



# TOWN OF HARVARD, MA

## DESIGN REVIEW BOARD

**Date:** Tuesday, 6 DEC. 2022 @ 8:00 AM

**Location:** Small Conference Room, 2<sup>nd</sup> Floor Town Hall  
13 Ayer Road, Harvard, MA

**In-Person:** Harvard Town Hall, 2<sup>nd</sup> Floor Meeting Room

**Remote:** Zoom (see log-in information below)

## AGENDA

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1. Convene
  2. Continued Discussion of DRB Application: 203 Ayer Road (Yvonne Churn and Wheeler Realty Trust)
  3. Other Business
  4. Adjourn
-



# PROPOSED BADMINTON FACILITY

## 203 AYER ROAD

### HARVARD, MA



#### CODE SUMMARY

PROPOSED NEW SINGLE STORY BUILDING  
 BUILDING HEIGHT: 35'  
 BUILDING AREA: 30,000 sf.  
 USE GROUP:A-3  
 CONSTRUCTION TYPE 2B

REQUIRED FIRE PROTECTION SYSTEMS:  
 AUTOMATIC SPRINKLE SYSTEM  
 FIRE ALARM AND DETECTION SYSTEM  
 STANDPIPE SYSTEM  
 FIRE EXTINGUISHERS.  
 CARBON MONOXIDE DETECTION.

Location  
**NEW BADMINTON FACILITY**  
**203 AYER ROAD**  
**HARVARD, MA**

**Choo**  
**& Company, Inc.**

One Billings Road, Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

No.	Revision Date
	01-03-22
	04-25-22

Project No: 2021119  
 Scale: AS NOTED  
 Date: 05-05-21  
 Drawn By: E.A

Drawing Name  
**COVER SHEET**

Sheet No.  
**A-0**

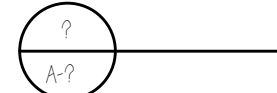






#### GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THIS PROJECT.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, SCHEDULING AND SAFETY FOR THIS PROJECT.
3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND LAWS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY AQUATINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS OR FIELD CONDITIONS TO THE ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
7. THE CONTRACTOR SHALL WARRANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

#### APPLICABLE CODES

- MASSACHUSETTS STATE BUILDING CODE 9TH EDITION IBC-2015 WITH MASS AMENDMENTS
- MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR)
- INTERNATIONAL MECHANICAL CODE 2015 (IMC-2015)
- MASSACHUSETTS PLUMBING CORE (248 CMR)
- MASSACHUSETTS ELECTRICAL CODE (527 CMR 12.00)
- INTERNATIONAL ENERGY CONSERVATION CODE 2015 (IECC-2015) WITH MASS AMENDMENTS

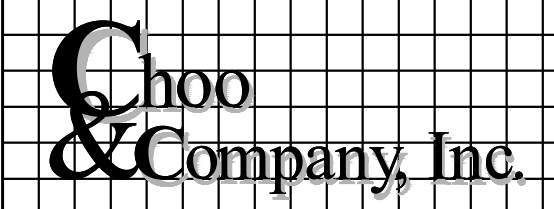
#### REFERENCE SYMBOLS

-  SECTION DETAIL REFERENCE
-  ? MIN. RATED DOOR
-  FD FLOOR DRAIN
-  RD ROOF DRAIN
-  B BOLLARD
-  FIRE ALARM CONTROL PANEL
-  WINDOW TYPE



