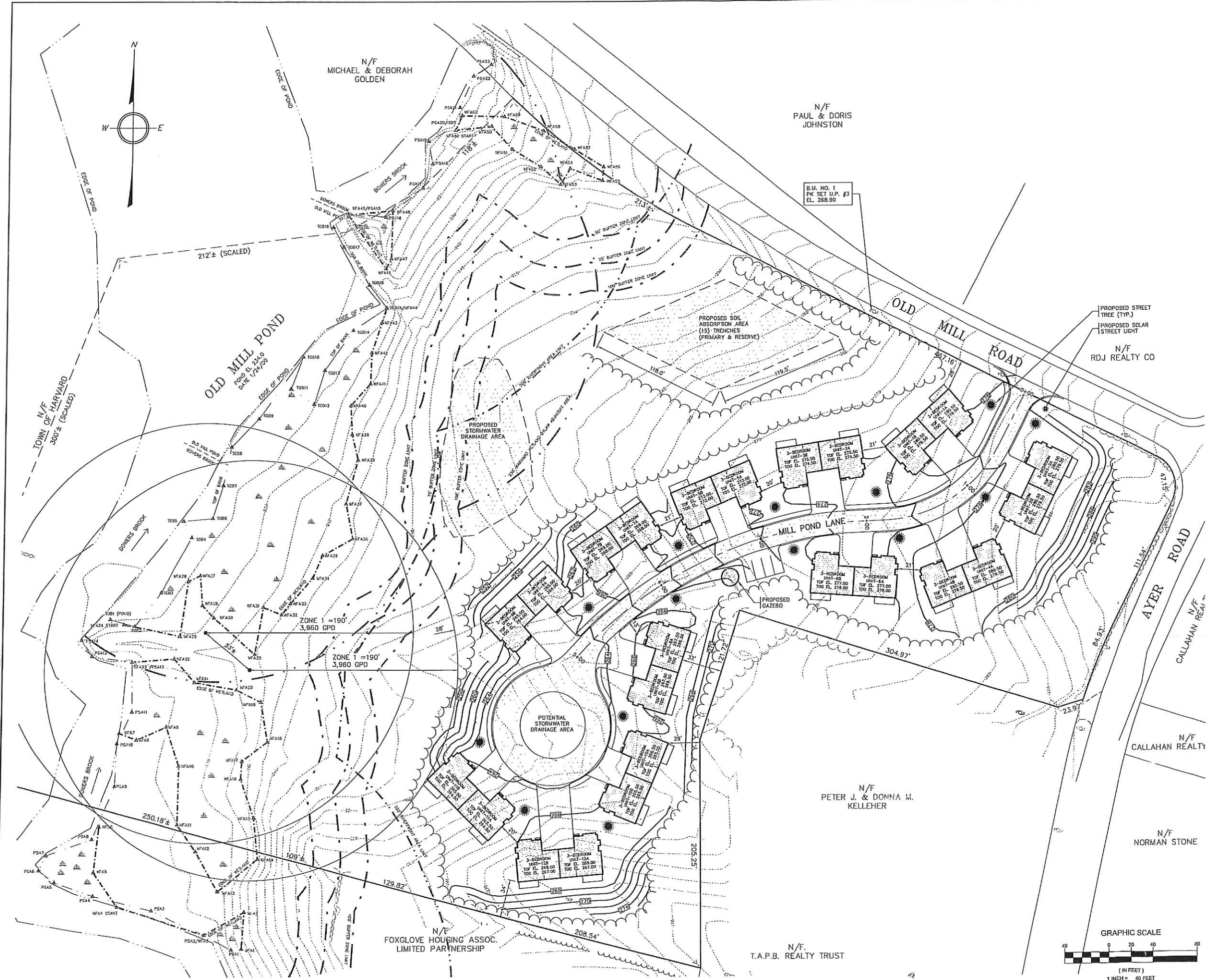
3.2 Graphic Representation of Project/ Preliminary Architectural Plans

3.3 Narrative Description

3.4 Tabular Zoning Analysis



## 3.1 Preliminary Site Layout Plan



**ELEVATION DATUM**  
 DATUM: NGVD 1929

B.M. NO. 1

**PLAN REFERENCES**

- "PLAN OF LAND IN HARVARD, MA" PREPARED FOR SIGNET HOMES, INC BY GOLDSMITH, PREST, AND RINGWALL, INC. DATED NOVEMBER 2000. PLAN NO. 99213.

**ASSESSORS REFERENCE:**

ASSESSORS MAP 4, BLOCK 52

**EXISTING CONDITIONS NOTES:**

- EXISTING CONDITION INFORMATION BASED ON AN ON-THE-GROUND TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY GOLDSMITH, PREST & RINGWALL, INC. DATED JUNE 7, 2007.

**DRAWING ISSUED FOR:**

CONCEPT     CONSTRUCTION  
 PERMIT         CONSTRUCTION RECORD

**ELECTRONIC COPY FOR REVIEW**

PROPOSED CONCEPTS SHOWN ON THIS DRAWING MAY NOT COMPLY WITH ANY REGULATIONS, BYLAWS / ORDINANCES, AND MAY NOT BE RENDERED IN DETAIL SUFFICIENT FOR PERMITTING PURPOSES AND IS NOT INTENDED FOR CONSTRUCTION. NO RESPONSIBILITY UNDER 250 CMR IS IMPLIED OR ACCEPTED.

NO.	DATE	BY	APP.	REVISION DESCRIPTION

**GPR** Engineering Solutions for Land & Structures

**GOLDSMITH, PREST & RINGWALL, INC.**  
 39 MAIN STREET, SUITE 301, AYER, MA 01432  
 CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING  
 VOICE: 978.772.1590 FAX: 978.772.1591  
 www.gpr-inc.com

RESIDENTIAL DEVELOPMENT

UNIT DEVELOPMENT CONCEPT

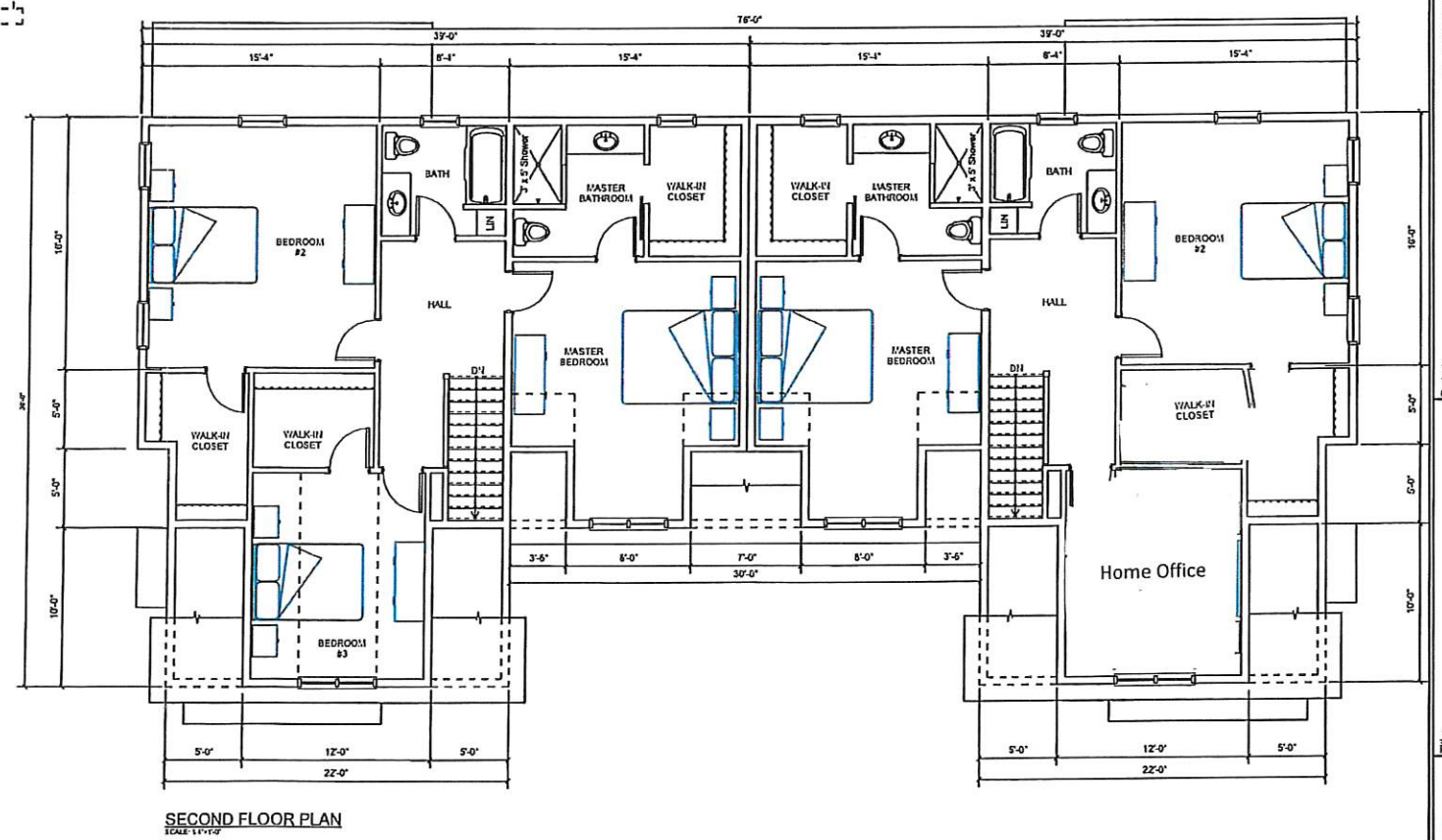
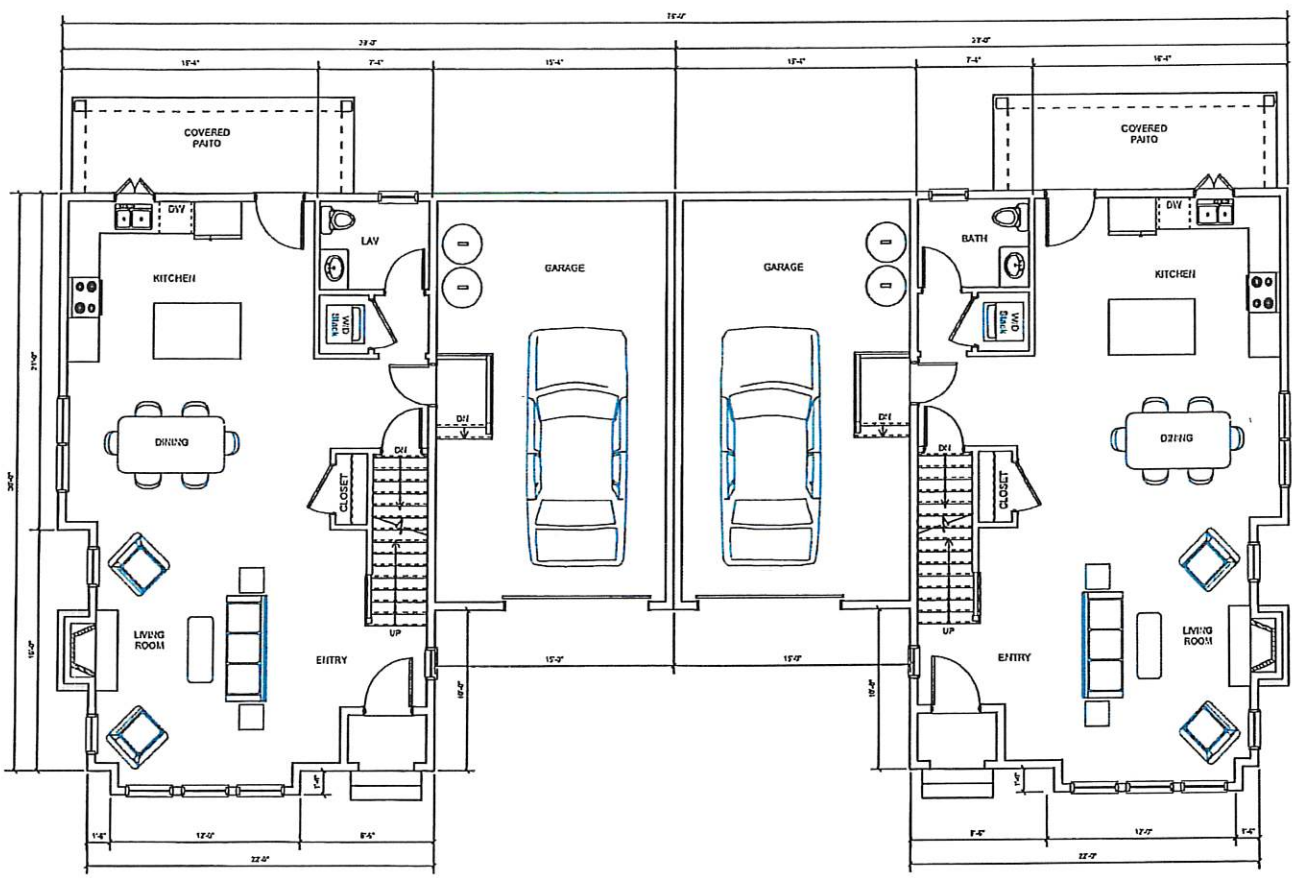
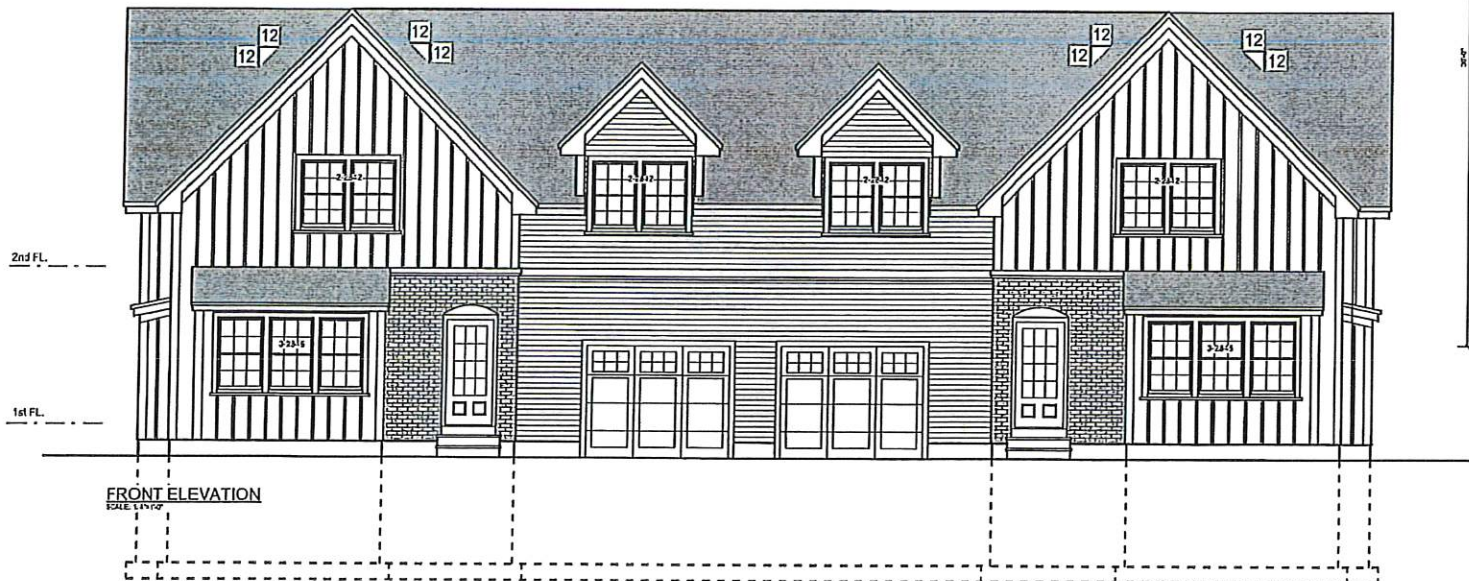
OLD MILL ROAD  
 HARVARD, MA

PREPARED FOR:  
 CHESTNUT ROAD DEVELOPMENT LLC  
 92 MIDDLESEX ROAD  
 TYNGSBOROUGH MA 01879

P:\211140\DWG\CONCEPT\CONCEPT PLAN (2-FEET GRID).DWG 01-31-22 6:35:21 PM - LAYOUT CONCEPT

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## 3.2 Graphic Representation of Project/Preliminary Architectural Plans



Project No.: 21052

Date: Oct. 07, 2021

Drawn By: JG

Checked By: JJ

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**NEW DUPLEX  
HARVARD, MASSACHUSETTS**

Project: 1147 Main Street, Suite 115, Tewksbury, MA (978) 985-1813 jozakos@comcast.net

Jozakos Architecture Inc.

**FOR BOARD  
APPROVAL ONLY**

Sheet 1/1

## 3.3 Narrative Description

## Architectural

The house design will be a stylish and attractive modern duplex farmhouse. Each unit features an identical 2-story layout.

The units will be clustered in twelve buildings, with two units per building. All units will be two stories, with some units having a walk-out basement depending on the topography. All units will have a one car garage on the first level. The units have been designed to be colonial style.

The homes will feature a variety of dormers, shed roofs, and porticos and will be accented by colonial style clapboard, vertical siding, and shakes. Each unit will have approximately 2,000 square feet of living space. In addition, there will be a full basement.

The units will be extremely energy efficient, using high efficiency heat pump heating and cooling systems, energy efficient windows and a hybrid heat pump hot water system. Each home will have solar panels, the number of panels on each home will be contingent on orientation. Insulation values in the exterior walls will be R-21 or better, with R-40 or better in the ceilings. The units will be better than Energy Star rated, with a projected HERS rating of 40 or lower.



(Similar to above photo)

## 3.4 Tabular Zoning Analysis

## Tabular Zoning Analysis

	<b>Required</b>	<b>Provided</b>
Zoning District C (commercial)		
Area	1.5 acres	Condominium 10.8 acres
Frontage	180 ft	942 ft
Minimum Front	75'	28'
Minimum Side	40'	26'
Minimum Rear	40'	30'



Application for Chapter 40B Project Eligibility / Site Approval  
for MassHousing-Financed and New England Fund ("NEF") Homeownership Projects

Section 4: SITE CONTROL

**Grantor/Seller:** Robert E. Marhefka and James Mastrogiovanni

**Grantee/Buyer:** Juno Construction, LLC , Walter Eriksen Manager

**Grantee/Buyer Type:** Applicant

**If Other, Explain:**

**Are the Parties Related?** No

For Deeds or Ground Leases:

**Date(s) of Deed(s) or Ground Leases(s):**

**Purchase Price:** \$0

For Purchase and Sales Agreements or Option Agreements:

**Date of Agreement:** 08/12/2021

**Expiration Date:** 09/01/2023

**Date of Extension** *(if extension granted):*

**New Expiration Date** *(if extension granted):*

**Purchase Price:** \$860,000

**Will any easements or rights of way over other properties be required in order to develop the site as proposed?:** No

**If Yes, Current Status of Easement:** Under Purchase and Sale Agreement

**Date(s) of Easements(s):**

For Easements:

**Date of Agreement:**

**Purchase Price:** 0.00

For Easement Purchase and Sales Agreements or Easement Option Agreements:

**Expiration Date:**

**Date of Extension** *(if extension granted):*

**New Expiration Date** *(if extension granted)*

**Purchase Price:** \$0

# Section Four Attachments

## 4.1 Evidence of Site Control

## 4.1 Evidence of Site Control

## PURCHASE AND SALE AGREEMENT

AGREEMENT made this twelfth day of August, 2021.

We, **ROBERT E. MARHEFKA** of Sutton, Massachusetts, and **JAMES MASTROGIOVANNI** of Shrewsbury, Massachusetts, as trustees of the REM Realty Trust, a trust under a declaration dated November 29, 2016, and recorded in the Worcester District Registry of Deeds in Book 59892, Page 352, (hereinafter called the "SELLER") agrees to sell, and **WALTER ERIKSEN**, of 72 Middlesex Road, Tyngsborough, Massachusetts (hereinafter called the "BUYER"), agrees to buy, on the terms hereinafter set forth, the following described premises:

**Ayer Road and Old Mill Road, Harvard, Mass. - see Exhibit A**

### 1. BUILDINGS, STRUCTURES, IMPROVEMENTS, AND FIXTURES:

NONE

### 2. TITLE DEED

Said premises are to be conveyed by a good and sufficient quitclaim deed running to the BUYER and said deed shall convey a good and clear record and marketable title thereto, free from encumbrances, except:

- a. Provisions of existing building and zoning laws;
- b. Such taxes for the then current year as are not due and payable on the date of the delivery of such deed;
- c. Any liens for municipal betterments assessed after the date of this Agreement.
- d. All easements, restrictions and rights of way, if any, of record to the extent the same are now in force and applicable, provided that they do not substantially interfere with the use of the premises for residential purposes.



**3. PLANS**

If said deed refers to a plan necessary to be recorded therewith, the SELLER shall deliver such plan with the deed in form adequate for recording or registration.

**4. PURCHASE PRICE**

The agreed purchase price for said premises is EIGHT HUNDRED SIXTY THOUSAND and 00/00 DOLLARS (\$860,000.00), of which

1,000.00	has been paid prior to this date;
15,000.00	has been paid this date
\$844,000.00	is to be paid at the time of delivery of the deed
<hr/>	by wired funds or certified check.
\$860,000.00	TOTAL

**5. TIME FOR PERFORMANCE: DELIVERY OF DEED**

Such deed is to be delivered thirty days after the expiration of any applicable appeal period of the approval of the BUYER's project by the Town of Harvard the Commonwealth of Massachusetts, at the Worcester South Registry of Deeds, unless otherwise agreed on in writing. If said approvals are not obtained before August 12, 2023, SELLER may terminate this agreement at SELLER's sole option, unless BUYER elects to purchase the Premises notwithstanding the failure to obtain said approvals, with a closing date of not later than September 1, 2023.