Location

**NEW BADMINTON FACILITY**  
**203 AYER ROAD**  
**HARVARD, MA**



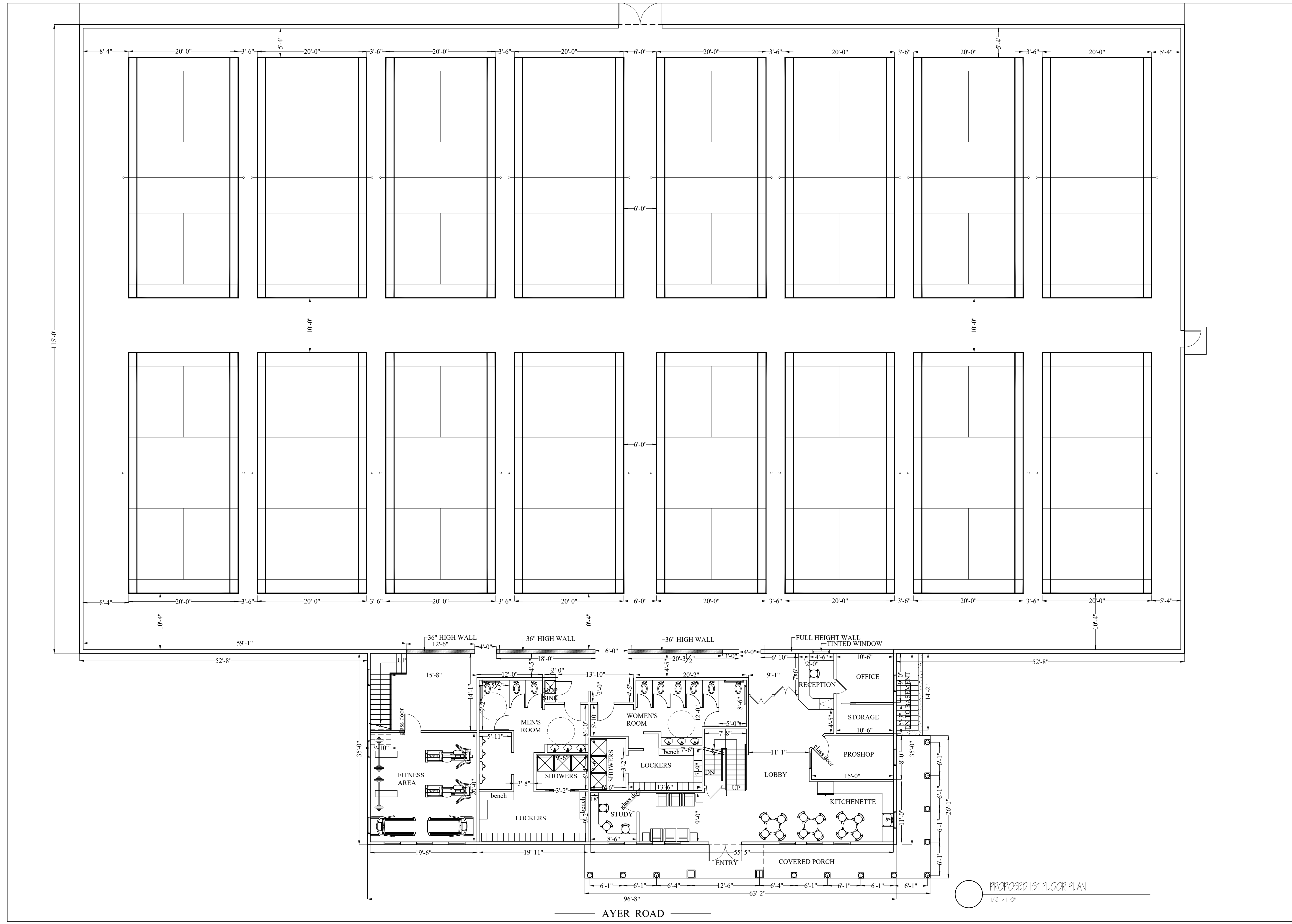