**6. POSSESSION AND CONDITION OF PREMISES**

Full possession of the premises, free of all tenants and occupants, except as herein provided, is to be delivered at the time of delivery of the deed, said premises to be then (a) in the same condition as they now are, subject to the provisions of the insurance clause hereinafter set forth, reasonable use and wear thereof excepted, and (b) not in violation of building, zoning, or environmental laws, and (c) in compliance with the provisions of any instrument referred to in Clause 2 hereof. The BUYER shall be entitled to inspection of said premises before the delivery of the deed to determine whether the condition thereof meets the terms of this clause.

**7. EXTENSION TO PERFECT TITLE OR MAKE PREMISES CONFORM**

If the SELLER shall be unable to give title, to make conveyance, or to deliver possession of the premises, all as herein stipulated, or if at the time of the delivery of the deed the premises do not conform with the provisions hereof, then the SELLER shall use

reasonable efforts to remove any defects in title, or to deliver possession as provided herein, or to make the premises conform to the provisions hereof, as the case may be, in which event the time for performance hereof shall be extended for a period of thirty (30) days.

**8. FAILURE TO PERFECT TITLE OR MAKE PREMISES CONFORM**

If at the expiration of the extended time the SELLER shall have failed to remove any defects in title, deliver possession, or make the premises conform, as the case may be, all as herein agreed, or if at any time during the period of this Agreement or any extension thereof the holder of a mortgage on said premises shall refuse to permit the insurance proceeds, if any, to be used for such purposes, then any payments made under this Agreement shall be forthwith refunded and all other obligations of all parties hereto shall cease, and this Agreement shall be void without recourse to the parties hereto.

**9. BUYER'S ELECTION TO ACCEPT TITLE**

The BUYER shall have the election, at either the original or any extended time for performance, to accept such title as the SELLER can deliver to the said premises in its then condition and to pay therefor the purchase price without deduction, in which case the SELLER shall convey such title.

**10. ACCEPTANCE OF DEED**

The acceptance of a deed by the BUYER or BUYER'S nominee, as the case may be, shall be deemed to be a full performance and discharge of every agreement and obligation herein contained or expressed, except such as are, by the terms hereof, to be performed after the delivery of said deed.

**11. USE OF PURCHASE MONEY TO CLEAR TITLE**

To enable the SELLER to make conveyance as herein provided, the SELLER may, at the time of delivery of the deed, use the purchase money or any portion thereof to clear the title of any or all encumbrances or interests, provided that all instruments so procured are recorded within a reasonable time after the delivery of said deed.

**12. MORTGAGE CONTINGENCY**

Not applicable.



**13. INSURANCE**

The premises shall, until full performance of this Agreement, be kept insured by the SELLER in the amount for which they presently are insured.

**14. ADJUSTMENTS**

Taxes for the then current fiscal year shall be adjusted as of the day of performance of this Agreement, and the net amount thereof shall be added to or deducted from, as the case may be, the purchase price payable by the BUYER at the time of delivery of the deed.

In the event the subject property is not separately identified by the municipality for tax purposes on the day of closing, the parties agree that the BUYER shall reimburse the SELLER for its proportionate share of taxes due on said property, and the SELLER shall pay for such taxes until the property is so separately identified. This paragraph shall survive the closing.

**15. ADJUSTMENT OF UNASSESSED AND ABATED TAXES**

If the amount of said taxes is not known at the time of the delivery of the deed, they shall be apportioned on the basis of the taxes assessed for the preceding year, with a reapportionment as soon as the new tax rate and valuation can be ascertained; and, if the taxes that are to be apportioned shall thereafter be reduced by abatement, the amount of such abatement, less the reasonable cost of obtaining the same, shall be apportioned between the parties, provided that neither party shall be obligated to institute or prosecute proceedings for an abatement unless herein otherwise agreed. This paragraph shall survive the closing. In no event shall the SELLER be liable to the BUYER for taxes attributable to improvements made to the land.

**16. BROKER'S FEE**

A broker's fee for professional services AS AGREED is due from the SELLER to Property Alternatives, Inc., the Broker herein, if, as and when the SELLER conveys said property and receives all proceeds from such sale.

**17. DEPOSIT**

All deposits made hereunder shall be held by the BROKER and the SELLER'S attorney, subject to the terms of this Agreement, without interest, and shall be duly accounted for at the time for performance of this Agreement. In the event a dispute arises over said deposit, the parties agree to indemnify the SELLER'S attorney for any costs he may incur in connection therewith.

**18. LIABILITY OF TRUSTEE, SHAREHOLDER, OR BENEFICIARY**

If the SELLER or the BUYER executes this Agreement in a representative or fiduciary capacity, only the principal or the estate represented shall be bound, and neither the SELLER nor the BUYER so executing, nor any shareholder or beneficiary of any trust, shall be personally liable for any obligation, express or implied, hereunder.

**19. WARRANTIES AND REPRESENTATIONS**

The BUYER acknowledge that they have not been influenced to enter into this transaction nor have they relied on any warranties or representations not set forth or incorporated in this Agreement or previously or hereafter made orally or in writing, except for the following warranties and representations, if any, made by the SELLER: NONE.

**20. CONSTRUCTION OF AGREEMENT**

This instrument, executed in triplicate, is to be construed as a Massachusetts contract; is to take effect as a sealed instrument; sets forth the entire contract between the parties; is binding on and inures to the benefit of the parties hereto and their respective heirs, devisees, executors, administrators, successors, and assigns; and may be canceled, modified, or amended only by a written instrument executed by both the SELLER and the BUYER or their attorneys. If two or more persons are named herein as BUYERS, BUYERS' obligations hereunder shall be joint and several. The captions and marginal notes are used only as a matter of convenience and are not to be considered a part of this Agreement or to be used in determining the intent of the parties to it. This Agreement supersedes and voids any and all prior agreements or representations made by either party, except as incorporated herein. This paragraph shall survive the closing.

**21. TITLE EXPENSES**

The BUYER shall be responsible for furnishing and paying for title certification.

**22. 1099 FORM**

At time of closing, all parties shall furnish their respective information necessary to complete Form 1099 (addresses, social security numbers, etc.). If lender's attorney does not file Form 1099, BUYER'S attorney shall.





## 23. NOTICES

Any notice required to be given in this Agreement shall be in writing and shall be deemed to be duly given when delivered to the party entitled to such notice by 5:00 p.m. via facsimile and/or by regular mail postage prepaid and postmarked by midnight to the SELLERS and BUYERS as follows:

To SELLER: Joe Boynton, Esquire  
370 Main Street, Suite 1050  
Worcester, MA 01608  
Phone: (508) 754-4321  
Fax: (508) 797-4638  
joeboynton@verizon.net

To BUYER: Scott Eriksen  
Perkins & Anctil, PC  
6 Lyberty Way, Suite 201  
Westford, MA 01886  
978-496-2000  
seriksen@perkinslawpc.com

## 24. ADDITIONAL PROVISIONS

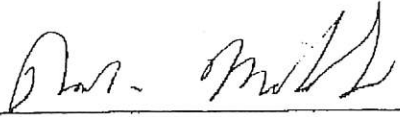
- a. Any title matter that is the subject of a title standard of the Real Estate Bar Association for Massachusetts at the time for delivery of the deed shall be governed by said title standard to the extent applicable.
- b. It is specifically understood and agreed that the SELLER is not a party to the BUYER'S contract for mortgage financing and is under no obligation to pay for any service charge sought to be imposed by the BUYER'S mortgagee whether or not said charge is covered by any conveyancing standard or practice. This includes any fee imposed by the BUYER'S lender's attorney for obtaining the mortgage discharge.
- c. On September 1, 2022, and on the first day of each month thereafter as long as the SELLER or its successors and/or assigns is the owner of the Premises, the BUYER shall pay the SELLER the sum of One Thousand Two Hundred Fifty Dollars (\$1,250.00). All such payments shall be nonrefundable and shall not be applicable toward the purchase price.
- d. If the transfer contemplated by this agreement does not occur for any reason, the BUYER shall deliver to the SELLER all surveys, test results, engineering studies or plans, and any other documents or information, liberally construed,

pertaining to the Premises and the development thereof, and all rights thereto, free of any claim, lien or encumbrance whatsoever.

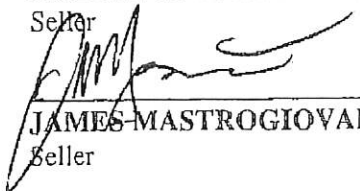
c.

1. The Buyer intends to develop the property as a Comprehensive Permit 40B Development. The buyers obligation to close will be expressly subject to receiving all State and Local permits required to obtain building permits for a minimum of 24 residential units, similar to the concept plan prepared by GPR Engineering solutions.
2. The Buyer's obligation to close will be expressly subject to receipt of all necessary approvals from DEP and the appropriate health agencies for a public drinking water supply.
3. The Buyer's obligation to close will be expressly subject to receipt of all necessary Conservation Commission approvals.

IN WITNESS WHEREOF, the parties hereto have set their hands and seals the day and year first above written

  
\_\_\_\_\_  
ROBERT E. MARHEFKA, Trustee,  
Seller

  
\_\_\_\_\_  
WALTER ERIKSEN, Buyer

  
\_\_\_\_\_  
JAMES MASTROGIOVANNI, Trustee,  
Seller

**EXHIBIT A**

PARCEL I

A certain tract or parcel of land situated in said Harvard, located on Old Mill Road and Ayer Road and described in a mortgage from Edmond H. Plante and Edmond W. Plante as Trustees of Old Mill Realty Trust to Hudson Savings Bank, dated December 21, 2000, and recorded in Worcester County Registry of Deeds at Book 23350, Page 253.

Being the same premises described in a foreclosure deed from Hudson Savings Bank to Pleasant Properties, Inc., dated June 27, 2006, and recorded in the Worcester District Registry of Deeds in Book 39280, Page 161.

Parcel II

A certain place or parcel of land, with the buildings thereon, situated in the Northerly part of the Town of Harvard in the County of Worcester and Commonwealth of Massachusetts and on the West side of the road from Harvard and Ayer Road to the Harvard and Shirley Road, bounded and described as follows:

BEGINNING at the southeast corner of the premises on the West side of the said Harvard and Ayer Road at a stake and stones in the wall at land now or formerly of one H.S. Norton, near a large elm tree;

THENCE by land now or formerly of said Norton North 77° 30' West one hundred nineteen (119) feet to a corner;

THENCE by land now or formerly of said Norton South 9° 15' West one hundred twelve and 8/10 (112.8) feet to a stake and stones;

THENCE by land now or formerly of said Norton North 76° West seven hundred seventy-nine (779) feet to the brook and crossing the said brook and extending in the same direction ninety (90) feet to a maple tree marked;

THENCE by land now or formerly of said Norton North 6° 30' East one hundred eighty-seven (187) feet to land now or formerly of E.O. & G. H. Harlow to stake and stones near large rock at a brook;

THENCE Northerly by the brook pond and the said Harlow land about three hundred (300) feet to a stake and stones at edge of Pond at land now or formerly of one C. H. Putnam;

THENCE crossing pond by land now or formerly of C.H. Putnam North 83° East two hundred twelve (212) feet to a stone bound about ten (10) feet east of the dam;

THENCE by land now or formerly of said Putnam North 60 ° East seventy-eight (78) feet to a large rock near brook;

THENCE by land now or formerly of said Putnam North 45 ° East one hundred eighteen (118) feet to a stone bound at the road leading from the Harvard and Shirley Road to the Harvard and Ayer Road;

THENCE Southeasterly by said road about seven hundred and ten (710) feet to the Harvard and Ayer Road;

THENCE Southerly by said Harvard and Ayer Road about four hundred thirty-one (431) feet to point of starting, the same to contain twelve and one-half (12 1/2) acres, more or less.

Excepting so much of the above referred to premises conveyed by a deed to Vivian dated July 7, 1964, and recorded at Worcester District Registry of Deeds Book 4481, Page 106.

The Premises granted hereby are granted together with the right of way from Ayer Road as reserved in said deed recorded at Book 4481, Page 106.

Being the same premises described in a quitclaim deed from Pleasant Properties, Inc., to REM Realty Trust dated November 29, 2016, and recorded in the Worcester District Registry of Deeds in Book 56380, Page 389.

## PURCHASE AND SALE AGREEMENT

### BUYER'S RIDER

This Buyer's Rider to Purchase and Sale Agreement (collectively, the Rider and the Purchase and Sale Agreement are referred to herein as the "Agreement") is executed this 12<sup>th</sup> day of August, 2021, and is incorporated by reference into the Purchase and Sale Agreement between **Rem Realty Trust**, Robert E. Marhefka and James Mastrogiovanni, Trustees, having an address at 484 Main Street, Suite 330, Worcester, Massachusetts hereinafter called the Seller, agrees to sell and **Walter K. Eriksen, Jr., or his nominee**, having an address at 92 Middlesex Road, Tyngsborough, Massachusetts 01879.

If any provision in this Buyer's Rider conflicts in any way with any other provision in the Purchase and Sale Agreement, or with any addenda or exhibits thereto, the provision contained in this Buyer's Rider shall control.

1. Buyer and Buyer's representatives and agents shall have reasonable access to the premises throughout the term of the Agreement, for the purposes enumerated herein, provided such access does not materially interfere with Seller's use or occupancy of the premises. Buyer shall have the right to conduct tests, clearing/cutting, drilling, exploratory excavation, surveys and other investigation of the premises to the extent the Buyer may reasonably determine necessary, in Buyer's reasonable discretion, in order to conduct its due diligence and/or to allow Buyer to obtain the necessary permits and approvals as set forth herein; provided, however, that Buyer hereby agrees to indemnify, defend and hold harmless the Seller from and against any and all liabilities, claims or penalties on account of or based upon any injury to any person or loss of or damage to any property arising out of or in connection with the Buyer's entry onto or occupation or use of the premises pursuant to this Paragraph. In the event that Buyer does not purchase the property, the Buyer further agrees to reasonably restore the property – at Buyer's expenses – to the condition existing prior to any of the Buyer's investigations as set forth herein.

BUYER shall require the entity or the individual it uses to conduct such inspections and/or investigation to (i) maintain liability insurance of at least two million dollars (\$2,000,000.00) and to carry such Worker's Compensation insurance as is required by law in Massachusetts, (ii) name SELLER as an additional insured on its liability coverage, (iii) provide SELLER with certificates of such coverage prior to undertaking such inspections and/or investigations, and (iv) indemnify and hold SELLER harmless from and against any and all claims, demands and causes of action which arise from or are caused by the BUYER'S inspections and/or investigations or any related activities, excluding, however, any claim or cause of action resulting from discovery of a condition in existence prior to Buyer's inspection.

2. Until the delivery and recording of each deed, all risk of loss shall remain with the Seller, except as provided in the immediately preceding paragraph of this Rider.

3. The Buyer may, at Buyer's sole cost and expense, at any time and from time to time throughout the term of this Agreement, actively market and advertise the premises or any portion

W

or subdivision thereof, including the individual units, for sale or lease by the Buyer. In accordance with any such marketing, the Buyer may erect signs on the premises, place advertisements and retain the services of a real estate broker.

1. In order to facilitate the execution and delivery of certain documents contemplated hereby, each of the undersigned hereby grants to his respective attorney the actual authority to execute and deliver on his or her behalf any (a) agreement modifying the time for the performance of any event hereunder, or (b) any notice that may or must be given under this Agreement, and the parties may rely upon the signature of such attorney(s) (including faxed signatures) unless they have actual knowledge that the party has disclaimed the authority granted herein to bind him.
2. Seller hereby represents and covenants, as of the date hereof and at the time of the closing, the following, each of which shall constitute and be determined as a condition of this Agreement:
  - (a) Seller is and/or shall be duly authorized to enter in this Agreement and shall have approved such sale and waived any rights relating thereto and at the time of closing written evidence of such authority and power shall be presented and delivered to Buyer.
  - (b) The premises currently are, or shall be at the time of closing, free and clear of liens, attachments, encumbrances, easements, leases and tenancies which materially affect Buyer's intended use of the premises.
  - (c) Seller has no actual knowledge nor knows of any circumstances, litigation, judgments, events, transactions or occurrences which would give rise to any claims, liabilities or awards, contingent or otherwise, relating to the premises that may be imposed on Buyer by third person(s), except as specifically stated herein.
  - (d) Seller has not commenced nor has Seller received notice of the commencement of any proceeding which would affect the present zoning classification of the premises. Seller will not initiate any such proceedings and will promptly notify Buyer if Seller receives notice of any such proceeding commenced by third parties.
  - (e) To the best of Seller's actual knowledge and belief, there are no agreements or contracts affecting any of the premises or any use of the premises that would not be terminable by will by Buyer without penalty from and after the closing.
  - (f) No work has been done on the premises which could give rise to any liens under Massachusetts General Laws, Chapter 254, and no contracts are outstanding or in effect with respect to the doing of any such work.
  - (g) There is, to the best of Seller's actual knowledge and belief, no notice, suit, order, decree, claim, writ, injunction, or judgment relating to material violations of any laws, ordinances, codes, regulations or other requirements with respect to the premises (or any portion thereof) in, of or by any court or governmental authority having jurisdiction over the premises.

- (h) To the best of Seller's actual knowledge and belief, there are no suits, actions or proceedings pending or threatened against Seller materially affecting the premises or Seller's right or power to consummate the transaction contemplated by the Agreement before any court or administrative agency or office that will not be removed simultaneously with the delivery of the deed.
- (i) To the best of Seller's actual knowledge and belief, there is no condemnation proceeding pending or threatened against any portion of the premises.
- (j) Seller has not been required to obtain flood insurance for the premises.

Seller's representations and covenants herein shall survive the closing and the delivery and recording of the deed.

3. It is understood and agreed by the parties that the premises shall not be in conformity with the title provisions of the Agreement unless:
  - (a) All means of access to the premises shall be located completely within the boundary lines of said premises and shall not encroach upon or under the property of any other person or entity; excepting for access easements, which shall be located completely within the boundary lines of the servient estate so providing said access easement.
  - (b) No building, structure or improvement of any kind belonging to any other person or entity shall encroach upon or under said premises.
  - (c) The premises shall abut or have access to a public way, duly laid out or accepted as such by the city or town in which said premises are located.
  - (d) To the best of Seller's knowledge, title to the premises is insurable for the benefit of the Buyer by a title insurance company at normal premium rates in the American Land Title Association form currently in use, subject only to those printed exceptions to title normally included in the "jacket" to such form and to the exceptions set forth in this Agreement.
4. To the extent necessary, Seller shall remove all underground storage tanks currently located on the premises at the Seller's sole cost and expense. Seller further represents that Seller has never stored hazardous substances on the premises other than in full compliance with all applicable laws, and that Seller has never disposed of any oil or hazardous substances on the premises and that Seller is, to the best of Seller's knowledge, not aware of the generation, storage or disposal of such substances on the premises by anyone else. For purposes of this paragraph, "hazardous substances" shall be defined as set forth in the M.G.L. c. 21E and the Comprehensive Environmental Response and Compensation Liability Act of 1980, as amended, 42 USC §9601, et seq. and regulations promulgated thereunder. Seller's representations herein shall survive the closing and the delivery and recording of the deed.

5. Upon the execution of this Agreement, Seller agrees to deliver to Buyer on or before 5:00 p.m. on the fifth (5<sup>th</sup>) business day following the date of execution hereof, for Buyer's review, any and all information, plans, documents and permits relating to the following items, if any, within the possession of the Seller:

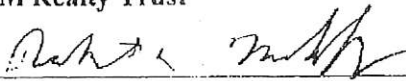
- ✓ (a) All engineering and survey data, including without limitation, all soils analysis, borings, percolation tests, wetlands mappings, etc. of the premises, if any;
- ✓ (b) A copy of the Seller's deed and any existing title insurance policies, if any;
- ✓ (c) All information relative to the absence or presence of hazardous waste materials or oils as defined under state and federal law and regulations, if any;
- ✓ (d) Any and all information relative to the zoning or planning status of the premises, including without limitation all prior applications (whether withdrawn or rejected) made to governmental bodies (including, but not limited to, conservation commissions, planning boards, selectmen, zoning boards, or other state or local authorities) relative to the use and development of the premises.

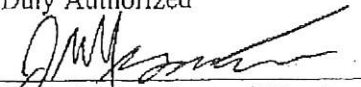
✓ Or, in the case of Paragraphs 5(a) and 5(d), Seller will authorize the engineering firm of Goldsmith, Prest & Ringwall, Inc. (Bruce Ringwall, President), to provide the Buyer at no cost to the seller, with any relevant documents they may have.

✓ Notwithstanding the above, the Seller shall only be required to furnish to the Buyer those items which are in the physical possession of the Seller or to which the Seller has reasonable access which is not available to Buyer. Seller shall also authorize all third parties otherwise in physical possession of the foregoing to cooperate with the Buyer and to make such items available to Buyer.


Executed as a sealed instrument this 13 day of May, 2021.

SELLER:  
**REM Realty Trust**

By:   
Robert E. Marhefka, Trustee  
Duly Authorized

By:   
James Mastrogiovanni, Trustee  
Duly Authorized

BUYER:

  
Walter K. Eriksen, Jr.



Application for Chapter 40B Project Eligibility / Site Approval  
for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects

**Section 5: FINANCIAL INFORMATION**

*In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that an initial pro forma has been reviewed and that the Proposed Project appears financially feasible and consistent with the Chapter 40B Guidelines, and that the Proposed Project is fundable under the applicable program.*

**Initial Capital Budget**

**Sales / Revenue**

**Market:** \$11,862,000  
**Affordable:** \$1,980,000  
**Related Party:** \$0  
**Other Income:** \$0  
**Total Sales/Revenue:** \$13,842,000

**Pre-Permit Land Value**

<b>Item</b>	<b>Budgeted</b>
<b>As-Is Market Value*:</b>	\$0
<b>Reasonable Carrying Costs:</b>	860,000
<b>Subtotal - Pre-Permit Land Value:</b>	\$860,000

*\* As-Is market value to be determined by a MassHousing commissioned appraisal*

Uses (Costs)

Item	Budgeted
<b>Acquisition Cost (Actual):</b>	
Actual Acquisition Cost: Land	\$860,000
Actual Acquisition Cost: Buildings	\$0
Reasonable Carrying Costs	\$0
<b>Total Acquisition Cost (Actual)</b>	<b>\$860,000</b>
<b>Construction Costs-Residential Construction Costs (Hard Costs):</b>	
Building Structure Costs	\$7,200,000
Hard Cost Contingency	\$360,000
<b>Subtotal - Residential Construction (Hard Costs)</b>	<b>\$7,560,000</b>
<b>Construction Costs-Site Work (Hard Costs):</b>	
Earth Work	\$225,000
Utilities: On-Site	\$450,000
Utilities: Off-Site	\$120,000
Roads and Walks	\$390,000
Site Improvement	\$85,000
Lawns and Plantings	\$96,000
Geotechnical Condition	\$0
Environmental Remediation	\$0
Demolition	\$0
Unusual Site Conditions/Other Site Work	\$0
<b>Subtotal - Site Work (Hard Costs)</b>	<b>\$1,366,000</b>
<b>Construction Costs-General Conditions, Builders Overhead and Profit (Hard Costs):</b>	
General Conditions	\$75,000
Builder's Overhead	\$120,000
Builder's Profit	\$120,000
<b>Subtotal - General Conditions, Builder's Overhead &amp; Profit</b>	<b>\$315,000</b>
<b>General Development Costs (Soft Costs):</b>	
Appraisal and Marketing Study <i>(not 40B "As Is" Appraisal)</i>	\$5,000
Lottery	\$16,000
Commissions/Advertising-Affordable	\$79,200
Commissions/Advertising-Market	\$593,100
Model Unit	\$5,000
Closing Costs <i>(unit sales)</i>	\$72,000
Real Estate Taxes	\$48,000
Utility Usage <i>(during construction)</i>	\$5,000
Insurance <i>(during construction)</i>	\$42,000

Security <i>(during construction)</i>	\$0
Inspecting Engineer <i>(during construction)</i>	\$5,000
Construction Loan Interest	\$240,000
<b>General Development Costs (Soft Costs) - continued</b>	

<b>Item</b>	<b>Budgeted</b>
Fees to Construction Lender:	\$48,000
Fees to Other Lenders:	\$20,000
Architectural	\$18,000
Engineering	\$190,000
Survey, Permits, etc.	\$96,000
Clerk of the Works	\$50,000
Construction Manager	\$160,000
Bond Premiums <i>(payment/performance/lien bond)</i>	\$5,000
Legal	\$40,000
Title <i>(including title insurance)</i> and Recording	\$5,000
Accounting and Cost Certification <i>(incl. 40B)</i>	\$25,000
Relocation	\$0
40B Site Approval Processing Fee	\$2,500
40B Technical Assistance / Mediation Fee	\$5,000
40B Land Appraisal Cost <i>(as-is value)</i>	\$5,000
40B Final Approval Processing Fee	\$25,000
40B Subsidizing Agency Cost Certification Examination Fee	\$5,000
40B Monitoring Agent Fee	\$15,000
40B Surety Fees	\$0
Other Financing Fees	\$0
Development Consultant	\$10,000
Other Consultant:	\$0
Other Consultant:	\$0
Soft Cost Contingency	\$60,000
Other Development Costs	\$60,000
<b>Subtotal - General Development Costs (Soft Costs)</b>	<b>\$1,954,800</b>
<b>Developer Overhead:</b>	
Developer Overhead	\$125,000
<b>Subtotal Developer Fee and Overhead</b>	<b>\$125,000</b>

Summary of Subtotals

Item	Budgeted
Sales/Revenue	\$13,842,000
Pre-Permit Land Value	\$860,000
Residential Construction	\$7,560,000
Site Work (Hard Costs)	\$1,366,000
General Conditions, Builder's Overhead & Profit (Hard Costs)	\$315,000
General Development Costs (Soft Costs)	\$1,954,800
Developer Fee and Overhead	\$125,000

Summary

Total Sales/Revenue	\$13,842,000
Total Uses (TDC)	\$12,180,800
Profit (Loss) from Sales Revenue	\$1,661,200
Percentage of Profit (Loss) Over the Total Development Costs (TDC)	13.6379

Application for Chapter 40B Project Eligibility / Site Approval  
for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects

**Section 6: APPLICANT QUALIFICATIONS, ENTITY INFORMATION, AND CERTIFICATION**

*In order to issue Site Approval MassHousing must find (as required by 760 CRM 56.04 (4)) that the applicant is either a non-profit public agency or would be eligible to apply as a Limited Dividend Organization and meets the general eligibility standards of the program.*

Development Team:

Company Name	Contact Name	Contact Role	Applicant	Dev Entity	Primary
Juno Construction, LLC	Walter Eriksen	Developer	Yes	Yes	Yes
Farrell & Robbins P.C.	Melissa Robbins	Attorney	No	No	Yes
Goldsmith, Prest & Ringwa	Bruce Ringwall	Consultant - Architect and Engineering	No	No	No
Lowell Five	A. Justin McCarthy	Developer	No	No	No

Entities Responsible for Development Tasks:

Development Task	Developer / Applicant	Contact Name / Company
Architecture and Engineering	No	Goldsmith, Prest & Ringwall, INC., Bru
Construction Management	Yes	Juno Construction, LLC, Walter Erikse
Finance Package	No	Lowell Five, A. Justin McCarthy
Local Permitting	No	Farrell & Robbins P.C., Melissa Robbir

Affiliated Entities:

Company Name	Individual Name	Affiliation	Relation
Juno Construction, LLC	Walter Eriksen	Managing Entity	Applicant

**Previous Applications:**

**Project Name:**

**Filing Date:**

**Municipality:**

**Decision Date:**

**Subsidizing Agency:**

**Decision:**

**Type:**

**Other Reference:**

## Section Five Attachments

5.1 New England Fund Letter of Interest

5.2. Market Sale Comparables

## 5.1 New England Fund Letter of Interest



April 15, 2022

Attorney Melissa Robbins  
Farrell & Robbins, P.C.  
270 Littleton Road, Suite 32  
Westford, MA 01886

Dear Attorney Robbins:

Please allow this letter to serve as Lowell Five's expressed interest in financing Walter Eriksen's MassHousing project located in Harvard, MA known of Mill Pond Estates. Mr. Eriksen is a long term and valued customer of the Bank and we look forward to this opportunity to work together once again. Should you have any question please do not hesitate to give me a call.

Thank you,


A handwritten signature in black ink, appearing to read "A. Justin McCarthy, III".

A. Justin McCarthy, III  
Senior Vice President Construction Lending



## 5.2 Market Sale Comparables

**Condominium Listings**




**MLS #: 72931111**      **Status:** ACT      **DOM:** 314      **List Price:** \$665,000  
 1 Powell Street U: B      **Description:** 1,846 SqFt, 6 room, 3 bed, 2f 1h bath Townhouse  
 Harvard, MA 01451

**Directions:** Jackson to Grant. Central Park will be located directly across from Chance St.  
**Remarks:** Live right on the Park! Open your front door to the green. HARVARD SCHOOLS! The 1st of our PREMIER Central Park townhomes hit the market in Devens! These tastefully built energy-efficient homes are designed by Union Studios...

x5

**Open House:** Saturday, February 12, 2022 from 12:00 PM to 2:00 PM  
**Event Type:** In-Person


**Open House:** Sunday, February 13, 2022 from 12:00 PM to 2:00 PM  
**Event Type:** In-Person



**MLS #: 72816681**      **Status:** UAG      **DOM:** 296    **DTO:** 296      **List Price:** \$679,900  
 2 Braeburn Court U: 17      **Description:** 2,200 SqFt, 5 room, 2 bed, 2f 1h bath Detached,  
 Harvard, MA 01451      Townhouse

**Directions:** Rt 2 to Rt 110 Ayer GPS location 371 Ayer Rd  
**Remarks:** This brand new development has something for every buyer. This home design has 2 large master suites on the 2nd level, including a walk in closet and large tiled walk in shower.. If you're working from home, you'll love...

x5



**MLS #: 72931116**      **Status:** ACT      **DOM:** 38      **List Price:** \$720,000  
 5 Powell St U: A      **Description:** 2,076 SqFt, 7 room, 3 bed, 2f 1h bath Half-Duplex  
 Harvard, MA 01451

**Directions:** Grant Rd to Powell. Building will be located on Central Park across from the end of Chance St.  
**Remarks:** Live right on the park! One of the only duplexes offering a 2 car garage. Premier townhomes on Central Park @ Emerson Green. Tastefully designed homes by Union Studio Arch & built by NOW Communities. Energy efficient living...

x2

**Open House:** Saturday, February 12, 2022 from 12:00 PM to 2:00 PM  
**Event Type:** In-Person

**Open House:** Sunday, February 13, 2022 from 12:00 PM to 2:00 PM  
**Event Type:** In-Person

**Condominium Listings:** 3    **Avg. Liv. Area SqFt:** 2040.67    **Avg. List \$:** \$688,300    **Avg. List \$/SqFt:** \$339    **Avg. DOM:** 216    **Avg. DTO:** 296

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## Section Six Attachments

6.1 Development Team Qualifications

6.2 & 6.3 Applicant Entity 40B Experience/Request for Fair Housing Experience

6.4 Applicant's Certification Explanation

6.5 Signed Certification & Acknowledgement

Other: Applicant's Ownership Entity Information

## 6.1 Development Team Qualifications

# Melissa E. Robbins, Attorney

Farrell & Robbins, P.C. 270 Littleton Road, Suite 32

Westford, MA 01886

978-577-6255

[Melissa@westfordlawfirm.com](mailto:Melissa@westfordlawfirm.com)

## EXPERIENCE:

Partner at Farrell & Robbins, P.C., *Melissa E. Robbins* has been actively involved with the legal aspects of the development, financing, and construction of real estate and affordable housing for the last seventeen years. During that time, Mrs. Robbins has been promoting smart growth and affordable housing for developers, as well as non-profit and government agencies through the use of local zoning, M.G.L. Chapter 40B and other creative methods.

## AFFILIATIONS:

- Member Massachusetts Bar Association, New Hampshire Bar Association, Federal Bar Association
- Member Northeast Builders Association
- Board Member of Habitat for Humanity of Greater Lowell
- Member Massachusetts Real Estate Bar Association

## RECENTLY COMPLETED DEVELOPMENTS (Partial List):

*Tyngsborough Crossing – Tyngsborough, MA*--Attorney for a 120-unit homeownership development. \*

*Common Ground Development Corp. – Acton, MA*--Attorney for a 15-unit rental development of which all units are affordable.\*

*CHOICE –Harvard, MA* --Attorney for a 9-unit rental development of which all units are affordable.\*

*Cottages at River Hill - West Newbury, MA*--Attorney for a 30-unit homeownership development.

*Drakes Landing - West Newbury, MA*--Attorney for a 34-unit homeownership development.

*Storage Solutions - Sterling, MA*--Attorney for five commercial structures containing over 81,000 square feet of self-storage units.

*Autofair - Chelmsford, MA*--Attorney for development of new AutoFair car dealership.

*Kinloch Retail – Chelmsford, MA*--Attorney for development of over 12,000 square feet of retail and restaurant space.

## CURRENT DEVELOPMENTS (Partial List):

*UMASS Lowell West Campus Redevelopment- Chelmsford, MA*—Attorney for 400-unit rental development.

*Meadowbrook—Salisbury, MA*--Attorney for 76-unit homeownership development.\*

*Villages at Shirley Station—Shirley, MA*--Attorney for 52-unit homeownership development. \*

*Beaver Brook Crossing, Chelmsford, MA*--Attorney for 80-unit-rental development.\*

*Greenmont Avenue Senior Housing, Dracut, MA*—Attorney for 76-unit senior affordable housing development. \*

35 Town Farm Road, Westford, MA—Attorney for 50-unit senior affordable housing development. \*

## EDUCATION

### Juris Doctor

New England School of Law, Boston, MA-2004

### Bachelor's degree

Clark University, Worcester, MA-2001

**\*Built pursuant to M.G.L. chapter 40B**

6.2 Applicant Entity 40B Experience

6.3 Request for Fair Housing Experience

### Applicant Ability and 40B Developments

Walter Eriksen is the Manager of Juno Development, LLC. He has been involved in five Chapter 40B Homeownership Developments over the years.

Sugar Maple Lane, Westford –

28 Townhouse units developed by Powers Road Development, LLC and completed in 2021.

Tyng Village, Tyngsboro –

28 Duplex style units developed by Tyng Road Development LLC and completed in 2020.

Maple Ridge Development, Tyngsboro-

124 single family homes developed by Maple Ridge Development and completed in 2017.

Red Gate Road, Dracut –

28 single family homes developed by Massapoag Real Estate Development completed in 2007.

We currently have site approval from MassHousing and approval from the Town of Newbury for 24 single family homes known as “The Villages of Cricket Lane”. We expect to start construction in the spring of 2022.

In addition to the five 40B projects referenced above, we have been constructing homes in the Merrimack Valley since 1992 and have completed numerous commercial, industrial, and residential developments.

## 6.4 Applicant's Certification Explanation



## **Attachment to Certification Written Explanation**

Question: Is there pending litigation with respect to any of the Applicant Entities?

Answer: Yes, SE Properties LLC owns an office building at 92 Middlesex Road in Tyngsboro. SE Properties is owned and managed by Walter Eriksen. One of the units downstairs is a Pizza Shop, and approximately two years ago a woman had the wind close the exterior door on her foot, and she is filed a lawsuit against the Pizza Shop, and SE Properties LLC. SE Properties LLC insurance company is currently litigating the issue.

## 6.5 Signed Certification & Acknowledgment

**Certification and Acknowledgement**

I hereby certify on behalf of the Applicant, under pains and penalties of perjury, that the information provided above for each of the Applicant Entities is, to the best of my knowledge, true and complete; and that each of the following questions has been answered correctly to the best of my knowledge and belief:

*(Please attach a written explanation for all of the following questions that are answered with a "Yes". Explanations should be attached to this Section 6.)*

Question	Answer
Is there pending litigation with respect to any of the Applicant Entities ?	Yes
Are there any outstanding liens or judgments against any properties owned by any of the Applicant Entities ?	No
Have any of the Applicant Entities failed to comply with provisions of Massachusetts law related to taxes , reporting of employees and contractors, or withholding of child support?	No
Have any of the Applicant Entities ever been the subject of a felony indictment or conviction ?	No
During the last 10 years, have any of the Applicant Entities ever been party to a lawsuit involving fraud , gross negligence, misrepresentation, dishonesty, breach of fiduciary responsibility or bankruptcy?	No
Have any of the Applicant Entities failed to carry out obligations in connection with a Comprehensive Permit issued pursuant to M.G.L. c. 40B and any regulations or guidelines promulgated thereunder (whether or not MassHousing is or was the Subsidizing Agency/Project Administrator) including, but not limited to, completion of a cost examination and return of any excess profits or distributions?	No
Have any of the Applicant Entities ever been charged with a violation of state or federal fair housing requirements ?	No
Are any of the Applicant Entities not current on all existing obligations to the Commonwealth of Massachusetts , and any agency, authority or instrument thereof?	No

I further certify that the information set forth in this application (including attachments) is true, accurate and complete as of the date hereof to the best of my/our knowledge, information and belief. I further understand that MassHousing is relying on this information in processing the request for Site Approval in connection with the above-referenced project; and

I hereby acknowledge our commitment and obligation to comply with requirements for cost examination and limitations on profits and distributions, all as found at 760 CMR 56.04(8) and will be more particularly set forth in a Regulatory Agreement by and between the Applicant and MassHousing.

I hereby acknowledge that will be required to provide financial surety by means of bond, cash escrow and a surety escrow agreement or letter of credit with the agreement that it may be called upon or used in the event that the Developer fails either to (i) complete and submit the examined Cost Certification as required by 760 CMR 56.04(8) and the Regulatory Agreement, or (ii) pay over to the Subsidizing Agency or the Municipality any funds in excess of the limitations on profits and distributions from capital sources as required by 760 CMR 56.04(8) and as set forth in the Regulatory Agreement.

Signature: 

Name: Walter Eriksen

Title: Manger

Date: 8/8/22

## Other: Applicant's Ownership Entity Information

Applicant's Ownership Entity Information and Certification

As of 1/1/2022

Applewood Construction Corp	President
Built Best Construction	Manager
Old Bay Road LLC	Manager
Tyng Road Development LLC	Manager
HEP Properties	Manager
Heritage Management LLC	Manager
Hunters Pond LLC	Manager
Flagg Hill Road LLC	Manager
Cricket Lane LLC	Manager
Powers Road Development LLC	Manager
SE Properties LLC	Manager
Progress Properties LLC	Manager
Maple Ridge Real Estate Development	President

Application for Chapter 40B Project Eligibility / Site Approval

for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects

**Section 7: NOTIFICATION AND FEES**

**Notices**

<b>Event</b>	<b>Date</b>
Date(s) of meetings, if any, with municipal officials prior to submission of application to MassHousing:	03/15/2022
Date of Pre-Application Meeting with MassHousing:	03/04/2022
Date copy of complete application sent to chief elected office of municipality:	08/09/2022
Date notice of application sent to DHCD:	08/09/2022

**Fees**

All fees that are payable to MassHousing should be sent via ACH/Wire Transfer. Please contact MassHousing for the ACH/Wire Transfer instructions.

Fees payable to the Massachusetts Housing Partnership should be sent directly to MHP with the MHP Cover Letter

<b>Fee</b>	<b>Amount</b>	<b>Instructions</b>
<b>MassHousing Application Processing Fee:</b>	<b>\$7,803</b>	payable to MassHousing
Chapter 40B Technical Assistance/Mediation Fee:	\$2,500	(Limited Dividend Sponsor \$2,500, Non-Profit or Public Agency Sponsor \$1,000)
Unit Fee:	\$1,200	(\$50 per Unit)
<b>Total TA/Mediation and Unit Fee:</b>	<b>\$3,700</b>	(Payable to Massachusetts Housing Partnership)

**Land Appraisal Cost:** You will be required to pay for an "as-is" market value appraisal of the Site to be commission by MassHousing. MasHousing will contact you once a quote has been received for the cost of the appraisal.

## SUSTAINABLE DEVELOPMENT CRITERIA SCORECARD

MassHousing encourages housing development that is consistent with sustainable development designs and green building practices. Please provide information indicating that your development complies with either Method 1 or Method 2 of the Sustainable Development Principles

### Method 1 - Redevelop First

#### *If Rehabilitation:*

Rehabilitation/Redevelopment/Improvements to Structure	No
Rehabilitation/Redevelopment/Improvements to Infrastructure	No

#### *If New Construction:*

- Contributes to revitalization of town center or neighborhood	No
- Walkable to:	
(a) transit	No
(b) downtown or village center	Yes
(c) school	Yes
(d) library	No
(e) retail, services, or employment center	Yes
- Located in municipally-approved growth center	No

#### Explanation (Required):

Although this is a rural area, there is an indoor recreation center, medical center, and businesses within walking distance.

## Method 2 - Consistency with Sustainable Development Principals

Development meets a minimum of **five (5)** of the Commonwealth's *Sustainable Development Principles* as shown in the next section below.

If the development involves strong municipal support, the development need only meet four (4) of the Sustainable Development Principles. However, one (1) of the Principles met must be **Protect Land and Ecosystems**. Please check the applicable boxes within the "Optional - Demonstration of Municipal Support" section below, include an explanation in the box if necessary and provide attachments where applicable.

### Optional - Demonstration of Municipal Support

- |   |    |
|---|----|
| - Letter of Support from the Chief Elected Official of the municipality * | No |
| - Housing development involves municipal funding                          | No |
| - Housing development involves land owned or donated by the municipality  | No |

*\*Other acceptable evidence: Zoning variance issued by ZBA for project; Minutes from Board of Selectman meeting showing that project was discussed and approved, etc.*

Explanation (Required)

Please explain at the end of each category how the development follows the relevant *Sustainable Development Principle(s)* and explain how the development demonstrates each of the checked "X" statements listed under the *Sustainable Development Principle(s)*.

#### (1) Concentrate Development and Mix Uses

Support the revitalization of city and town centers and neighborhoods by promoting development that is compact, conserves land, protects historic resources, and integrates uses. Encourage remediation and reuse of existing sites, structures, and infrastructure rather than new construction in undeveloped areas. Create pedestrian friendly districts and neighborhoods that mix commercial, civic, cultural, educational, and recreational activities with open spaces and homes.