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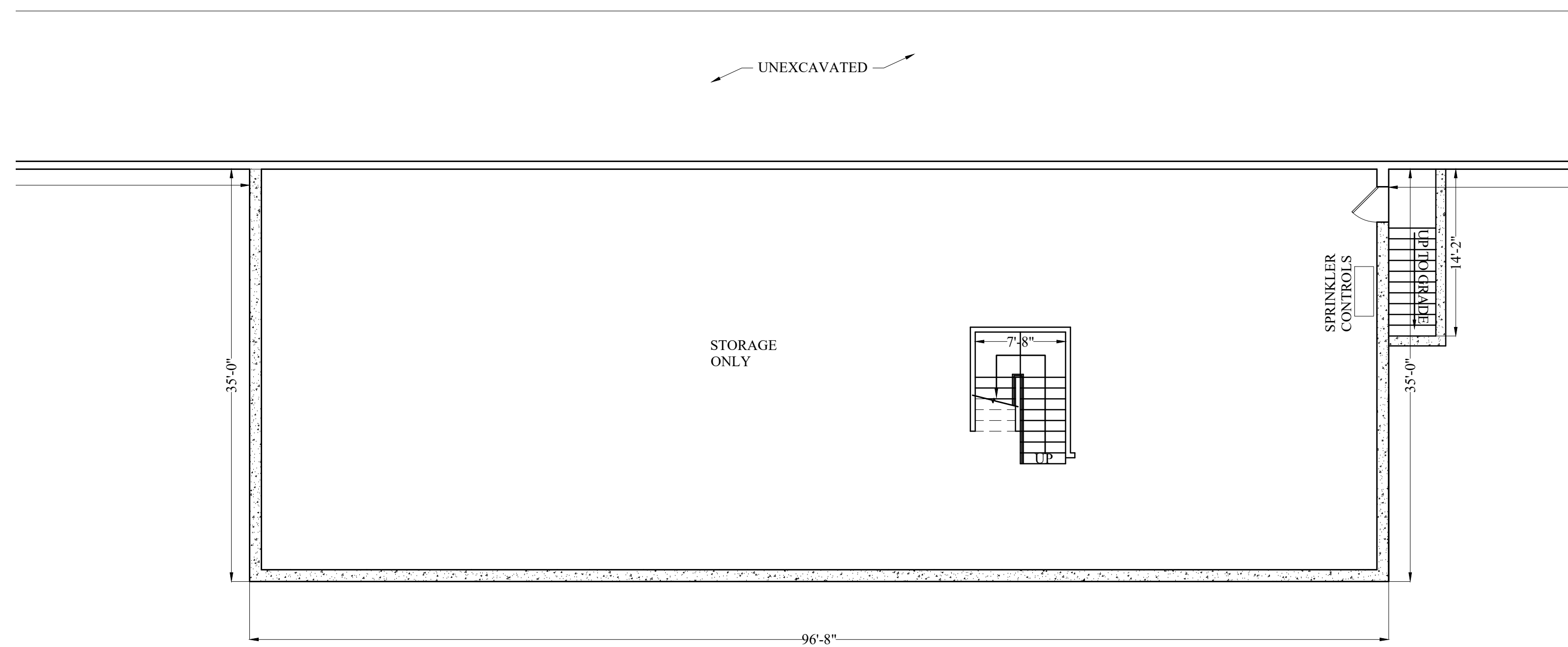