- |   |     |
|---|-----|
| - Higher density than surrounding area                        | Yes |
| - Mixes uses or adds new uses to an existing neighborhood     | No  |
| - Includes multi-family housing                               | Yes |
| - Utilizes existing water/sewer infrastructure                | No  |
| - Compact and/or clustered so as to preserve undeveloped land | Yes |
| - Reuse existing sites, structures, or infrastructure         | No  |
| - Pedestrian friendly   | Yes |
| - Other (discuss below)                                       | Yes |

Explanation (Required)

The proposed development creates new affordable homes and adds diversity to the Town of Harvard's housing inventory. It is consistent with the Town's master plan for affordable homes. The development is clustered and will preserve approximately 6 acres of open space that will be adjacent to Mill Pond, a pristine open space area.



**(2) Advance Equity & Make Efficient Decisions**

Promote equitable sharing of the benefits and burdens of development. Provide technical and strategic support for inclusive community planning and decision making to ensure social, economic, and environmental justice. Ensure that the interests of future generations are not compromised by today's decisions .

Promote development in accordance with smart growth and environmental stewardship.

- Concerted public participation effort (beyond the minimally required public hearings) No
- Streamlined permitting process, such as 40B or 40R Yes
- Universal Design and/or visitability No
- Creates affordable housing in middle to upper income area and/or meets regional need Yes
- Creates affordable housing in high poverty area No
- Promotes diversity and social equity and improves the neighborhood Yes
- Includes environmental cleanup and/or neighborhood improvement in an Environmental Justice Community No
- Other (discuss below) No

Explanation (Required)

Harvards' housing stock is extremely expensive. This project to be approved as a 40B with a streamlined permitting process, will create affordable housing in an area that is predominantly a middle to upper income area . It will also meet a regional need for three bedroom homeownership units.

**(3) Protect Land and Ecosystems**

Protect and restore environmentally sensitive lands, natural resources, agricultural lands, critical habitats, wetlands and water resources, and cultural and historic landscapes. Increase the quantity, quality and accessibility of open spaces and recreational opportunities.

- Creation or preservation of open space or passive recreational facilities Yes
- Protection of sensitive land, including prime agricultural land, critical habitats, and wetlands Yes
- Enviromental remediation or clean up No
- Responds to state or federal mandate (e.g., clean drinking water, drainage, etc.) No
- Eliminates or reduces neighborhood blight No
- Addresses public health and safety risk No
- Cultural or Historic landscape/existing neighborhood enhancement No
- Other (discuss below) No

Explanation (Required)

By clustering the housing units in an existing field and open space area we can protect the remaining approximately 6 acres that are adjacent to Mill Pond. We will also be constructing a trail system with benches and "pocket" gardens which will allow the residents to take advantage of the natural beauty of Mill Pond

#### **(4) Use Natural Resources Wisely**

Construct and promote developments, buildings, and infrastructure that conserve natural resources by reducing waste and pollution through efficient use of land, energy, water and materials.

- Uses alternative technologies for water and/or wastewater treatment Yes
- Uses low impact development (LID) for other innovative techniques Yes
- Other (discuss below) Yes

Explanation (Required)

The community septic system will be using innovative technologies to take up less space and provide greater protection to the environment. Low impact development techniques such as open swales and open drainage systems will be used wherever possible. The latest stormwater management techniques will be applied throughout the site. We will be using environmentally friendly recycled materials such as decking, siding, and material underneath the roadway that has been reclaimed whenever

#### **(5) Expand Housing Opportunities**

Support the construction and rehabilitation of homes to meet the needs of people of all abilities, income levels and household types. Build homes near jobs, transit, and where services are available. Foster the development of housing, particularly multifamily and single-family homes, in a way that is compatible with a community's character and vision and with providing new housing choices for people of all means.

- Includes rental units, including for low/mod households No
- Includes homeownership units, including for low/mod households Yes
- Includes housing options for special needs and disabled population No
- Expands the term of affordability Yes
- Homes are near jobs, transit and other services Yes
- Other (discuss below) No

Explanation (Required)

The price range for these units will expand the homeownership availability for low and moderate households. Harvard's housing prices are extremely expensive, and these units will be more affordable.

**(6) Provide Transportation Choice**

Maintain and expand transportation options that maximize mobility, reduce congestion, conserve fuel and improve air quality. Prioritize rail, bus, boat, rapid and surface transit, shared-vehicle and shared-ride services, bicycling and walking. Invest strategically in existing and new passenger and freight transportation infrastructure that supports sound economic development consistent with smart growth objectives.

- Walkable to public transportation No
- Reduces dependence on private automobiles (e.g., provides previously unavailable shared transportation, such as Zip Car or shuttle buses) No
- Increased bike and ped access No
- For rural areas, located in close proximity (i.e., approximately one mile) to a transportation corridor that provides access to employment centers, retail/commercial centers, civic or cultural destinations No
- Other (discuss below) No

Explanation (Required)

Harvard has little public transportation. The seniors are provided COA MART, and Harvard Help, a volunteer organization.

**(7) Increase Job and Business Opportunities**

Attract businesses and jobs to locations near housing, infrastructure, and transportation options. Promote economic development in industry clusters. Expand access to education, training and entrepreneurial opportunities. Support growth of local businesses, including sustainable natural resource-based businesses, such as agriculture, forestry, clean energy technology and fisheries.

- Permanent Jobs No
- Permanent jobs for low- or moderate- income persons No
- Jobs near housing, service or transit Yes
- Housing near an employment center No
- Expand access to education, training or entrepreneurial opportunities No
- Support local business Yes
- Support natural resource-based businesses (i.e., farming, forestry, or aquaculture) No
- Re-uses or recycles materials from a local or regional industry's waste stream Yes
- Support manufacture of resource-efficient materials, such as recycled or low-toxicity materials Yes
- Support businesses that utilize locally produced resources such as locally harvested wood or agricultural products Yes
- Other (discuss below) No

Explanation (Required)

Whenever possible we will use recycled or reclaimed material. We will encourage homeowners to support the local businesses.

**(8) Promote Clean Energy**

Maximize energy efficiency and renewable energy opportunities . Support energy conservation strategies, local clean power generation, distributed generation technologies, and innovative industries. Reduce greenhouse gas emissions and consumption of fossil fuels.

- Energy Star or Equivalent\* Yes
- Uses renewable energy source, recycled and/or non-/low-toxic materials, exceeds the state energy code, is configured to optimize solar access, and/or otherwise results in was reduction and conservation of resources Yes
- Other (discuss below) Yes

\*All units are required by MassHousing to be Energy Star Efficient . Please include in your explanation a description of how the development will meet Energy Star criteria.

Explanation (Required)

All units will use high efficiency heat pumps for heat and air conditioning . Insulation will be netted and blown in, giving R-23+ in ceilings. High efficiency hybrid heat pump water heaters will be used. Every unit will have some array of solar panels for renewable clean energy that will result in HERS rating of less than 40.

**(9) Plan Regionally**

Support the development and implementation of local and regional, state and interstate plans that have broad public support and are consistent with these principles. Foster development projects, land and water conservation, transportation and housing that have a regional or multi-community benefit. Consider the long term costs and benefits to the Commonwealth.

- Consistent with a municipally supported regional plan No
- Addresses barriers identified in a Regional Analysis of Impediments to Fair Housing No
- Measureable public benefit beyond the applicant community Yes
- Other (discuss below) No

Explanation (Required)

This will create affordable housing in a community that is well below the required 10% on their sustainable housing inventory.

## Section Seven Attachments

7.2 Evidence Copy Sent to CEO of Municipality

7.3 Copy of Notice Sent to DHCD

7.4 Wire Transfer Receipt

7.5 MHP Technical Assistance/ Mediation Fee

## 7.2 Evidence Copy Sent to CEO of Municipality

# F&R | FARRELL & ROBBINS, P.C.

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August 10, 2022

VIA CERTIFIED MAIL # 7020 3160 0001 5317 9399  
Return Receipt Requested

Harvard Select Board  
13 Ayer Road  
Harvard, MA 01451

RE: Juno Construction, LLC- 40B Housing Project  
Mill Pond Estates, Harvard, MA

Dear Members of the Board,

Farrell & Robbins, P.C. is representing Juno Construction, LLC for the purpose of developing a 24 unit development at Old Mill Road in Harvard, MA. In accordance with Section 31.01 (2)c of the Rules of the Housing Appeals Committee (760 CMR 31.01), this letter serves to formally notify the Town of Harvard that a request for a site approval letter has been made by Juno Construction, LLC under MassHousing's New England Fund Program for this development. I have enclosed for your review a copy of the same Site Eligibility Application that was submitted to MassHousing.

We look forward to discussing this project with the Town in greater detail and formally presenting this application to the Zoning Board of Appeals in the near future. We appreciate any additional comments contributed by municipal officials as we move forward in this process.

Sincerely,  
Farrell & Robbins, P.C.



Melissa E. Robbins

Enclosure

cc: Chris Ryan  
Liz Allard

## 7.3 Copy of Notice Sent to DHCD



# FR | FARRELL & ROBBINS, P.C.

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ATTORNEY AT LAW  
Licensed in Massachusetts  
✉ [Kathy@Westfordlawfirm.com](mailto:Kathy@Westfordlawfirm.com)

August 10, 2022

Department of Housing & Community Development  
100 Cambridge St, Suite 300  
Boston, MA 02114

RE: Juno Construction, LLC- 40B Housing Project  
Mill Pond Estates, Harvard, MA

Dear Sir or Madam,

We represent Juno Construction, LLC, Walter Eriksen, Manager, and are providing you notice pursuant to 760 CMR 31.01 (2)(c) that an application has been made with a subsidizing agency for approval of the above referenced project. More specifically, Juno Construction, LLC has filed an application with MassHousing.

Please contact me with any comments or questions you may have. Thank you for your time and consideration in this matter.

Sincerely,  
Farrell & Robbins, P.C.



Melissa E. Robbins

## 7.4 Wire Transfer Receipt

## Kathy Farrell

---

**From:** Enterprise Bank: Wire Servicing Dept. <WireServicing@ebtc.com>  
**Sent:** Wednesday, August 10, 2022 2:44 PM  
**To:** Kathy Farrell  
**Subject:** Outgoing Wire Transfer Notification

Your wire transfer on 08/10/22, in the amount of \$7,803.00, was successfully sent to GENERAL LOCKBOX at BK AMER NYC.

Contact ENTERPRISE BANK at (877) 671-2265 if you have any questions regarding this transaction. Refer to wire sequence number 229773 in your inquiry.

Debited from account number ending with 864  
Wire Fee: \$0.00

OMAD: 20220810B6B7HU1R01068608101443FT03  
IMAD: 20220810GMQFMP01018495

MILL POND ESTATES, HARVARD 40B

-----  
This message is intended only for the persons or entities to which it is addressed. The information transmitted herein may contain proprietary or confidential material. Review, reproduction, retransmission, distribution, disclosure or other use, and any consequent action taken by persons or entities other than intended recipients, are prohibited and may be unlawful. If you are not the intended recipient, please delete this information from your system and contact the sender. The information contained herein is subject to change without notice. Although reasonable precautions have been taken to ensure that no viruses are present, the sender makes no warranty or guaranty with respect thereto, and is not responsible for any loss or damage arising from the receipt or use of this email or attachments hereto.

## 7.5 MHP Technical Assistance/Mediation Fee

# FR | FARRELL & & ROBBINS, P.C.

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✉ [Kathy@Westfordlawfirm.com](mailto:Kathy@Westfordlawfirm.com)

August 10, 2022

MHP Fund  
PO Box 845437  
Boston, MA 02284  
Attn: Emma McGurren

RE: Juno Construction, LLC- 40B Housing Project  
Mill Pond Estates, Harvard, MA

Dear Ms. McGurren,

Farrell & Robbins, P.C. is representing Juno Construction, LLC for the purpose of developing a 24 unit development at Old Mill Road in Harvard, MA. As an applicant for a Determination of Eligibility and in accordance with the 2004 Interagency Agreement among 40B Subsidizing Agencies attached please find the 40B Technical Assistance Fee Coversheet and a check made out to Massachusetts Housing Partnership in the amount of \$3,700.00.

Please contact me with any comments or questions you may have. Thank you for your time and consideration in this matter.

Sincerely,  
Farrell & Robbins, P.C.



Melissa E. Robbins

Enclosures

### 40B Technical Assistance Fee Coversheet

In accordance with a 2004 Interagency Agreement among 40B Subsidizing Agencies (MassHousing, MHP, DHCD and MassDevelopment) applicants for a Determination of Eligibility are required to contribute to the 40B Technical Assistance and Mediation Fund (40B TA program), administered by MHP. The 40B TA Program supports Zoning Boards of Appeals in their review of Comprehensive Permit Applications with the goal of helping developers and communities reach acceptable compromises relative to the development of affordable housing.

**Current standard 40B TA Fund Fee: Program Base Fee\* plus \$50 per unit**

*\*For questions about the fee structure for specific projects, please contact the Subsidizing Agency*

---

Please complete the information below and submit with a check made out to Massachusetts Housing Partnership at the address below:

MHP Fund  
PO Box 845437  
Boston, MA 02284  
Attn: Emma McGurren

- Subsidizing Agency: MassHousing
  
- Project Applicant: Juno Construction, LLC
  
- Project Name: Mill Pond Estates
  
- Municipality: Harvard
  
- Number of Units: 24
  
- Number of acres of site: 11.4
  
- Rental or Homeownership: Homeownership
  
- 40B TA Amount (Base Fee + \$50/Unit) \$3700.00

Site Approval Application/Homeownership

Mill Pond Estates

Contact

**Contact List**

*Please enter information for each development team member below:*

Contact Name	Company Name	Role on Project	Primary for Role?	Applicant	Development Entity	Contact Order	
A. Justin McCarthy	Lowell Five	Construction Lender	No	No	No		<input type="button" value="Edit"/> <input type="button" value="Delete"/>
Bruce Ringwall	Goldsmith, Prest & Ringwall, INC.	Consultant - Architect and Engineering	No	No	No		<input type="button" value="Edit"/> <input type="button" value="Delete"/>
Melissa Robbins	Farrell & Robbins P.C.	Attorney	Yes	No	No	Primary	<input type="button" value="Edit"/> <input type="button" value="Delete"/>
Walter Eriksen	Juno Construction, LLC	Developer	Yes	Yes	Yes	Secondary	<input type="button" value="Edit"/> <input type="button" value="Delete"/>



**Select Board Minutes**  
**Tuesday, July 19, 2022**  
**7:00pm**

**The Select Board Regular Meeting was held virtually in accordance with the Governor's Executive Order Suspending Certain Provisions of the Open Meeting Law, G.L.c.30A. S.20.**

**Select Board participants:**

Rich Maiore, Erin McBee, Kara Minar, Don Ludwig, Charles Oliver

**Town Department attendees:**

Town Administrator Tim Bragan, Assistant Town Administrator Marie Sobalvarro, Executive Assistant Julie Doucet, Town Clerk Lynn Kelly

**Additional participants:**

Julia Karr, DEC reps. Peter Lowitt & Neil Angus, MassDevelopment President/CEO Dan Rivera

Chair Rich Maiore opened the meeting by first acknowledging the tragic passing of resident Mary Anderson. He offered sincere condolences to her family.

**Town Clerk Election Items**

Clerk Lynn Kelly came to inform the Select Board of an election advisory that requires their action. She explained a police officer assignment at polling places is now their responsibility instead of the chief of police which is how it was previously handled. Kelly has spoken with Chief Babu. In addition, she asked the Select Board to act on early voting hours for the September primary. Based on the requirements she is recommending early voting hours of 9am to 12 at Town Hall and 10am to 12pm at the library. Kelly will utilize all avenues of communication to distribute this information to residents. Kelly also provided a list of election workers to be appointed. By a roll call vote, McBee – aye, Ludwig – aye, Oliver – aye, Minar – aye, Maiore – aye, the board voted unanimously to approve the appointment of the FY23 election workers, approve Chief Babu to designate officers as poll works for the polling stations and adopt early voting hours as recommended.

**Bikes not Bombs special event request**

Organizer Julia Karr said this event has been held in town prior, however it was never officially approved by the Select Board with submission of a formal application. Karr explained the bike route will not change with Fruitlands Museum as a rest stop. She expects 75 riders to come through Harvard. By a roll call vote, Minar – aye, McBee – aye, Ludwig – aye, Oliver – aye, Maiore – aye, the board voted unanimously in support of the bikes not bombs special event to be held on Sunday, Sept. 11.

**Devens Commercial Development Cap**

Devens Enterprise Commission (DEC) Director/Land Use Administrator Peter Lowitt began by welcoming DEC Commissioners William Marshall, Duncan Chapman and James DeZutter along with DEC Environmental Planner Neil Angus. Lowitt also welcomed MassDevelopment President & CEO Dan Rivera. The Commissioners and Rivera spoke briefly in favor of eliminating the commercial cap.

Lowitt and Angus gave a detailed presentation on approaching the Devens Commercial Development Cap. The DEC is interested in bringing their bylaws into alignment with the 2008 MEPA notice of project change. During a district development review they learned Devens is approaching 6 million sq. ft. of commercial development. They expect to reach the 8.5 million sf. ft. commercial development cap sometime in late 2022 or early 2023 based on projects in the development pipeline. Neil Angus



confirmed this requested change is solely for commercial development and will not affect and residential development. They are asking the Select Board to signal support to the legislative delegation that the development cap be lifted by the end of the current legislative session by July 31, 2022.

Rich Maiore affirmed Harvard's commitment to being a good partner but the communication from MassDevelopment prior to this request has been nonexistent in areas important to Harvard. Dan Rivera admitted collaboration needs improvement and agreed to attend an upcoming Select Board meeting to discuss this further. Kara Minar expressed her support for development in Devens but echoed concerns articulated by Maiore. She is uncomfortable about negating the standard process of a Super Town Meeting to make changes to the Reuse Plan. Peter Lowitt appreciates the willingness from Harvard to consider this change and committed to signing a letter as confirmation eliminating the need for a Super Town Meeting in the future will not be an option. Erin McBee wondered if we may be waiving any other rights inadvertently by supporting this change in such an expeditious fashion. Don Ludwig welcomes the opportunity to better understand the financials at Devens and the long term impacts related to commercial development. Charles Oliver suggested they consider raising the cap instead of eliminating it.

Rich Maiore invited public comment on this topic.

David King is not a resident however has long deep ties to the community. He urged the Select Board to vote in favor of the change as limiting development in Devens will only have a negative impact.

Resident Ben Myers had written a letter in the Harvard Press about Devens financials as he has been unable to find them. He is interested in this information more so than an increase in the commercial development cap.

Resident Lucy Wallace stated concern with this being considered only a small administrative change. She liked the idea Charles Oliver had to increase but not eliminate the cap. She suggested revisiting the metrics used in 1995 with the current standards.

Resident Paul Green has been a member on the Harvard Devens Jurisdiction Committee (HDJC) for the past four. He knows firsthand the frustrations when trying to work with MassDevelopment. He urged MassDevelopment to revisit their commitment to the Devens disposition process and commitment to helping fund necessary consultant costs.

Resident Stu Sklar previously served on the Select Board and most recently as Chair. He echoed the frustrations with lack of communication from MassDevelopment. He urged Rivera to do all he can to repair the relationship. Sklar noted disposition is eight years away and MassDevelopment needs to help the towns by committing to the process outlined in Chapter 498.

Resident Victor Normand serves as the chair of the HDJC and co-chair on the framework committee. He noted the recent bond issued for a new public safety building which could be for twenty years or more. Normand said the towns need a full understanding of Devens financials, the public safety building in a prime example of why. Any decisions made now by the DEC will affect the future governance of Devens.

Don Ludwig made a motion to accept the proposal to eliminate the cap and revisit MEPA parameters. Erin seconded the motion for further discussion. An amended motion was made:  
To accept proposal to include a limit of 12 million sq ft on commercial development and to codify there will be no future bylaw revisions presented without going through a super town meeting; codify Dan

Rivera will meet with Harvard in August, support for Senator Jamie Eldridge request to MassDevelopment to fund consultant. Ludwig accepted the amendment to his motion. By a roll call vote, Ludwig – aye, Oliver – aye, McBee – aye, Minar – aye, Maiore – aye, the board voted unanimously in favor of the amended motion.

### **Public Communication**

Carle Schiple, Fairbank Street, came to speak on behalf of his neighborhood regarding their concerns with the National Grid streetlight program. They are unhappy with the brightness and location of the light recently installed on their street. They have spoken with the Energy Advisory Committee about their concerns however felt it was important to also contact the Select Board.

Greg Winter from Winter Real Estate Investors spoke about potential development they are interested in doing in Harvard. He explained it would be a facility for assisted and independent living that would include some retail, grocery, restaurant and salon services. He realizes this would require approval of an overlay district therefore he will give a more in-depth presentation at the next meeting.

James O’Leary lives on Candleberry Lane. He serves as president of the Harvard Youth Soccer Association and is a member of the Harvard Athletic Association. He is pleased with the progress towards addressing the playing fields issue. He is hopeful the short-term solution for softball does not hamper any longer-term efforts. O’Leary views this as real opportunity for the community as a whole and does not want the focus to fall in any one area but shared by all.

### **Minutes**

By a roll call vote, Ludwig – aye, McBee – aye, Minar – aye, Oliver – aye, Maiore – aye, the board voted unanimously to approve minutes from 6/21 & 7/7, as presented.

### **Staff Report/Updates (Attachment A)**

#### **Recognition of long-standing volunteers**

Rich Maiore publicly recognized Wendy Sisson for the twenty years she served on the Conservation Commission and Ann Taylor for the ten years she served on the Elderly & Disabled Taxation Aid Committee. They have both decided to not seek reappointment.

Maiore also thanked the Fourth of July Committee and specifically their Chair Anne Hentz for their efforts this year.

#### **Appointment Items**

##### *Clarification*

By a roll call vote, Minar – aye, McBee – aye, Ludwig – aye, Oliver – aye, Maiore – aye, the board voted unanimously to appoint Rich Maiore as the SB member on the HDJFC and Victor Normand to continue as the citizen at large on the HDJC.

##### *Correction*

By a roll call vote, Ludwig – aye, McBee – aye, Minar – aye, Oliver – aye, Maiore – aye, the board voted unanimously to revise Robert Curran’s term on the Cable Committee from one year term to three years.

#### **Proclamation**

The board recognized Tucker Madison for achievement to Eagle Scout.

### **Cell tower next steps**

Assistant Town Administrator Marie Sobalvarro reviewed letter from Isotope which outlined the RFP scope proposal, schedule and hourly rates. The board confirmed the funding source will be the Select Board professional services account. Isotope will attend their meeting on August, 9<sup>th</sup> to collaborate on details for the RFP.

### **Discussion of FY23 Goals**

The board members were in agreement the items codified in the Strategic Planning Session minutes will be their FY23 goals. Rich Maiore commented on the playing fields goal as a town issue to solve with cooperation, compromise and creativity from all the parties involved. They all agreed having an independent consultant involved will be very useful to define a desired end goal that can be shared by all. Liaisons to the Park & Rec and the Conservation Commissions will be instrumental in shepherding the process.

### **Select Board Reports**

Erin McBee reported the Conservation Commission has created best practices for controlling the robust invasive Japanese Knotweed.

Rich Maiore asked Charles Oliver as liaison to HCTV to invite them to an upcoming meeting. He noted as we continue to lean on them with remote meetings it would be great to get their feedback. Tim Bragan also noted with the Charter cable contract renewal process is beginning which will require involvement from HCTV as well.

Kara Minar reported the Planning Board will need input from the Select Board on the proposal for an overlay district on Ayer Road mentioned during public comment earlier. She noted the Energy Advisory Committee has input to share with respect to the upcoming community choice aggregation contract. In addition, she reported the Revenue Ideation Committee will have a final report for September.

### **Executive Session**

By a roll call vote, Minar – aye, McBee – aye, Ludwig – aye, Oliver – aye, Maiore – aye, the board voted unanimously to enter into executive session at 10:00pm per MGL Ch. 30A, s. 21(a)1: To discuss the physical condition of an employee. The Select Board will reconvene into open session only to adjourn.

The meeting was adjourned at 10:10pm.

### **Documents referenced:**

Town Clerk – election advisory - dated 6.23.2022 & election officials list for FY23

Bikes not Bombs special event application – dated 6.23.2022

DEC presentation approaching the commercial cap – dated 7.13.2022

HDJC memo on commercial cap – dated 7.7.2022

Proclamation request - dated 7.7.2022

Cell Tower RFP scope/proposal – dated 7.15.2022

**Staff Report  
July 19, 2022**

1. **Updates on legislation:**
  - a. H4739 -An Act authorizing the town of Harvard to establish and enforce speed limits on certain public ways in the town.
  - b. H5019 (formerly H3734) - An Act authorizing the town of Harvard to establish a cap on property taxes for means tested senior citizens
2. The project to narrow the travel way on Still River Depot Road (in the village) is completed and noticeable when traveling along Still River and entering the village.
3. I would like to send a big thank you out to Anne Hentz and her team for another successful 4<sup>th</sup> of July celebration. Also, I want to thank the DPW, Police, Fire and other departments that were involved.
4. The DPW Director was successful in obtaining a grant in the amount of \$50,000 to help with the replacement of a culvert on Scott Road. These funds are part of the Culvert Replacement Municipal Assistance Grant from the State.
5. **State Updates:**
  - a. The State is expected (estimated) to end the fiscal year with a surplus in the vicinity of \$3.6 Billion per the attached State House news article.
  - b. The budget negotiators approved a \$52.7 Billion annual budget (see attached article).
  - c. The legislature approved the continuation of remote meetings up to March 31, 2023.
6. **Personnel Updates:**
  - a. We welcome Frank O'Connor as Director of Planning. Frank started Monday, July 18th, bringing 15+ years of experience in the City of Lawrence's Planning Department, and his most recent experience as Executive Director of the Marblehead Housing Authority. Our thanks also to the Boards and Committees who generously donated their time to participate in the interviewing process.
  - b. We likewise want to recognize employee Lisa Rosen, who has been promoted to COA Assistant Director. For the past four years Lisa has been the friendly first-contact for visitors and callers at Hildreth House, and she looks forward to continuing her involvement while gaining additional responsibilities.
  - c. The Administrative Assistant (Land Use Boards and Building Department) has been posted on the MMA website and likewise highlighted on Next Door

Harvard. Please encourage prospective applicants to contact Marie ([msobalvarro@harvard-ma.gov](mailto:msobalvarro@harvard-ma.gov)).

- d. The Ambulance Directors, Fire Chief, and HR Director met last week to progress on posting the FF/EMT position approved at Town Meeting, and to discuss present staffing hurdles and prospective department(s) needs.

7. Police Update (from June)

- a. This month we are continuing training for all officers. Both Sergeants as well as Det. Fortunato are attending a 40 hours course on Critical Incident Management training. CIT training is recommended by POST in order to better train officers in responding to Mental Health Crisis calls and De-Escalation tactics. We will send every officer to this training which is fully funded by the state through state and federal grants. Det. Fortunato attended Female Enforcers class in Canton which was hosted by Massachusetts Association of Women in Law Enforcement. Rob Curran and I are training once a week with the drone and we deployed twice this month. Once for assisting Bolton PD in locating a missing Alzheimer's patient and for our annual Triathlon.
- b. We received our free doses of Naloxone (Narcan) by Department of Public Health. After successful negotiation with the HPD we are anticipating deploying them by 7/1. We only have a few more officers to be trained and anticipate that to be done by the end of the week.
- c. Jail Diversion (JD Associates) advised that we have a finalist selected for the Stow/Harvard position. Chief Saleese and I will be on the final round of interviews. Meanwhile as of 7/1 we will have two floating advocates start ride along with officers, responding to mental health crisis calls.
- d. The new radar trailers and hardware for conversions are in and was advised on 6/28 that they will be delivered in July. We have also received a Safe Streets grant of approximately \$23K for purchasing four more electronic speed signs. We are awaiting final approval from the state on releasing the funds and authorization to purchase the equipment. We also applied for a \$20K grant by Governor's Highway Safety Bureau which will give us approximately \$13,600 for additional traffic enforcement overtimes as well as \$6,600 for equipment. The equipment funds will allow us to purchase four new handheld radars and one new handheld LIDAR.
- e. We have been approved and will be fully funded by state grant to upgrade all our police vehicles with E-Citation (electronic citation) system. The e-Citation method has several benefits over the traditional paper method: -Officers spend less time at the side of the road. -Violators are on their way faster. -Fewer citations are dismissed for transcription errors, illegible handwriting, incorrect location (e.g. a stop sign violation written to have occurred at Mass Ave and Prospect Hill Rd., when they don't actually cross), and mismatched

ordinance/statute names and numbers are eliminated. -No need for clerks to manually enter information from paper tickets into a database. -Nearly instantaneous access to traffic violation and accident data. -Improved convenience for the violator, as there is no delay in processing the citation at the courthouse. - Less push-back from officers who are able to spend more time on both patrolling and enforcing traffic laws elsewhere.

- f. HPD recognizes Pride Month and we strive to build relationships with the community. Officer Cavanaugh is our newly designated LGBTQ+ liaison with a focus on building respect and mutual trust. With the recognition of Pride month, we have implemented a new department policy on “Interactions with Transgender People” (see attached policy).
- g. Our commitment to our community is paramount and we are continuing by offering various functions to our residents. Detective Fortunato, in cooperation with Force Defense and Fitness, hosted our first Female 18+ self-defense class. The class was free and was an overwhelming success with everyone that attended. We will definitely host this class again in the future.

**8. Building Related Updates:**

- a. The renovation of 16 Lancaster County Road has begun with today's issuance of the Notice to Proceed to the general contractor, Classic Construction of Littleton. (This is the same contractor who completed the Hildreth House renovation.) The project is estimated to take 6 months, give or take lead times for equipment. It's notable to reflect that the timeline from issuing an RFQ for the Architect to signing a contract for construction has been one year: a testament to the efforts of the Permanent Building Committee, the Architect DAI/Liro, the Council on Aging representatives, CPIC, Town Meeting voters and taxpayers, and most recently, the vote of the Select Board for ARPA funds.
  - b. The slate, gutters, snow rails, and snow tabs on the Old Library roof are complete. Open items such as downspouts, flat roofs, and masonry will be finished in the coming weeks. The contractor, MDM, has shown meticulous attention to detail, and we're grateful to their crew as well as the patience of abutting neighbors and Fivesparks. It was cheering to see that Fivesparks is engaged in interior painting, given the building envelope is now weathertight.
  - c. The lease for 39 Massachusetts Avenue was countersigned by Ascentria last Thursday, for a lease term commencing August 1. Senator Eldridge has encouraged a filing for earmarks to fund any short-term health-safety needs; the Facility Manager/Building Inspector and Ascentria representatives compiled and submitted the request to Senator Eldridge's office yesterday.
9. The House and Senate are actively working to further regulate Host Community Agreements (HCA) which will negatively impact the revenue the Town will receive from our one (and only marijuana) establishment. (see attached articles)

**10. Notice and Reminders:**

- a. Attached is a list of current vacancies.
- b. Both the Grapevine transfer of license/change to all alcohol and the General Store modification of licensed premises were approved by the ABCC. Note that these will require updated license conditions.
- c. On July 1, notary services for the general public re-started at the Town Hall and the Police Station.
- d. As you know, Walter "Wally" Shaw was injured when fireworks inadvertently went off at a pyrotechnical event he was working at in North Andover. He was severely injured and a GoFundMe page has been set up to assist with his long road to recovery.



**Select Board Minutes**  
**Tuesday, August 9, 2022**  
**7:00pm**

**The Select Board Regular Meeting was held virtually in accordance with the Governor's Executive Order Suspending Certain Provisions of the Open Meeting Law, G.L.c.30A. S.20.**

**Select Board participants:**

Rich Maiore, Erin McBee, Kara Minar, Don Ludwig, Charles Oliver

**Town Department attendees:**

Town Administrator Tim Bragan, Assistant Town Administrator Marie Sobalvarro, Executive Assistant Julie Doucet, Director of Planning Frank O'Connor

**Additional participants:**

Seth Trotz, Chris Green (owner Daigneault's Liquor)

**Director of Planning**

Town Administrator Tim Bragan introduced the Director of Planning Frank O'Connor. O'Connor gave his background and is excited for the opportunity to work in Harvard.

**Historical Commission Appointment**

The commission requested the appointment of Seth Trotz. Trotz was present to introduce himself and express his interest in serving on the commission. By a roll call vote, Oliver – aye, McBee – aye, Minar – aye, Ludwig – aye, Maiore – aye, the board voted unanimously to appoint Seth Trotz to the Historical Commission.

**Minutes**

By a roll call vote, Minar – aye, Oliver – aye, McBee – aye, Ludwig – aye, Maiore – aye, the board voted unanimously to approve minutes of 7/13, as presented.

**DPW facility visit**

Town Administrator Tim Bragan will prepare a doodle poll to determine a suitable date/time for the board members to visit the facility. Charles Oliver asked if this would include meeting with staff and/or director.

**Daigneault's Liquor – issuance of license and finalize conditions**

Owner Chris Green was present to introduce himself. He acknowledged the process to transfer the license from the previous owner has been very lengthy. He is extremely pleased the ABCC has approved the license transfer and category change from wine/malt to all alcohol. Green has three other store locations in the area and his family has been in this business for many generations. He plans to officially open on Monday, August 15. By a roll call vote, McBee – aye, Minar – aye, Oliver – aye, Ludwig – aye, Maiore – aye, the board voted unanimously to issue license and approve conditions. Green confirmed the license conditions were satisfactory to him.



## **FY24 Budget Calendar**

Assistant Town Administrator Marie Sobalvarro prepared the calendar to include important meeting dates for the Select Board, Finance Committee and Capital. She included Wednesday, September 28 as a proposed date for the fall All Boards meeting. The board members reviewed the calendar and did not have issue with the dates specified.

## **State Primary Warrant**

By a roll call vote, Ludwig – aye, McBee – aye, Minar –aye, Oliver – aye, Maiore – aye, the board voted unanimously to approve the state primary warrant.

## **Police Department Recognition**

Rich Maiore took a moment to publicly recognize the Harvard Police Department for their efforts during the missing person case that evolved into the murder investigation of resident Mary Anderson. He said the department played a critical role in this case and their timely communication with the State Police certainly had a very big impact on solving this case. Maiore suggested a letter of commendation be prepared to let the department know how much what they did is appreciated and how grateful we are to them.

## **Harvard General Store**

Executive Assistant Julie Doucet confirmed the alteration of license premise for the outdoor dining area has been approved by the ABCC. She noted the ABCC does require the outdoor patio area have boundaries enclosing it with a clear entrance and exit. This language has been added to the license conditions. The Select Board members were agreeable to the amended conditions as they reflect the new license premise and boundary requirement from the ABCC.

## **Right of first refusal for sale of affordable unit - 31C Elm Rd, Devens**

By a roll call vote, Ludwig – aye, McBee – aye, Minar – aye, Oliver – aye, Maiore – aye, the board voted unanimously to not exercise their right of first refusal.

## **Staff Report (Attachment A)**

### **Discuss next steps for meeting with MassDevelopment**

Rich Maiore began the discussion by mentioning the several promises MassDevelopment President/CEO Dan Rivera made at the last meeting. He asked his fellow board members their opinions about setting up a small meeting with a couple SB members first and then a meeting with the entire board or if they preferred just a meeting with the entire Select Board. Maiore is interested in improving the relationship with MassDevelopment and offered the idea of two members of the SB meeting with Mr. Rivera first. He is unsure why MassDevelopment withdrew from the Devens Framework Committee and would like to better understand the reasoning behind that decision. He thinks it may be more effective to meet outside of a larger meeting to start. Everyone agrees the process moving forward must be better however their ideas on the track to get there was not entirely the same. Maiore reiterated his approach to start with two members of the Select Board rather than the full board. He suggested himself and Don Ludwig. Kara Minar has past experience with Devens and MassDevelopment. She felt strongly someone with historical knowledge and familiarity in dealing with MassDevelopment should be included in any meetings held with them. She suggested Victor Normand. Don Ludwig agrees with Maiore that a smaller meeting may be more productive and provide a better opportunity to change the negative mindset. Minar was under the impression Rivera would be meeting with the whole SB and was surprised at this suggestion. Maiore is hopeful a different approach will help to create a better relationship.

,

He is concerned in a larger setting if things go poorly then the relationship will continue as is. Ludwig views the initial meeting as more of relationship building not the time to get into too many of the details which would be difficult to do with the entire board. The majority of the SB members were agreeable to the approach outlined by Maiore and Ludwig. It was decided Maiore and Ludwig will schedule an initial meeting with Dan Rivera and a meeting with the entire board in September.

### **Select Board Reports**

Erin McBee reported Park & Rec member Marisa Steele met with the Conservation Commission to discuss the playing fields. The commission voted in favor of a memorandum of understanding (MOU) regarding field improvements.

Charles Oliver asked when capital request forms will be due and who is responsible to submit the request for solar at the public safety building.

Charles Oliver asked about options to improve site view at one of the crosswalks at the Bromfield School and the possibly for protruding rocks being removed from the filed in front of the library.

The meeting was adjourned at 9:00pm.

### Documents referenced:

Trotz vol form – dated 7.27.2022

Daigneault's draft license conditions – dated 8.9.2022

General Store draft license conditions – date 8.9.2022

Budget calendar FY24 – dated 8.4.2022

State Primary Warrant – dated for 9.6.2022

Intent to sell 31C Elm St Devens – dated 7.4.2022

**Staff Report  
August 9, 2022**

1. Updates on legislation:

- a. H4739 -An Act authorizing the town of Harvard to establish and enforce speed limits on certain public ways in the town. We have attached a copy and this was sent to a third reading, in the State Legislature, but has not yet been voted and approved.
- b. H5019 (formerly H3734) - An Act authorizing the town of Harvard to establish a cap on property taxes for means tested senior citizens. We have attached a copy and this was sent to a third reading, in the State Legislature, but has not yet been voted and approved.

2. Tim Kilhart was successful in getting the State to agree to grind and pave Ayer Road from Route 2 to the town line at their expense. This is a temporary fix and only deals with the roadway itself. This does not negate the TIP project that is planned in 2026/2027.

The DPW Director was also successful in getting a recycling grant in the amount of \$10,000 so that we can comply with the new regulations that do not allow mattresses and box spring foundations into the trash stream.

3. Under Section 2 of the conditions for The General Store is a requirement for a License agreement with the Town. We have been operating under Covid rules but those will end and it does not preclude having an agreement in place.
4. This is a reminder that the attached document regarding Entertainment Licenses in an A/R district are an issue and when it came up earlier this year the Board said that something needs to be done for The General Store and Fivesparks since they both are in A/R district and get annual entertainment licenses. Barring a zoning change the Board will not be able to issue annual licenses. Carlson's issue also needs to be addressed.

Carlson's is looking to move a one-day entertainment license from one date to another (August 5th to either 10/27 or 10/28). This is why we have to address this issue as we cannot monitor these types of changes on a regular basis. The Board had issued the license and alluded to the fact that it would not allow changes in date but never memorialized that issue. You did say no to rain dates but this issue was left for another day.

5. Friendly Crossways has been sold and the new owner is seeking an Inn Holders License. Julie is working on getting an application document to be approved by the Board so that an application can be made. In the meantime, we are working with the BOH on what they would require for the new owners to meet the requirement under the Inn Holder License to have food available to their guests.

6. State Updates:

- a. The State legislature finished their work on the state budget on August 1, 2022 in a marathon session. The cherry sheet showing the progression of the budget and the final cherry sheet are attached.
- b. We received \$100k for Bromfield House (see attached earmark request); the money comes to the Town and our Facility Manager, Jeff Hayes, is coordinating with Ascentria.

7. Progress on the MOU between the Town, School Department, and Parks and Recreation Park and Recreation is stalled as the priority over the use of fields is an issue between the School Department and Parks and Recreation. This will be an issue for converting the Ryan 2 field to a softball field as well. I would suggest that this issue be resolved sooner rather than later as time is of the essence if that field is to be converted and ready for next spring.

8. Health insurance transition: an additional rider is now available for out of area dependents on the HMO Blue NE family plan; this is an additive benefit (primarily focused on subscribers with kids away at college). We're grateful to Blue Cross for extending and expanding coverage to this population of our employees.

9. Police Updates

- a. Chief babu has been working with Carlson's Orchard in addressing traffic complaints and has come up with a new flow of traffic for leaving an event. (see attached)
- b. Chief Babu continues to work with his department personnel in developing policies for the department to operate by and the latest is a Vehicle Inventory Policy and Missing Persons Policy.

10. Building Related Updates:

- a. The renovation of 16 Lancaster County Road is underway and Classic Construction of Littleton. Demolition is currently underway.
- b. The roof, gutter, and re-pointing project at the Old Library (a.k.a. Five Sparks) is going well and is 95% completed with work continuing on punch list items and awaiting specially manufactured copper finials that go on the ridge lines.

11. We are actively recruiting for two full-time positions: Accounting Assistant, and Administrative Assistant (Land Use and Building Inspector Departments). More detail regarding the positions is available here: <https://www.harvard-ma.gov/human-resources/pages/employment-opportunities>

12. Notice and Reminders:

- a. Town Meeting is coming up in 53 days. If there is anything the Board would like to see on the warrant you need to let us know as soon as possible.

## Harvard Waterways and Watershed Awareness Grant

Liz Allard <lallard@harvard-ma.gov>

Tue 8/16/2022 11:09 AM

To: Julie Doucet <jdoucet@harvard-ma.gov>

Cc: Wendy Sisson <mwsisson4@gmail.com>; Don Ritchie <dsritchie@aol.com>; Erin McBee <emcbee01451@gmail.com>

 7 attachments (12 MB)

Harvard W&S CommunityGrant.docx; Harvard2022 Community Grant Agreement.FullyExecuted.pdf; Bowers Brook road signs.pdf; Town of Harvard-Acorn black 254452 (3).pdf; Bowers Brook central.pdf; Bowers Brook north.pdf; Bowers Brook South.pdf;

Good Morning Julie,

The Town of Harvard received a grant from the Nashua River W&S Stewardship Council earlier this summer for the creation and placement of signs at road crossings along Bowers Brook and creation of a map of the Town's waterways, wetlands and watersheds to be posted (physically and online) to enhance public knowledge of these features.

Since these signs will be located within the Town's Right-of-Ways, approval from the Select Board is required under §125-41D of the Protective Bylaw.

On behalf of the Conservation Commission, I am requesting this item be added to your next agenda for necessary approval by the Select Board.

Attached please find the grant application, the award letter, an image of the signs, and maps indicating the locations of installation.