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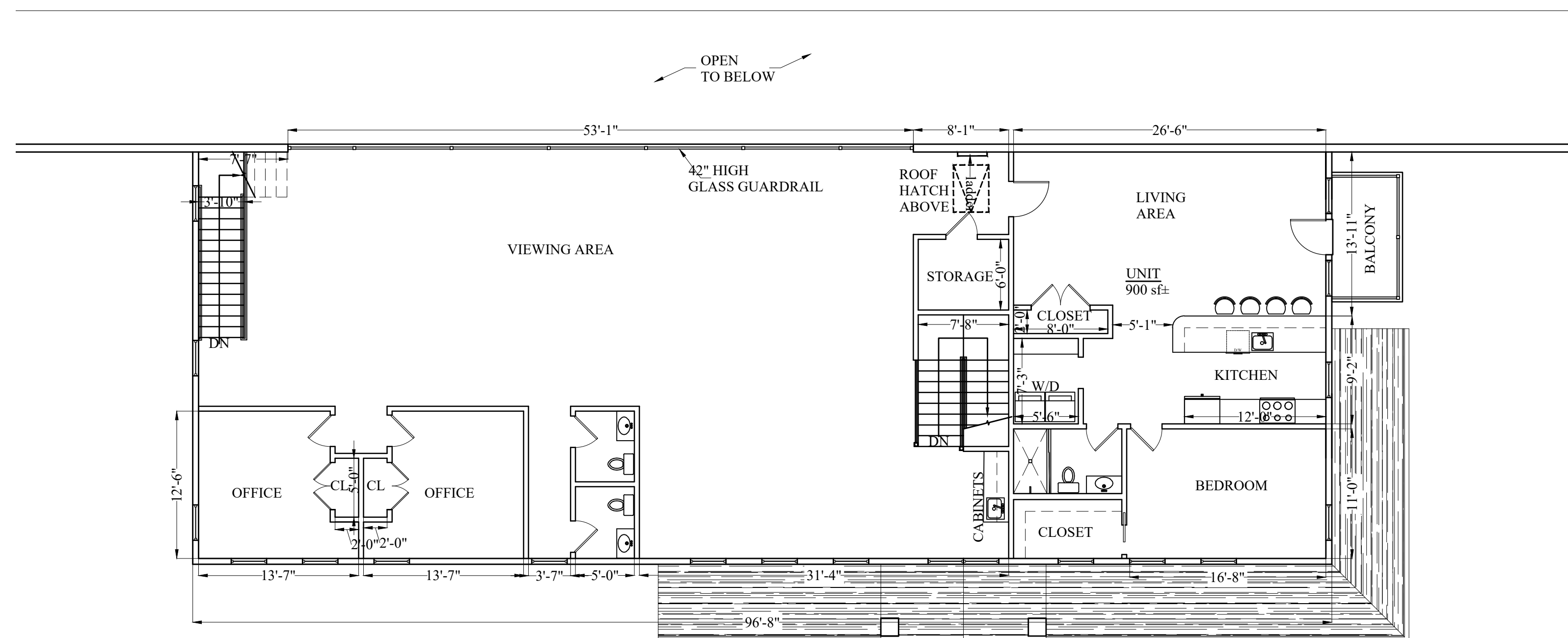
Drawing Name  
**1ST FLOOR PLAN**