Thank you

Liz Allard  
Land Use Administrator/  
Conservation Agent  
Town of Harvard  
13 Ayer Road  
Harvard, MA 01451  
978-456-4100 ext. 321

***The Commonwealth of Massachusetts Secretary of State has determined that e-mail is a public record. Privacy should not be expected.***



*Nashua, Squannacook, and Nissitissit Rivers Wild & Scenic Stewardship Council  
c/o Nashua River Watershed Association, 592 Main Street, Groton, MA 01450*

## **Community Grants Program 2022 Application**

**Project Name:** Harvard Waterways and Watershed Awareness

**Funding Request (\$):** \$2500

**Name of Municipality or Organization:** Town of Harvard

**Organization Address:** 13 Ayer Rd, Harvard, MA 01451

**Name of Primary Contact:** Wendy Sisson

**E-mail:** mwsisson4@gmail.com

**Telephone:** 978-660-8181

**501(c)(3)?**

Yes

**Project Summary:** *Include brief description of the project (1-3 sentences)*

We propose to place signage at road crossings along Bowers Brook, a small river that runs through the middle and length of the town. A map of the town's waterways, wetlands and watersheds will be prepared and posted (physically and online) to enhance public knowledge of these features.

**Project Location:** *Describe the project location and include address or Latitude and Longitude (if no address). Attach a map of location(s), if applicable.*

A map titled "Harvard MA: Water Resources – Map 3" is attached. Bowers Brook rises on the Bolton line and flows into Cold Spring Brook at the Ayer line. Eleven road crossings of Bowers Brook to receive signage can be identified on this map, but have not been separately mapped.

**Project Description:** *Include a short description of the project, including goals, work plan, and benefits.*

Community Grants Program  
Application

While townspeople and visitors to Harvard may swim, boat or fish in Bare Hill Pond, other ponds and waterways are not so often engaged with in this way and are generally not well known. In fact, Harvard with its ridges and hills is home to the headwaters of streams flowing to the Nashua, Merrimack and Assabet Rivers – three watersheds. This project aims to call attention to the path of Bowers Brook in particular, and by extension to the diverse streams in town and the watersheds in which they flow.

To realize this goal, “Bowers Brook” road signs will be designed (with the NSN WS logo) and fabricated this spring and installed by DPW over the summer and fall as they are able to schedule. Meanwhile, the map will be designed with the assistance of Montachusett Region Planning Commission (MRPC), posted on the Town website and also displayed at 4 conservation areas.

**Goals of the Stewardship Plan Addressed:** *Describe which Stewardship Plan goals the project addresses.* By raising public awareness of rivers, streams, wetlands, and floodplains, townspeople, including decisionmakers on town boards will be more likely to contribute to many of the goals of the NSN Rivers Stewardship Plan. Understanding of waterways supports public land protection along these corridors for wildlife habitat, water quality and flood control and also supports private landowners in stewardship of their land for these values. The great majority of Harvard homes are on private well and septic systems and an understanding of our connectedness through water can readily transfer into better care for what is washing or filtering into local waterways. Awareness of how surface water is retained and flows throughout town will also help in adapting to climate change.

**Project Products or Deliverables:** *List and describe anticipated project deliverables (e.g. informational signs along a trail, river access improvement, streamside revegetation, targeted outreach to specific audiences, resource mapping).*

22 roadside signs will be installed along Bowers Brook and a town wetland/watershed map will be made available online and displayed at 4 public sites. The map will be up-to-date and accurate for use by town boards and will also be accessible to the public. Distribution of the map will be accompanied by an article in the local newspaper and mention in local social media.

**Project Evaluation:** *Describe how the success of the project will be evaluated to determine if project goals have been met and that the project has had impact for the communities and resources of the Wild and Scenic Rivers.*

The Conservation Commission plans to continue these efforts to raise public awareness of its wetlands and waterways and also to prepare additional resource mapping, specifically mapping culvers and catch basins to better address impacts of roadways in town. These efforts can be evaluated during the revision of the Open Space Plan in 2023.

**Project Partners:** *Describe their role, expertise, and in-kind services provided.*

Conservation Commissioners will carry out most of the project with the aid of the town’s Department of Public Works that will install the signs along roadways. Work of map design, printing and sign fabrication will be contracted.

Community Grants Program  
Application

**Permits or Permissions Required:** *List any permits or permissions required to undertake the project and the current status of each permit, permission, or approval, if applicable.*

DPW will carry out roadside installations in accordance with state and local regulations.

**Project Timeline:** *List anticipated start date, milestones, end date.*

Work will begin in April 2022. MRPC will be contacted to begin work on the map and signs will be designed and ordered. Signs and installation materials will be delivered to DPW by July 1. Maps will be posted and circulated in September and the project completed by the end of November.

**Project Budget:** *Describe the total project budget, amount being requested, estimated budget by task/item, other sources of funding (if any), and in-kind support (if any). See example budget table below.*

Work will be carried out by volunteers and town personnel (DPW) in the course of regular duties. Contracted work and supplies requested as follows.

Map design by MRPC	\$620
Road sign fabrication	\$500
Roadside posts and hardware	\$1000
Materials for 4 exterior map displays	\$380
TOTAL:	\$2500

Quotes from known contractors and vendors have been obtained for each of these items.

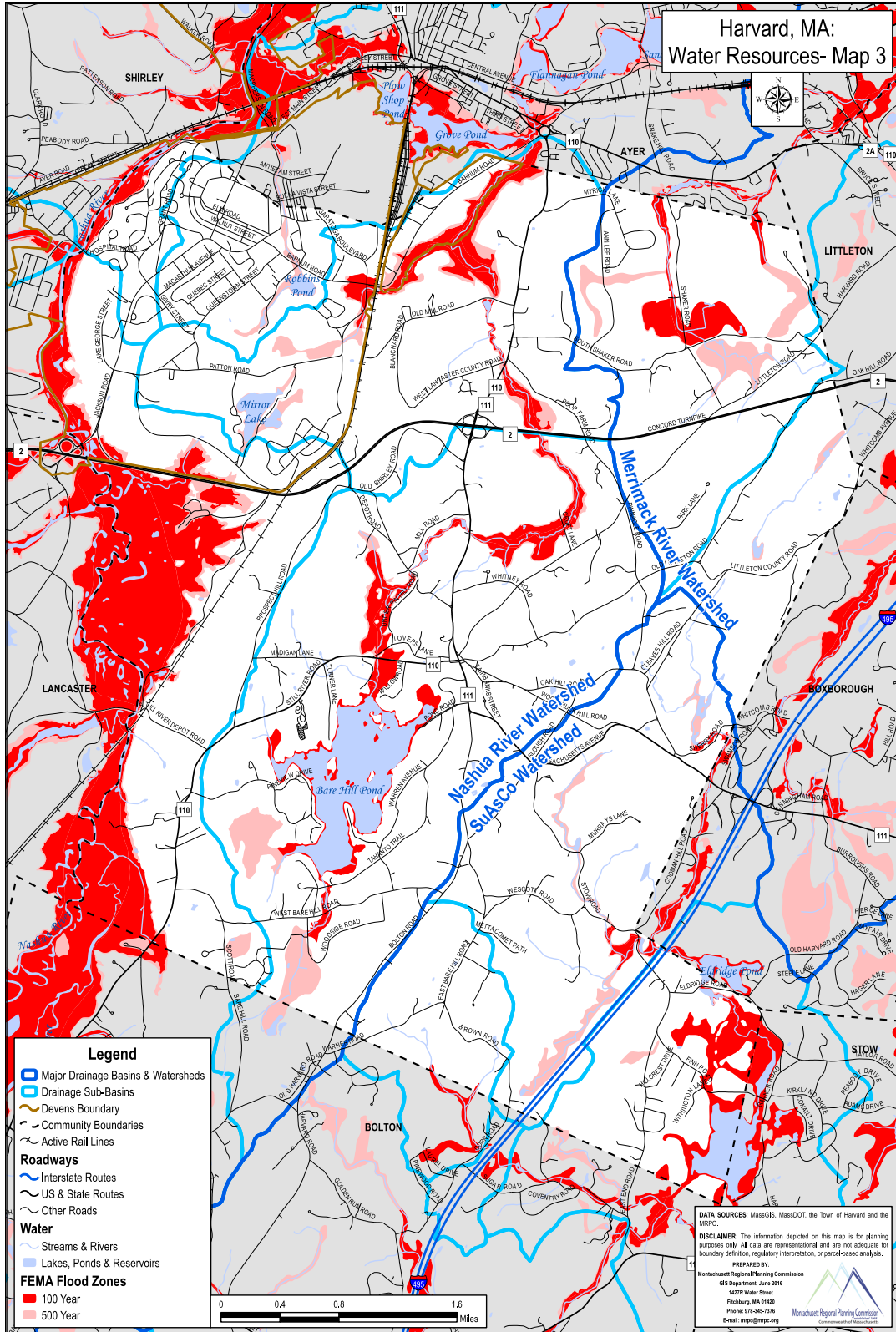
**Any additional project information (if applicable):**

Attachment:

Harvard MA: Water Resources -- Map 3



Community Grants Program  
Application





*Nashua, Squannacook, and Nissitissit Rivers Wild & Scenic Stewardship Council  
c/o Nashua River Watershed Association, 592 Main Street, Groton, MA 01450*

## **Community Grants Program 2022 Grant Agreement**

This Grant Agreement (Agreement) by and between the Town of Harvard (Grantee) and the Nashua, Squannacook, and Nissitissit Rivers Wild & Scenic Stewardship Council (Stewardship Council) describes the conditions of funding and the agreed-upon scope of work to be completed with the grant funding provided to the Grantee.

**Organization Name: Town of Harvard**

**Project Name: Harvard Waterways and Watershed Awareness**

**Total Funding: \$2,500**

**Contact person: Wendy Sisson**

**Address: 13 Ayer Rd, Harvard, MA 01451**

**Email address: mwsisson4@gmail.com**

**Telephone: 978-660-8181**

### **Project Overview:**

Grantee will place signage at road crossings along Bowers Brook, a small river that runs through the middle and length of the town. A map of the town's waterways, wetlands and watersheds will be prepared and posted (physically and online) to enhance public knowledge of these features.

### **Funding Terms:**

This Agreement is effective, and work may begin, upon execution of the Agreement by the Grantee and Stewardship Council. Recipients of funding must request and receive approval from the Stewardship Council for significant change(s) in projected timeline provided in their approved application, (a change of more than three months from scheduled start and/or completion), change(s) in a task or activities, or a significant shift (greater than 10% of total budget) of funding between tasks. Written requests for a change(s) must be received one month prior to anticipated need to allow time for the Stewardship Council to discuss and vote on any proposed changes.

Projects funded by the Stewardship Council must be completed by December 31, 2022. If deemed necessary, a request for an extension to the project timeline should be sent to the Stewardship Council Chair no later than December 1, 2022 explaining why additional time is needed, to allow time for the Stewardship Council to vote on any proposed changes.

Community Grants Program  
Grant Agreement

**Payment:**

One half of the total grant amount will be paid upon receipt of this signed Agreement. The remaining half will be paid upon completion of the project, receipt and acceptance of the final report, and any associated products. Any unused funding at project completion will be returned to the Stewardship Council. Inquiries regarding receipt of funds should be addressed to the Stewardship Council's fiscal agent, the Nashua River Watershed Association, attention Elizabeth Ainsley Campbell, Executive Director ([EAC@nashuariverwatershed.org](mailto:EAC@nashuariverwatershed.org)) and/or the Stewardship Council Chair, Lucy Wallace ([lwallace34@aol.com](mailto:lwallace34@aol.com)).

If payment is to be made to someone other than the Grantee, provide name and address below:

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**Promotion:**

Grantees are asked to recognize the Stewardship Council's contribution in promotional materials and other appropriate public documents related to this funded project and its results. The following line is an example of acknowledgement:

*"Funding is provided by the Nashua, Squannacook, and Nissitissit Rivers Wild & Scenic Stewardship Council through the National Park Service under CFDA: 15.962 – National Wild and Scenic Rivers System."*

Where appropriate, promotional materials should include recognition of the particular resource(s) (Biological, Cultural, Historical, Recreational, and/or Scenic) noted in the Wild & Scenic Rivers designation, which this project is preserving or advancing.

Grantees are also asked to include the Stewardship Council's and National Park Service's Wild & Scenic Rivers logos on promotional materials, where appropriate, as well as any signs included in their projects. Please contact the Stewardship Council's Project Coordinator, Al Futterman ([alf@nashuariverwatershed.org](mailto:alf@nashuariverwatershed.org)) to request an image file of the Stewardship Council's logo and ([Emma\\_Lord@nps.gov](mailto:Emma_Lord@nps.gov)) to request an image file of the NPS W&S Rivers logo.

**Reporting:**

Grantees are also asked to submit a final written report on their projects no later than 30 days after completion. Final reports should contain the following:

- Brief description of the project, including title, purpose, audience, procedures, and evaluation procedures
- List of valuable accomplishments and who benefited
- Project budget (attached) showing expenditure of grant funds and match (in-kind)
- Receipts for expenditures
- Associated products including reports, press releases, photos, etc.

**Additional Information:**

The Nashua, Squannacook, and Nissitissit Rivers were officially designated as part of the National Wild & Scenic Rivers System upon passage of the Dingell Act (PL 116-09) on March 12, 2019. The Stewardship Council was formed in accordance with the Nashua, Squannacook, and Nissitissit Rivers Stewardship Plan, dated February 15, 2018, which was approved by the town meetings of the eleven river communities (nine in Massachusetts, two in New Hampshire) in 2018.

Community Grants Program  
Grant Agreement

The Stewardship Council created the Community Grants program to support projects that preserve, protect, and enhance the outstandingly remarkable resource values of the Nashua, Squannacook, and Nissitissit Rivers and their tributaries, particularly the biological diversity, recreational and scenic resources, and historical and cultural resources, for the benefit and enjoyment of present and future generations. The grants program aims to engage municipalities and local organizations in protecting the rivers' resources and building strong local stewardship of the rivers in accordance with the Nashua, Squannacook, and Nissitissit Rivers Stewardship Plan.

**Liability:**

To the extent permitted by law, Grantee agrees to defend, indemnify and hold harmless the Stewardship Council, the National Park Service, and their officers, directors, agents and employees from and against any and all claims, suits, liens, judgments, damages, losses and expenses including reasonable legal fees and costs arising in whole or in part and in any manner from acts, omissions, breach or default of the Grantee, in connection with performance of any work by the Grantee, its officers, directors, agents, employees and subcontractors.

As a recipient of this funding and authorized representative of my organization, I agree to the terms listed in this application and the applicable requirements related to the cooperative agreement.

*Grantee*

Signature: \_\_\_\_\_ Title: \_\_\_\_\_

Print Name: \_\_\_\_\_ Date: \_\_\_\_\_

*(Electronic signature accepted)*

*Nashua, Squannacook, and Nissitissit Rivers Wild & Scenic Stewardship Council Officer*

Signature: Lucy B. Wallace Title: Chair

Print Name: Lucy B. Wallace Date: March 22, 2022

Please sign and return this form electronically or by mail. Once signed by the Stewardship Council, a fully executed copy will be returned to the Grantee.

Community Grants Program  
Grant Agreement

The Stewardship Council created the Community Grants program to support projects that preserve, protect, and enhance the outstandingly remarkable resource values of the Nashua, Squannacook, and Nissitissit Rivers and their tributaries, particularly the biological diversity, recreational and scenic resources, and historical and cultural resources, for the benefit and enjoyment of present and future generations. The grants program aims to engage municipalities and local organizations in protecting the rivers' resources and building strong local stewardship of the rivers in accordance with the Nashua, Squannacook, and Nissitissit Rivers Stewardship Plan.

Liability:

To the extent permitted by law, Grantee agrees to defend, indemnify and hold harmless the Stewardship Council, the National Park Service, and their officers, directors, agents and employees from and against any and all claims, suits, liens, judgments, damages, losses and expenses including reasonable legal fees and costs arising in whole or in part and in any manner from acts, omissions, breach or default of the Grantee, in connection with performance of any work by the Grantee, its officers, directors, agents, employees and subcontractors.

As a recipient of this funding and authorized representative of my organization, I agree to the terms listed in this application and the applicable requirements related to the cooperative agreement.

Grantee

Signature:  Title: Chair, Conservation Commission

Print Name: Don Ritchie Date: March 22, 2022

(Electronic signature accepted)

Nashua, Squannacook, and Nissitissit Rivers Wild & Scenic Stewardship Council Officer

Signature: \_\_\_\_\_ Title: \_\_\_\_\_

Print Name: \_\_\_\_\_ Date: \_\_\_\_\_

Please sign and return this form electronically or by mail. Once signed by the Stewardship Council, a fully executed copy will be returned to the Grantee.

Community Grants Program  
Grant Agreement

**Harvard waterways and watershed awareness  
Addendum 2/28/22**

**Budget**

<b>Project Task/Item</b>	<b>Total Project Budget (funds requested + match)</b>	<b>Amount Requested</b>	<b>Match (if any)</b>	<b>Match Source (cash or in-kind)</b>
Personnel: <i>Conservation Commissioner &amp; Land Stewardship volunteers 40 hours at \$20/hr</i>	\$800	\$0	\$800	Volunteer labor
DPW 14 hours at \$30/hr	\$420	\$0	\$420	Town of Harvard
Supplies: <i>Road signs</i>	\$500	\$500	\$0	
<i>Roadside posts &amp; hardware</i>	\$1000	\$1000	\$0	
<i>Lumber, etc., to post maps</i>	\$380	\$380	\$0	
Contractual: Map design	\$620	\$620		
<b>Totals</b>	<b>\$3720</b>	<b>\$2500</b>	<b>\$1220</b>	



# BOWERS BROOK



Harvard Conservation Commission  
13 Ayer Rd., Harvard MA 01451



NASHUA RIVER  
**WILD & SCENIC**  
STEWARDSHIP COUNCIL

Nashua • Squannacook • Nissitissit Rivers

Voss Signs, LLC - MANLIUS, NY 13104-0553 1-800-473-0698 www.VossSigns.com



53606-254452



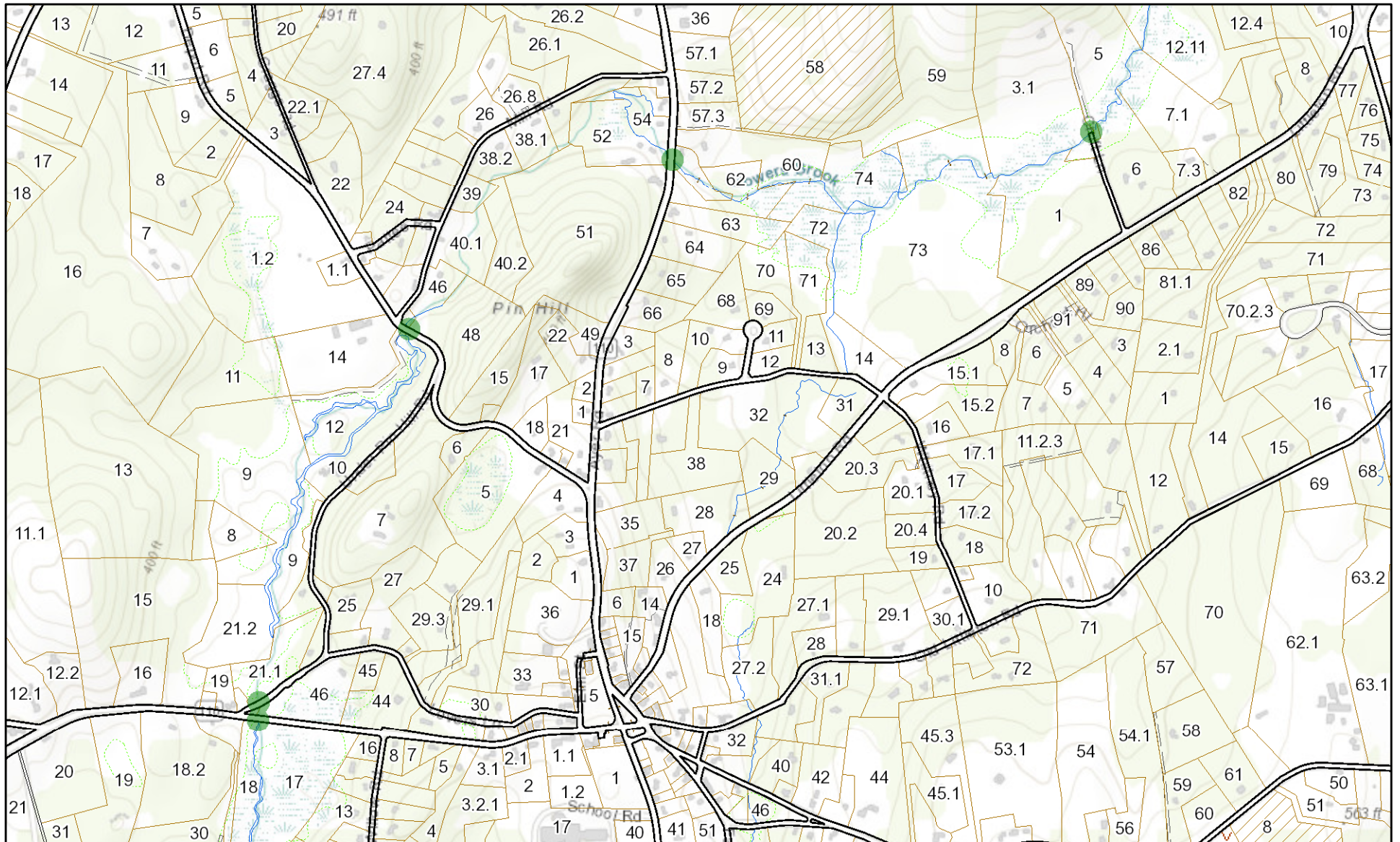
# Harvard, MA



August 2, 2022

1 inch = 1110 Feet

[www.cai-tech.com](http://www.cai-tech.com)



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.





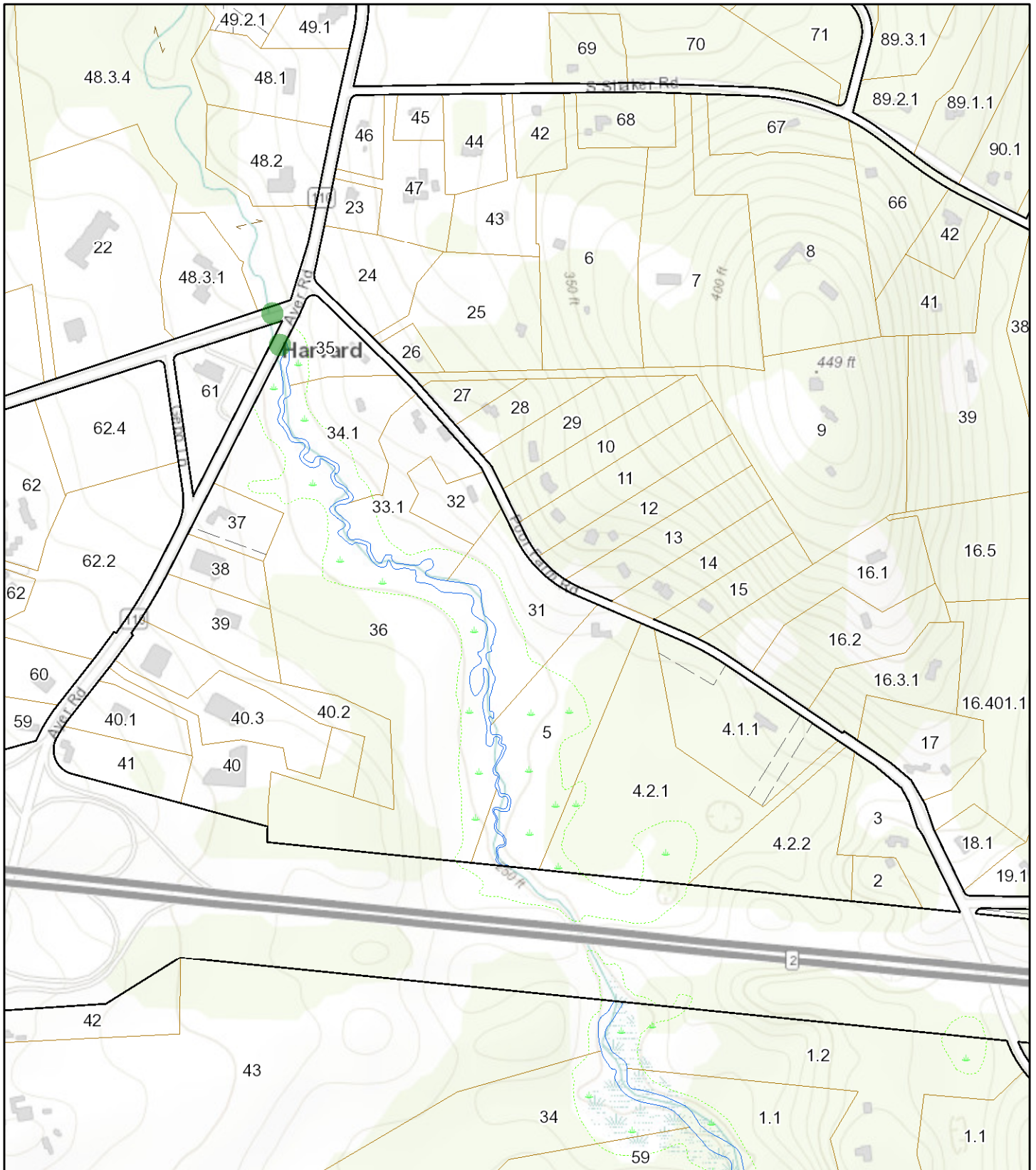
Harvard, MA



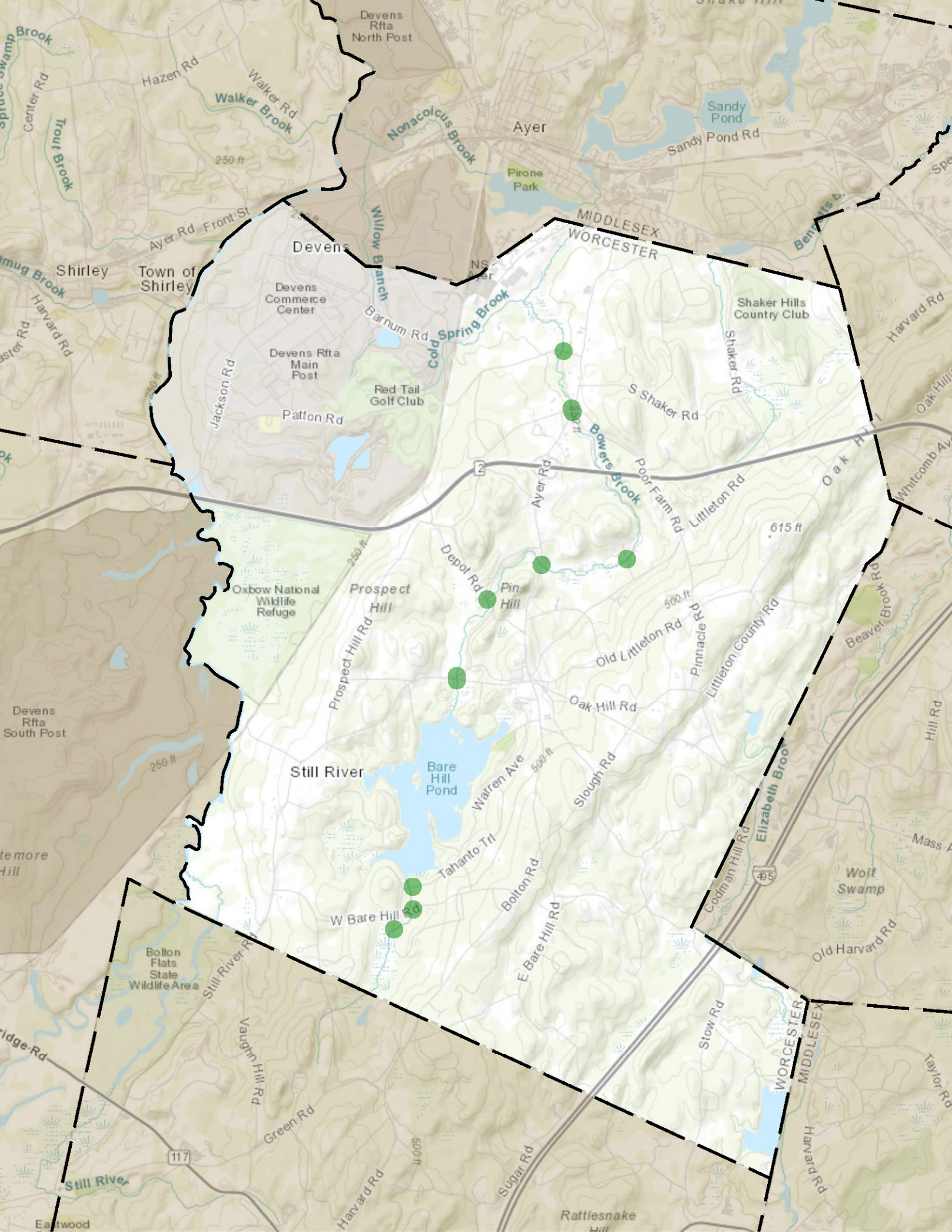
August 2, 2022

1 inch = 555 Feet

www.cai-tech.com



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## Fw: unused entertainment permit

Pat Cooper <Pat@carlsonorchards.com>

Thu 8/4/2022 1:09 PM

To: Julie Doucet <jdoucet@harvard-ma.gov>

Cc: Franklyn Carlson <fcarlson@carlsonorchards.com>

---

**From:** Pat Cooper <Pat@carlsonorchards.com>

**Sent:** Thursday, August 4, 2022 12:48 PM

**To:** Jdoucet@harvardma-ma.gov <Jdoucet@harvardma-ma.gov>

**Cc:** Franklyn Carlson <fcarlson@carlsonorchards.com>; mpacooper@msn.com <mpacooper@msn.com>

**Subject:** unused entertainment permit

Good afternoon,

I am writing to the select board to request a change of date. The request would be to change Carlson Orchards one day entertainment permit dated 8/5/2022 to 10/27 or 10/28/2022. Fridays permit will go unused because of a sudden covid issue. We have in the past lost a permitted date to medical emergencies and not requested an adjustment. Unfortunately, this kind of need for change is not unusual in days where Covid precautions must be taken. Given 30 permitted days the loss of each date impacts our business.

Please consider my request,

Pat Cooper  
Manager/ Events Director  
Carlson Orchards, Inc  
115 Oak Hill Rd  
Harvard, Ma 01451  
cell (978) 621-1303

**Re: unused entertainment permit**

Pat Cooper &lt;Pat@carlsonorchards.com&gt;

Sat 8/20/2022 7:15 AM

To: Julie Doucet &lt;jdoucet@harvard-ma.gov&gt;

Cc: Franklyn Carlson &lt;fcarlson@carlsonorchards.com&gt;

Hi Julie,

Please correct the date change request to SATURDAY October 29th for the Bare Hill reunion Spooctacular .

Thank you for your help,

Pat

Best Regards,

Pat Cooper

## Manager/Events Director

The Cider Barn

Carlson Orchards

115 Oak Hill Rd

Harvard, Ma 01451

Cell. 978 621-1303

Office. 978 456-3916

pat@carlsonorchards.com

Sent from my iPhone

On Aug 16, 2022, at 12:52 PM, Julie Doucet <jdoucet@harvard-ma.gov> wrote:

Yes Pat it was received. The Select Board was informed of the issue and request. They will act at their meeting on August 30th.

I would suggest in the meantime if there may be issues with any other dates you let us know so they could address them at that time as well.

As I told Frank, I will be in touch and keep you in the loop!

Julie Doucet

Executive Assistant

Town of Harvard

13 Ayer Road, Harvard, Ma 01451

978-456-4100x312

[www.harvard-ma.gov](http://www.harvard-ma.gov)

---

**From:** Pat Cooper <Pat@carlsonorchards.com>

**Sent:** Tuesday, August 16, 2022 12:50 PM

**To:** Franklyn Carlson <fcarlson@carlsonorchards.com>; Julie Doucet <jdoucet@harvard-ma.gov>  
**Subject:** Fwd: unused entertainment permit

I've sent this inquiry to every address I've had one of these must have gotten through.

Best Regards,  
Pat Cooper

## Manager/Events Director

The Cider Barn  
Carlson Orchards  
115 Oak Hill Rd  
Harvard, Ma 01451  
Cell. 978 621-1303  
Office. 978 456-3916  
pat@carlsonorchards.com  
Sent from my iPhone

Begin forwarded message:

**From:** PAT COOPER <mpacooper@msn.com>  
**Date:** August 11, 2022 at 4:10:16 PM EDT  
**To:** Pat Cooper <Pat@carlsonorchards.com>  
**Cc:** Franklyn Carlson <fcarlson@carlsonorchards.com>  
**Subject: Re: unused entertainment permit**

Hi Julie,  
I am hoping that you received this and that the select board reviewed my request. Please let me know .  
Thanks  
Pat

On Aug 4, 2022, at 12:48 PM, Pat Cooper  
<[Pat@carlsonorchards.com](mailto:Pat@carlsonorchards.com)> wrote:

Good afternoon,

I am writing to the select board to request a change of date. The request would be to change Carlson Orchards one day entertainment permit dated 8/5/2022 to 10/27 or 10/28/2022. Fridays permit will go unused because of a sudden covid issue. We have in the past lost a permitted date to medical emergencies and not requested an adjustment. Unfortunately, this kind of need for change is not unusual in days where Covid

precautions must be taken. Given 30 permitted days the loss of each date impacts our business.

Please consider my request,

Pat Cooper  
Manager/ Events Director  
Carlson Orchards, Inc  
115 Oak Hill Rd  
Harvard, Ma 01451  
cell (978) 621-1303



**TOWN OF HARVARD**  
**BOARD OF SELECTMEN**  
**GENERAL LICENSE**  
**APPLICATION**

Please check all boxes that apply:

- One Day Liquor License \$50.00
- Farmers Market License \$50.00
- Carry-In (BYOB) \$50.00  
For Common Victualler
- Common Victualler License \$25.00
- Entertainment License \$25.00
- Entertainment License \$75.00  
With Carry-In (allows patrons to bring in beer and/or wine)

Nat Beale

September 17, 2022

---

**Applicant**

**Date**

Harvard Lions Club

---

**Business Name**

**DBA (if different)**

PO Box 268

9785026169

bealeco@verizon.net

---

**Street Address/PO Box**

**Telephone**

**Email**

Harvard

MA

01451

---

**City/Town**

**State**

**Zip**

The licensed premises, activity, or equipment shall be located at the following address:  
(include what zoning district the business will be in)

4 Pond Road, Harvard, MA 01451

---

This license is requested for the following expected hours of operation and days of the week.

3-9 PM 09/17/2022 with a rain date of 10/01/2022 (same hours)

---

Describe activity in the space below details of the license you're applying for (include any floor plan, if necessary):

A Fall Fest held at the Library playing fields serving beer, wine, hard cider, and alcoholic seltzers and food. Live music on a stage by the library. There will also be a little kids playing area, Human Foosball, Corn Hole Tournament, Dunk Tank sponsored by the HYBS. They will provide insurance for the Dunk Tank and other games.



**Entertainment License Application**  
**Pursuant to M.G.L. c. 140, §183A**  
(Only if you are applying for an entertainment license)

**Please check all that apply:**

Dancing: By Patrons  By Entertainers \_\_\_\_\_ No Dancing \_\_\_\_\_

Music: Recorded  Juke Box \_\_\_\_\_ Live Music

Amplification System  No Music \_\_\_\_\_

Shows: Theatre \_\_\_\_\_ Movies \_\_\_\_\_ Floor Show \_\_\_\_\_

Light Show \_\_\_\_\_ No Shows

Admission Charges: Yes \_\_\_\_\_ No

If yes, how much (or submit an admission schedule) \_\_\_\_\_

Other (Indicate Quantity): Televisions \_\_\_\_\_ Video Games \_\_\_\_\_ Pool/Billiard Tables \_\_\_\_\_

Does the facility have a sprinkler system? Yes \_\_\_\_\_ No

**Please fully describe the proposed entertainment** (Type, dates, hours of operation, indoors/outdoors, number of maximum patrons/attendees, etc. You may also submit a separate narrative to answer this question in deeper detail if more space is required):

Two Bands, The Barn Burners (a local Harvard three piece rock band) and Far From Eden, a band playing rock and pop hits from the 60's to current times. The event is outdoors. They will play on a stage from 3PM to 9PM. There will be recorded music during breaks. Nat Beale will be the Manager of on-premises liquor licenses and his TIPS certificate is included along with the other TIPS certified members.

**In addition, please submit the required documentation as part of your application:**

1. Floor Plan of the proposed licensed premises;
2. Proof of adequate liability insurance (including alcohol insurance for on-premises liquor licenses)
3. Proof of Worker's Compensation Insurance certificate;
4. Adequate TIPS certified documentation only for proposed Manager of on-premises liquor licenses).

**I certify under pains of perjury that I, to the best knowledge and belief, have filed all state tax returns and paid all state taxes required under law, and that all the information in this application are to the best of my knowledge true and correct.**

*Nathanial M. Beale*

Key: ab2a3b788fedcc8f4eada3630da3055d

08/15/2022

Signature

Date





HARVLIO-01

JKAY

**CERTIFICATE OF LIABILITY INSURANCE**

DATE (MM/DD/YYYY)

8/10/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> License # 1780393 <b>John F. Stafford Insurance Agency, Inc.</b> P O Box 1391 Fall River, MA 02722	<b>CONTACT NAME:</b> PHONE (A/C, No, Ext): <b>(508) 673-5893</b>	FAX (A/C, No): <b>(508) 677-0792</b>
	<b>E-MAIL ADDRESS:</b> sales@stafford-insurance.com	
<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC #</b>
<b>INSURER A : Mount Vernon Insurance Co</b>		<b>26522</b>
<b>INSURED</b>  <b>Harvard Lions Club</b> <b>PO Box 268</b> <b>Harvard, MA 01451</b>	<b>INSURER B :</b>	
	<b>INSURER C :</b>	
	<b>INSURER D :</b>	
	<b>INSURER E :</b>	
	<b>INSURER F :</b>	

**COVERAGES****CERTIFICATE NUMBER:****REVISION NUMBER:**


THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	<b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y / N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N / A				PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
<b>A</b>	<b>Liquor Liability</b>			<b>SE2013275</b>	<b>9/17/2022</b>	<b>9/19/2023</b>	<b>Each Occurrence</b> <b>1,000,000</b>

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  
 Event at Four Pond Rd 9/17/2022

Aggregate Limit: \$3,000,000

**CERTIFICATE HOLDER****CANCELLATION**

<b>The Town of Harvad</b> <b>13 Ayer Rd</b> <b>Harvard, MA 01451</b>	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	<b>AUTHORIZED REPRESENTATIVE</b> 



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

07/22/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER  DSP Insurance Services, Inc. 1900 E. Golf Road, Suite 650 Schaumburg, IL 60173	CONTACT NAME: John Adams	
	PHONE (A/C, No, Ext): 1-800-316-6705	FAX (A/C, No): 847-934-6186
E-MAIL ADDRESS: lionsclubs@dspins.com		
INSURER(S) AFFORDING COVERAGE		NAIC #
INSURER A : ACE American Insurance Company		22667
INSURER B :		
INSURER C :		
INSURER D :		
INSURER E :		
INSURER F :		

INSURED  
  
Harvard Lions Club/ 33A  
Harvard Massachusetts

**COVERAGES****CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Agg. Per Named Insured is \$2,000,000 GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC			HDOG72484757	09/01/2021	09/01/2022	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 1,000,000
							MED EXP (Any one person)	\$ 5,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 10,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			ISAH25550596	09/01/2021	09/01/2022	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
	UMBRELLA LIAB EXCESS LIAB DED RETENTION \$						EACH OCCURRENCE	\$
							AGGREGATE	\$
								\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						WC STATUTORY LIMITS	OTH-ER
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

Provisions of the policy apply to the named insureds participation in the following activity during the policy period shown above: Harvard Lions Fall Fest September 17th with rain date October 1 2022

The following persons or organizations granting use of real property, including structures thereon are included as Additional Insured(s), but only with respect to General Liability arising out of the use of premises by the insured shown above and not out of the sole negligence of said additional insured.

\*\*\* The Bromfield Trustees \*\*\*

PROVISIONS OF THE POLICY DO NOT APPLY TO THE SALE OR SERVING OF ALCOHOLIC BEVERAGES

**CERTIFICATE HOLDER****CANCELLATION**

The Town of Harvard  
13 Ayer Road  
Harvard Massachusetts 01451

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

© 1988-2010 ACORD CORPORATION. All rights reserved.