Sheet No.  
**A-1.1**



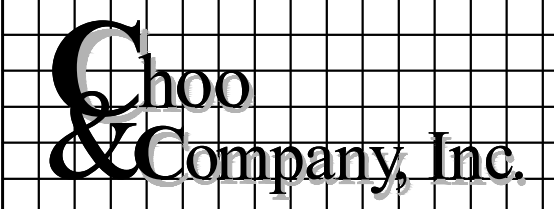


PROPOSED PARTIAL BASEMENT PLAN  
1/8" = 1'-0"



PROPOSED 2ND FLOOR PLAN  
1/8" = 1'-0"

Location  
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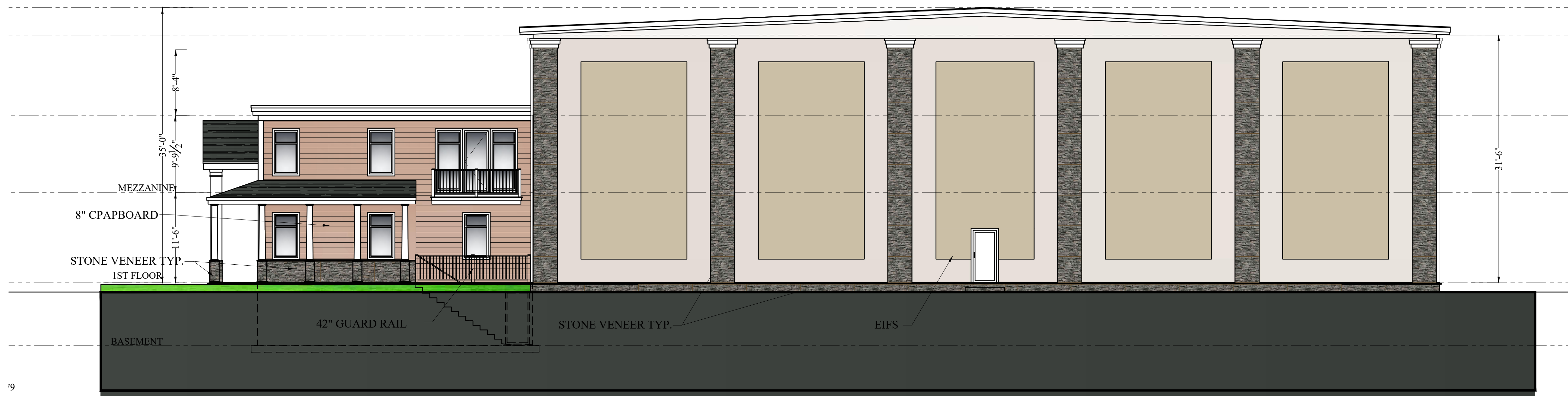
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Drawing Name  
**2ND FLOOR PLAN**

Sheet No.  
**A-1.2**

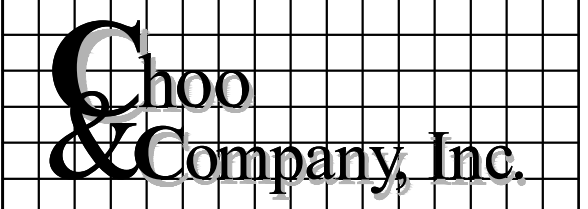


1 PROPOSED FRONT ELEVATION  
1/8" = 1'-0"



2 PROPOSED SIDE ELEVATION (RIGHT)  
1/8" = 1'-0"

Location  
**NEW BADMINTON FACILITY**  
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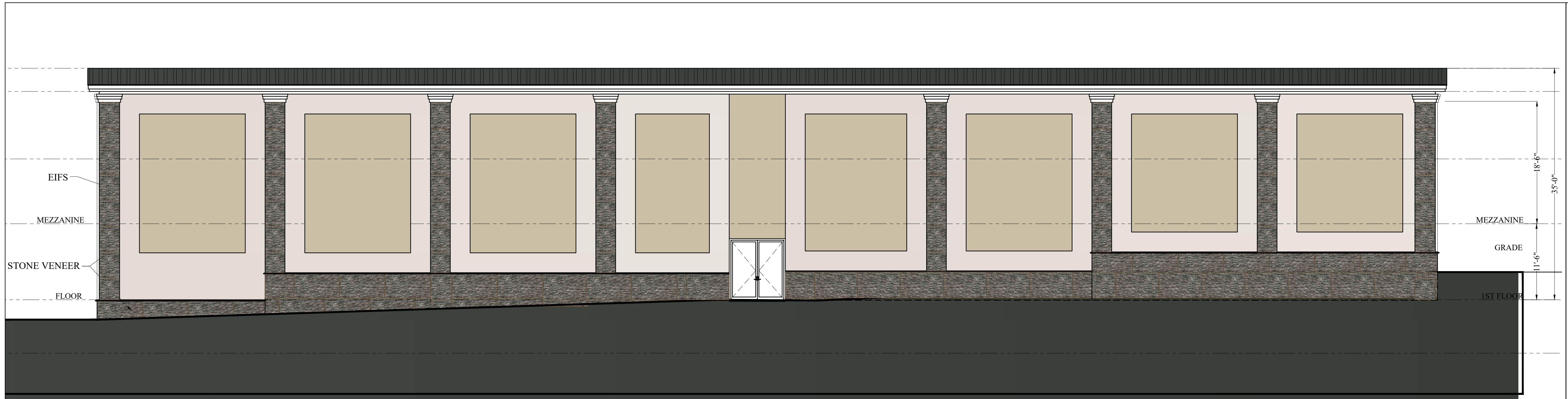
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Drawing Name  
**ELEVATIONS**

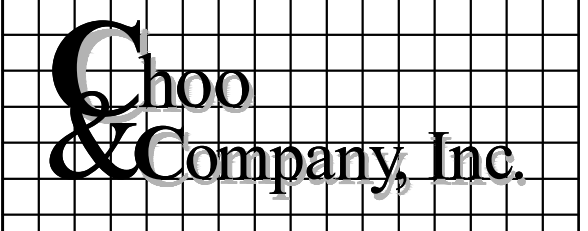
Sheet No.  
**A-2.1**





1 PROPOSED REAR ELEVATION  
1/8" = 1'-0"

Location  
**NEW BADMINTON FACILITY**  
**203 AYER ROAD**  
**HARVARD, MA**



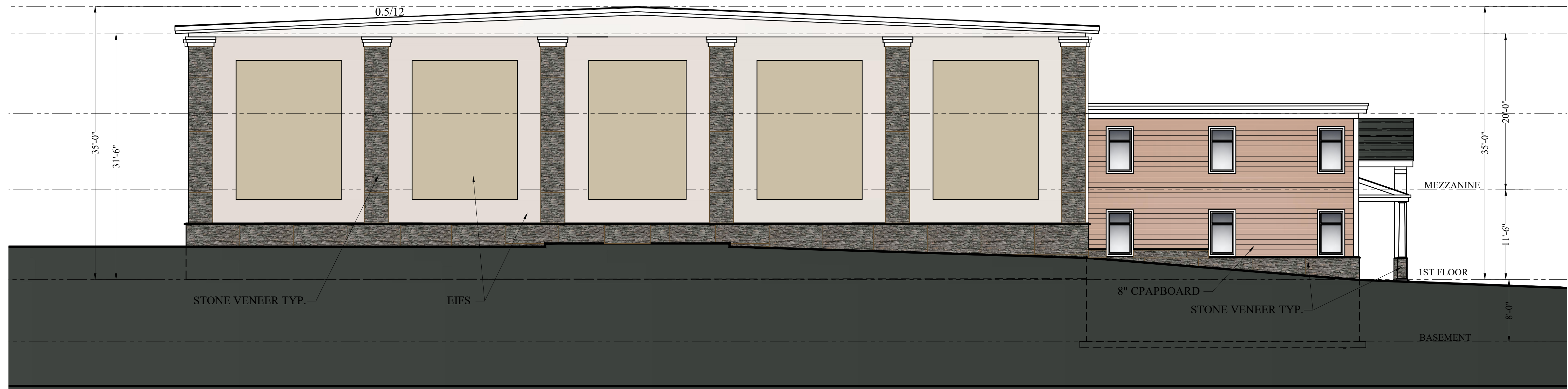
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Drawing Name  
**ELEVATIONS**

Sheet No.  
**A-2.2**



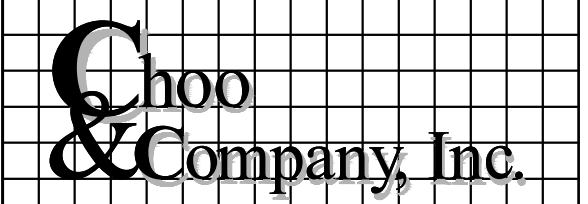
2 PROPOSED SIDE ELEVATION (LEFT)  
1/8" = 1'-0"





Location

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**HARVARD, MA**



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Drawing Name

**PERSPECTIVE  
 VIEWS**

Sheet No.