Tips Certificates of Harvard Lions Club



JTS TIPS  
2021-07-02.pdf



eTIPS  
Certification\_Jeff Jarvis



**eTIPS Concessions 3.0**

**CERTIFIED**

**Issued: 7/16/2021**

**Expires: 7/16/2024**

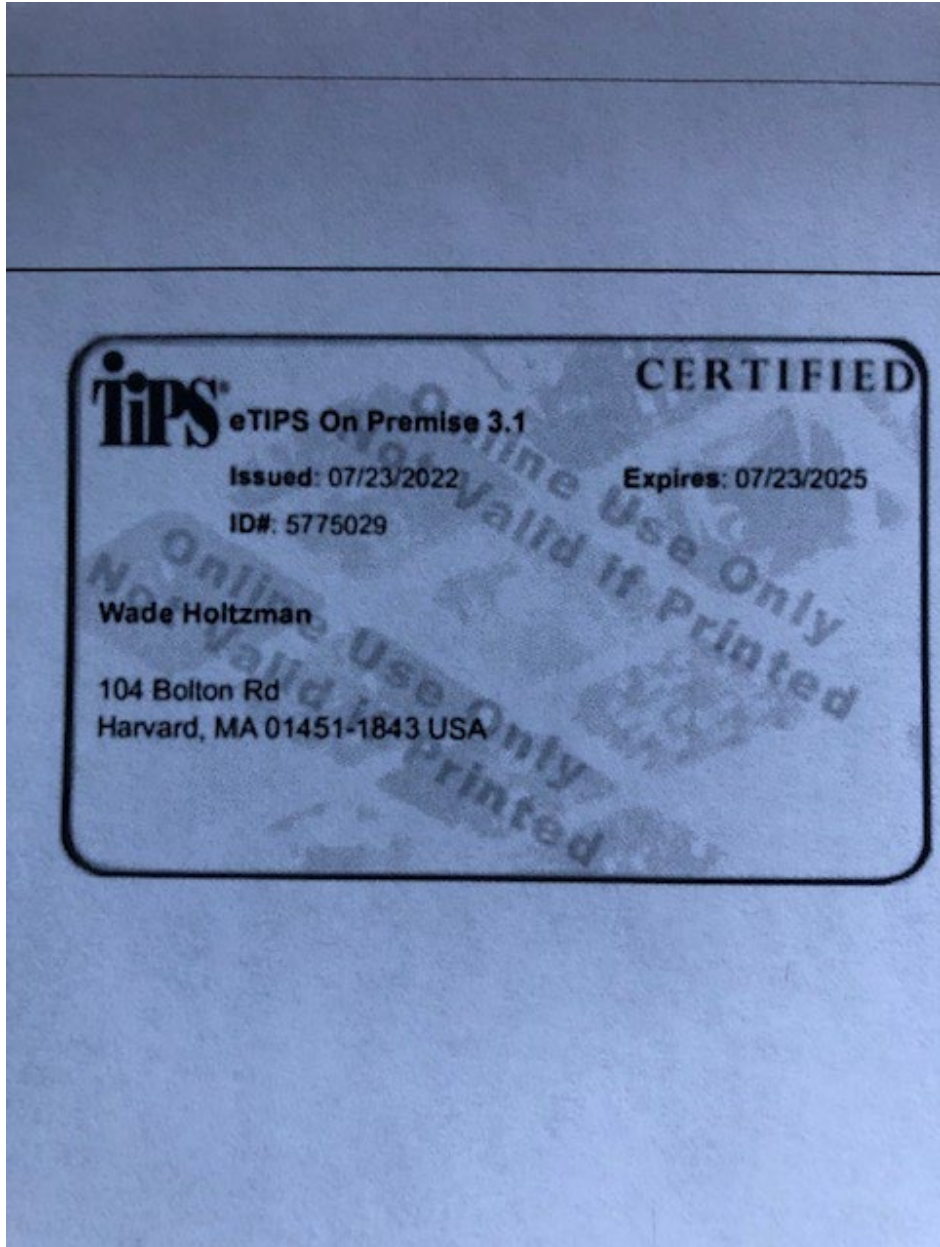
**ID#: 5513795**

**Trevor Smedley  
25 Depot Rd  
Harvard, MA 01451-1321**

**For service visit us online at [www.gettips.com](http://www.gettips.com)**



Nat's Tips Certificate  
07-18-2025.pdf



scan0290.pdf



eTIPS Concessions  
3.pdf



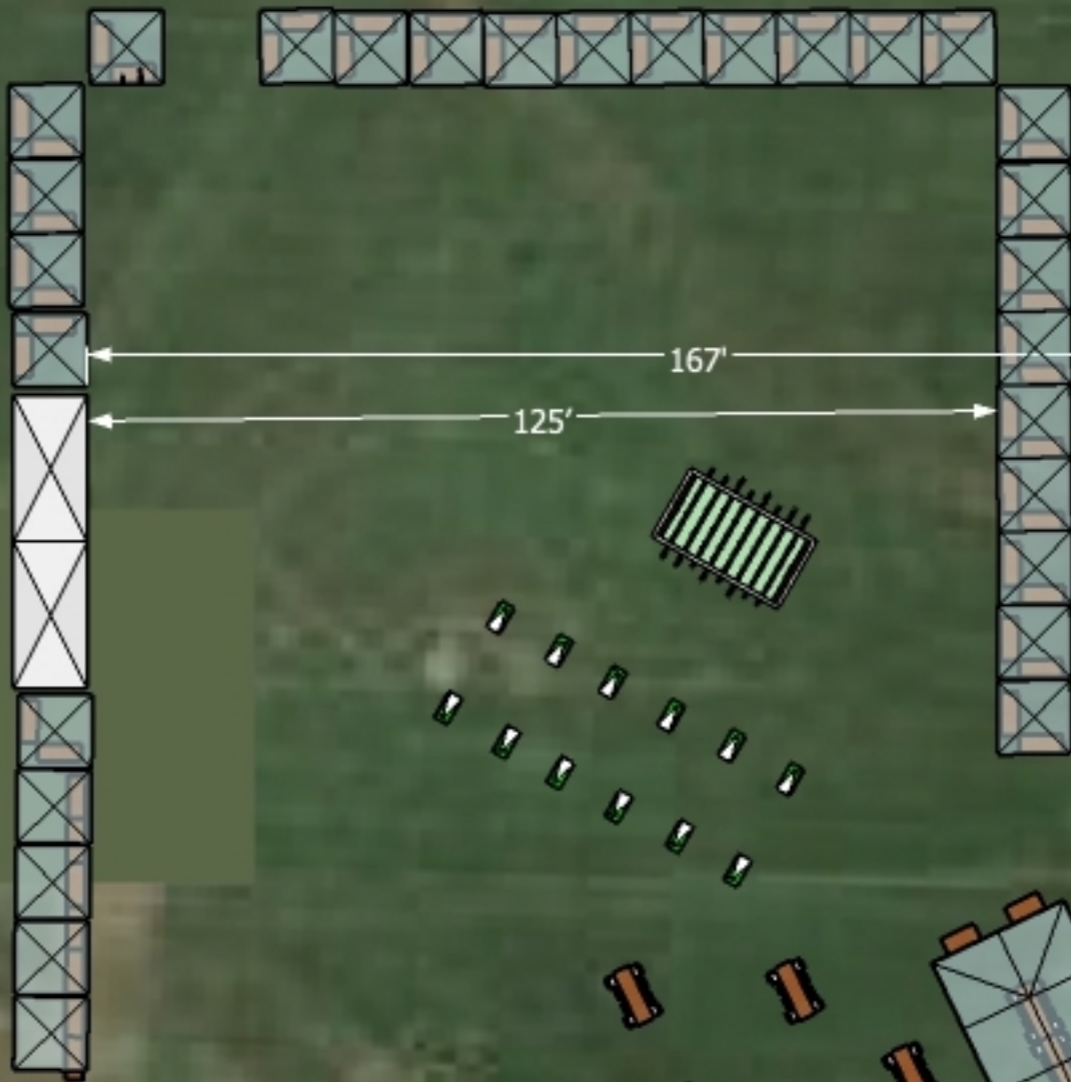
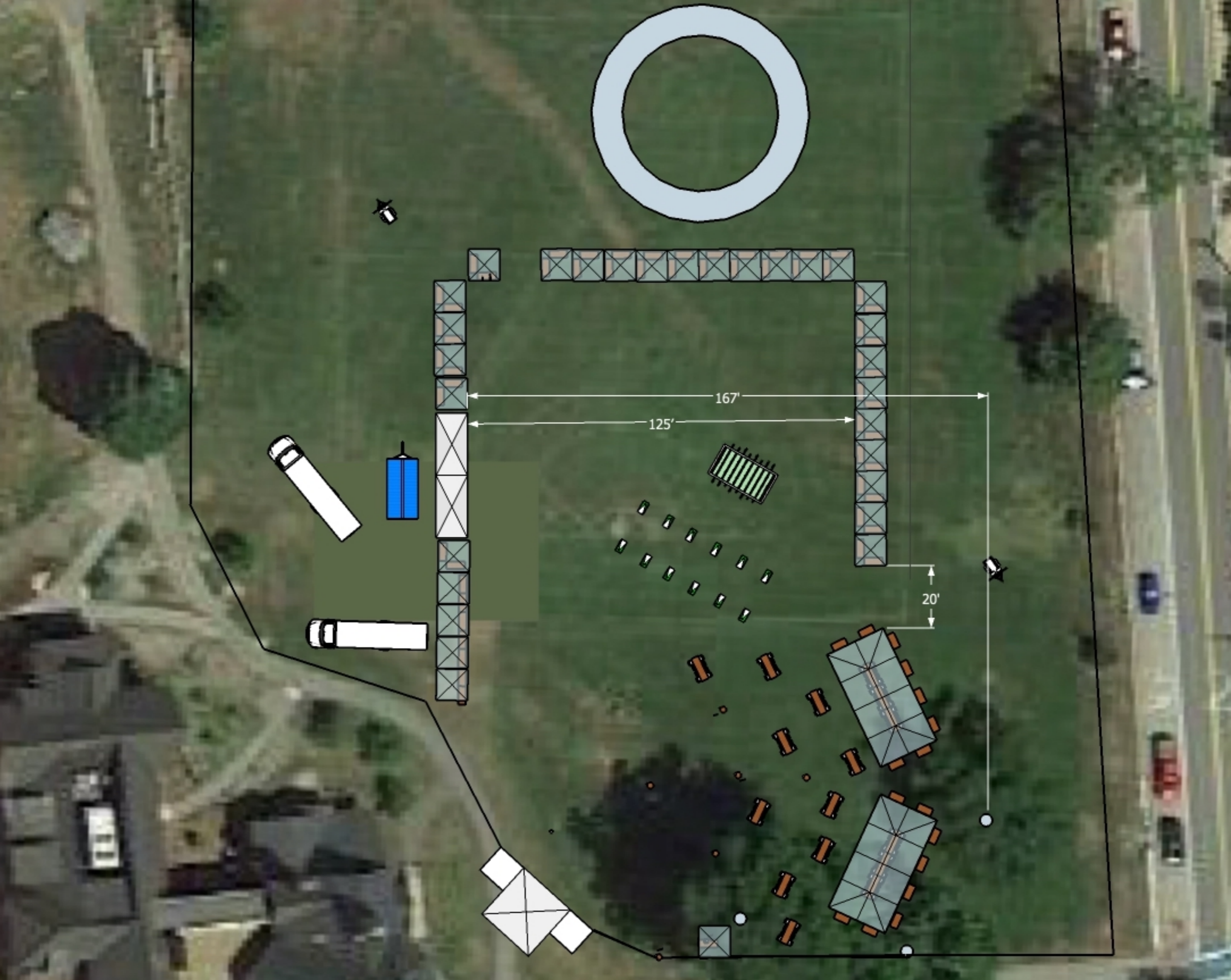
scan0290.pdf



eTIPS Concessions  
3.0 - Russell Shappy.p







167'

125'

20'



## Fw: Assessing School - UMass Amherst Class Cancelled

Jared Mullane <jmullane@harvard-ma.gov>

Mon 8/15/2022 11:01 AM

To: Julie Doucet <jdoucet@harvard-ma.gov>

Cc: Marie Sobalvarro <msobalvarro@harvard-ma.gov>

 2 attachments (241 KB)

IAAO School Information Dec 5-9 2022.pdf; Assessing School Comparison Worksheet.xlsx;

Hi Julie,

Can you put an out-of-state travel request for Carol on the next Select Board agenda? I included her email below describing the need, and the cost analysis in the excel attached.

Thank you.

Jared Mullane  
Finance Director/Town Accountant  
13 Ayer Road  
Harvard, MA 01451  
(T) (978) 456-4100 x320  
(F) (978) 456-4113

---

**From:** Harvard Assessor <assessingdept@harvard-ma.gov>

**Sent:** Tuesday, July 26, 2022 2:07 PM

**To:** Jared Mullane <jmullane@harvard-ma.gov>

**Subject:** Assessing School - UMass Amherst Class Cancelled

Hi Jared,

The class I enrolled for Assessing Summer School at UMass Amherst has been cancelled. However, I would like to get approval to attend International Association of Assessing Officers (IAAO) class 201, Appraisal of Land class in St. Mary Fla the first week of December. I have found it difficult to complete the two classes I have remaining for certification and according to the IAAO both these classes are offered the first week of December just in case one of them gets cancelled for low enrollment. My intention would be to complete course work and then take the week of December 11<sup>th</sup> as PTO returning to work on Monday, December 19<sup>th</sup>. I would be responsible for all costs related to transportation. Please see the attached the course descriptions (highlighted) and spreadsheet for price comparison of course costs and lodging for course days.

Being the beginning of December the last quarter of water/sewer billing will have been completed the first week of November. December is prep for Form of List Personal Property applications/3ABC application mailings to which I plan to streamline this year and email a fillable form to all businesses that we have email addresses. Prep for Real Estate Abatements to include web updates, book prep will be done on return to office.

Thank you for considering this request.

Thank you,

Carol Dearborn

Assistant Assessor  
Town of Harvard  
13 Ayer Rd  
Harvard, MA 01451

[www.harvard-ma.gov](http://www.harvard-ma.gov)

<b>Assessing School</b>	<b>Umass Amherst</b>	<b>St Mary FLA</b>
Dates of School	July 31 - August 5th, 2022	Dec. 4th - Dec. 9th, 2022
Course	IAAO Course 201 Appraisal of Land <b>Cancelled due to low enrollment .</b> *Classes offered I have completed.	IAAO Course 201 Appraisal of Land
Cost	\$600.00	\$400.00
5 Nights Lodging	\$855.00	\$645.00
TOTAL:	\$1,455.00	\$1,045.00
		<b>Savings \$410.00</b>



## Florida Department of Revenue – Property Tax Oversight Property Appraiser Program IAAO Courses December 5-9, 2022

### Program Information

The Florida Department of Revenue is excited to announce the offering of the following courses from the International Association of Assessing Officers (IAAO). The courses will be offered live in Lake Mary, Florida at the Orlando Marriott Lake Mary.

### This communication covers the following topics:

- [Course Registration](#)
- [Course Schedule and Attendance](#)
- [Hotel Registration](#)
- [Exams](#)
- [Exam Result Reporting and Privacy](#)
- [Cancellation Policy](#)

Please be sure to read the notice in its entirety to ensure a full understanding of the course experience and student expectations.

IAAO Courses*						
Course Date	Description	Recommended Prerequisite	Supplemental Textbook (Not required. Visit <a href="#">IAAO</a> store to order.)	Instructor	Cost, Registration Information and Deadline (Courses may fill by the deadline – register early.)	Cancellation Deadline (See <a href="#">course cancellation</a> information below.)
December 5-9, 2022	<b>IAAO 101, Fundamentals of Real Property Appraisal</b> This course is designed to provide students with an understanding and working knowledge of the procedures and techniques required to estimate the market value of vacant and improved properties. This course concentrates on the skills you need to estimate the market value of properties using two approaches to value: the cost approach and the sales comparison approach. For more information, please review the <a href="#">Course Information Packet</a> .	N/A	Property Assessment Valuation (PAV) ISBN: 978-0-88329-196-2	Doug Will, CAE, AAS	\$400  Click <a href="#">here</a> to register now.  <b>November 4, 2022</b>	<b>November 14, 2022</b>
December 5-9, 2022	<b>IAAO 102, Income Approach to Valuation</b> This course is designed to provide students with an understanding and working knowledge of the procedures and techniques required to estimate the market value of vacant or improved properties by the income approach. This course covers real estate finance and investment, capitalization methods and techniques, analysis of income and expenses to estimate operating income, selection of capitalization rates, and application of the approach. For more information, please review the <a href="#">Course Information Packet</a> .	IAAO 101	Property Assessment Valuation (PAV) ISBN: 978-0-88329-196-2	David Cornell, MAI, CAE	\$400  Click <a href="#">here</a> to register now.  <b>November 4, 2022</b>	<b>November 14, 2022</b>

December 5-9, 2022	<b>IAAO 201, Appraisal of Land</b> This course is designed to provide students with an understanding and working knowledge of the procedures and techniques required to estimate the market value of land. This course concentrates on the skills necessary for estimating land value, primarily using the sales comparison approach. For more information, please review the <a href="#">Course Information Packet</a> .	IAAO 101 and 102	Property Assessment Valuation (PAV) ISBN: 978-0-88329-196-2	Cyndi Capps, RES	\$400  Click <a href="#">here</a> to register now.  <b>November 4, 2022</b>	<b>November 14, 2022</b>
December 5-9, 2022	<b>IAAO 300, Fundamentals of Mass Appraisal</b> This course introduces mass appraisal and is a prerequisite for the IAAO 300-level course series focused on mass appraisal. Topics covered include: single-property appraisal versus mass appraisal, components of a mass appraisal system, data requirements and analysis, introduction to statistics, use of assessment ratio studies in mass appraisal, modeling of the three approaches to value, and selection of a mass appraisal system. For more information, please review the <a href="#">Course Information Packet</a> .	IAAO 101 and 102	Fundamentals of Mass Appraisal (FMA) ISBN: 978-0-88329-198-6	James Ogburn, RES	\$400  Click <a href="#">here</a> to register now.  <b>November 4, 2022</b>	<b>November 14, 2022</b>

### Course Registration

Registrations are accepted on a first-come, first-served basis, with payment required at registration. Payment should be submitted via the online registration site. Courses may reach capacity prior to the registration deadline. **Early registration is recommended.** Once registered, the student will receive an email confirmation from [LMSadministrator@floridarevenue.com](mailto:LMSadministrator@floridarevenue.com).

### Hotel Registration

A block of rooms is reserved at the Orlando Marriott Lake Mary. You must guarantee all reservations with a major credit card by November 14, 2022 to receive the group rate of \$119 (single) or \$129 (double) per night. This rate includes breakfast. Breakfast coupons are issued during check-in at the front desk. No other meals are included in this program. **Making reservations early is recommended, as the group block may fill before the November 14, 2022 deadline.**

For your reservation to be tax exempt, you must reserve your room directly with the hotel and pay with a government-issued credit card or check along with the corresponding tax-exempt certificate. You can make reservations through the designated [Orlando Marriott Lake Mary reservation site](#) or by calling 1-800-380-7724. The group name is Florida Department of Revenue.

### Course Schedule and Attendance

**These courses are conducted in person.** Courses begin Monday, December 5, 2022 at 8:30 a.m. ET and conclude by 5 p.m. ET. The instructor will discuss the course schedule for the remainder of the week on Monday.

### IAAO Attendance Policy

In both the in-person and virtual (live-online) classrooms, the IAAO instructor takes attendance throughout the course or workshop. An absence from any **IAAO Course** totaling more than a half day will result in the loss of the full 30 hours' credit and 3.5 continuing education credits.

### Course Materials On-Site Pickup

The course materials may be picked up:

- December 4, 2022 from 5:00 – 7:00 p.m. ET in the lobby of the Orlando Marriott Lake Mary, or
- December 5, 2022 from 7:30 – 8:30 a.m. ET in the ballroom lobby of the Orlando Marriott Lake Mary

The registrant is responsible for the following materials:

- A calculator (phone calculator is not allowed for the exam)
- Writing utensils and scratch paper (an electronic pencil sharpener will be available in each classroom)

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## Exams

Exams will be held on Friday, December 9, 2022. The instructor will provide trainees with the exam start time. IAAO will email results to each trainee after all exams are graded. Questions about exam results should be directed to [results@iaao.org](mailto:results@iaao.org).

## Exam Result Reporting and Privacy

The Florida Department of Revenue (Department) recognizes the importance of protecting your privacy. By registering for a Department-sponsored course, trainees consent to the collection, use, and disclosure of your exam results for the purpose of administering the certification program. The Department does not report pass/fail status. Requests for IAAO pass/fail/no-exam status should be sent to [results@iaao.org](mailto:results@iaao.org).

## \*Courses Approved by the Department of Revenue

These IAAO courses apply toward the certification requirements as prescribed by [Chapter 12D-19, Florida Administrative Code \(F.A.C.\)](#). The Florida Department of Business and Professional Regulation has also approved these IAAO offerings for 20 hours of Appraiser Specialty Continuing Education credit toward state certification.

## Course Cancellation Policy

When the number of students enrolled in a Department-sponsored course is insufficient to adequately cover the costs of course administration, or the Department cannot secure an instructor, the course will be cancelled. The Department will notify students affected by a course cancellation by email at least 10 business days before the scheduled course start date. Affected students may apply for a refund or opt to transfer course registration to another course in that program (12D-19.005(5), Florida Administrative Code).

## Attendee Registration and Cancellation Policy

Portions of application, certification, and registration fees will be refunded upon a determination by the Department that the state is not entitled to the fees, or that only a portion of the resources have been expended in the processing of the application, certification, or registration. The Department will not issue a credit instead of a refund (12D-19.005(4), Florida Administrative Code).

**IAAO assesses the Department of Revenue a 25% fee for hard-copy student reference manuals returned for registrations cancelled less than 15 business days prior to a course. In this case, any submitted refund would be less the 25% charge.**

To apply for a refund, the registrant must submit a completed Form DFS-AA-4, State of Florida, Department of Financial Services, Application for Refund (incorporated by reference in Rule 69I-44.020, F.A.C.), and proof of payment to:

PTOTraining@floridarevenue.com or Florida Department of Revenue  
Property Tax Oversight  
Certification and Training  
PO Box 3294  
Tallahassee, Florida 32315-3294.

Form DFS-AA-4 is available at [https://floridarevenue.com/property/Pages/Cofficial\\_Training.aspx](https://floridarevenue.com/property/Pages/Cofficial_Training.aspx).

## Re: Commission on Disabilities appointments

Susan Tokay <suetokay@charter.net>

Thu 8/18/2022 7:47 AM

To: Julie Doucet <jdoucet@harvard-ma.gov>

Julie,

I am sorry to report that I need to step down from the Commission for Disabilities. I am returning to work full time, and don't believe I will have the time to effectively be part of the committee.

Julie Doucet wrote:

Hello all,

The Select Board acted on their annual appointments with new terms to begin July 1, 2022.

Your official appointment letter is attached.

Best,

Julie Doucet  
Executive Assistant  
Town of Harvard  
13 Ayer Road, Harvard, Ma 01451  
978-456-4100x312  
[www.harvard-ma.gov](http://www.harvard-ma.gov)