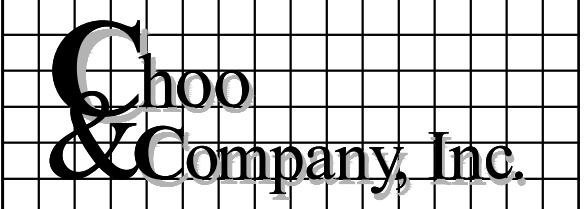
A-2.3





1 PROPOSED FRONT ELEVATION  
1/8" = 1'-0"

Location  
**NEW BADMINTON FACILITY**  
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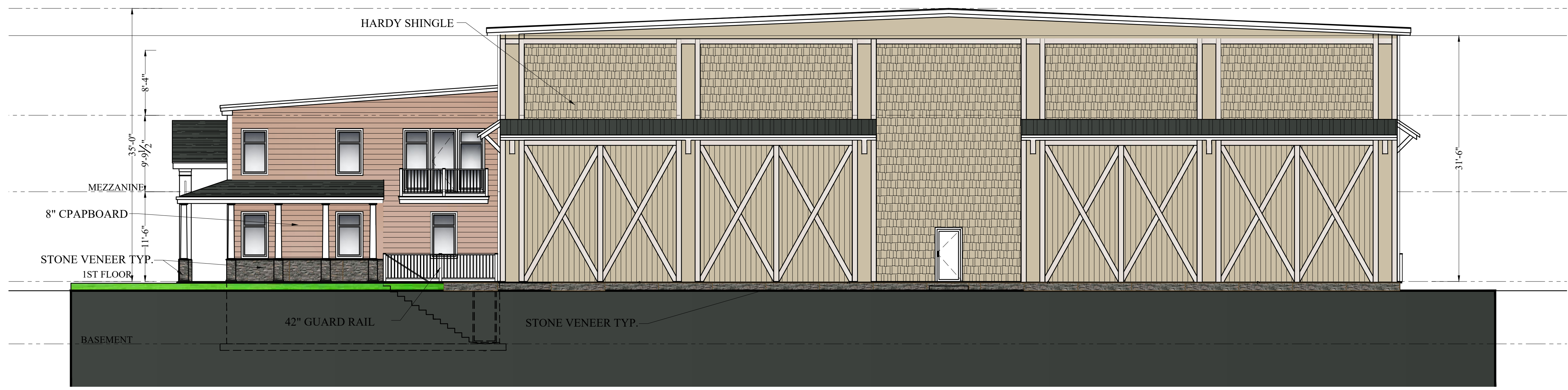
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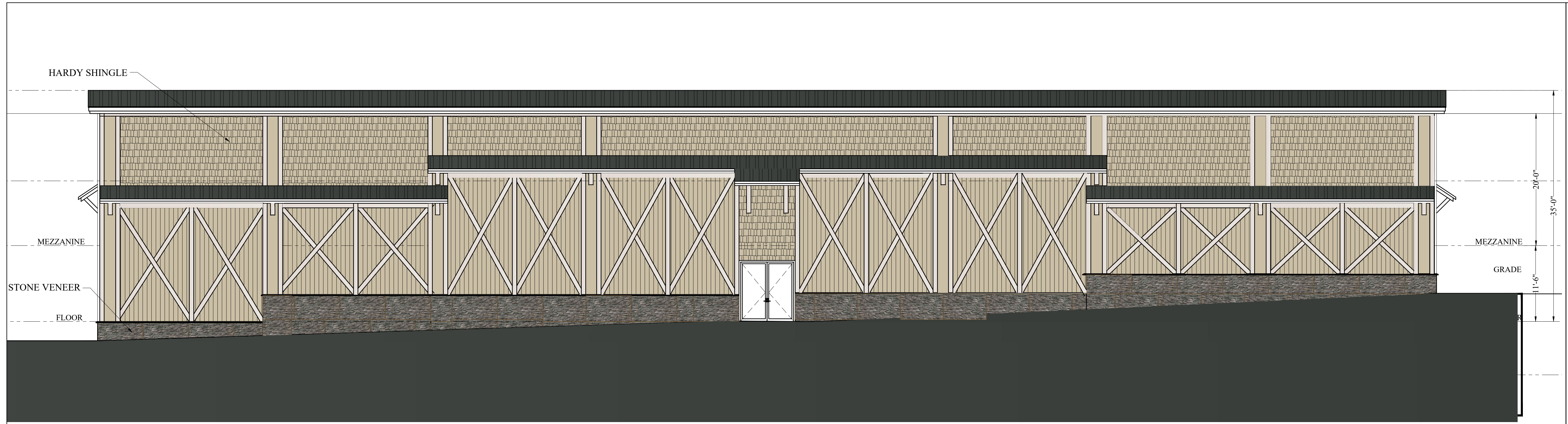
Drawing Name  
**ELEVATIONS**

Sheet No.  
**A-2.1**



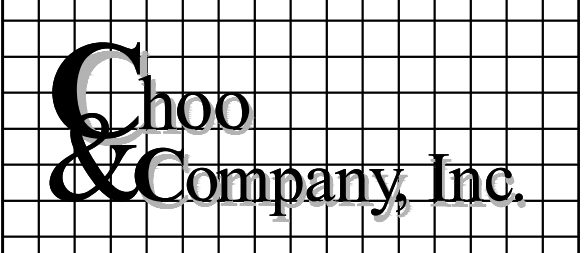
2 PROPOSED SIDE ELEVATION (RIGHT)  
1/8" = 1'-0"





1 PROPOSED REAR ELEVATION  
1/8" = 1'-0"

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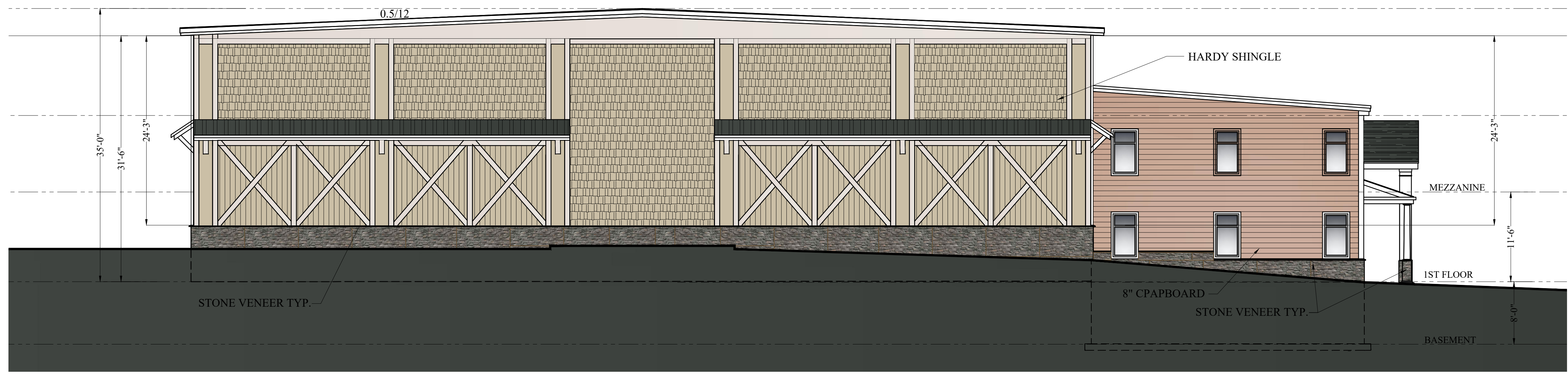
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Drawing Name  
**ELEVATIONS**

Sheet No.  
**A-2.2**



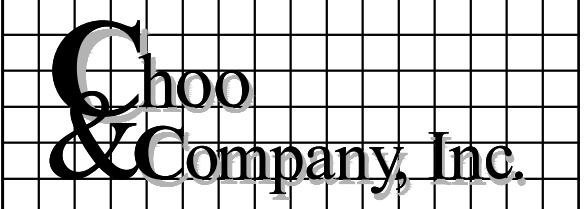
2 PROPOSED SIDE ELEVATION (LEFT)  
1/8" = 1'-0"





1 PROPOSED FRONT ELEVATION  
1/8" = 1'-0"

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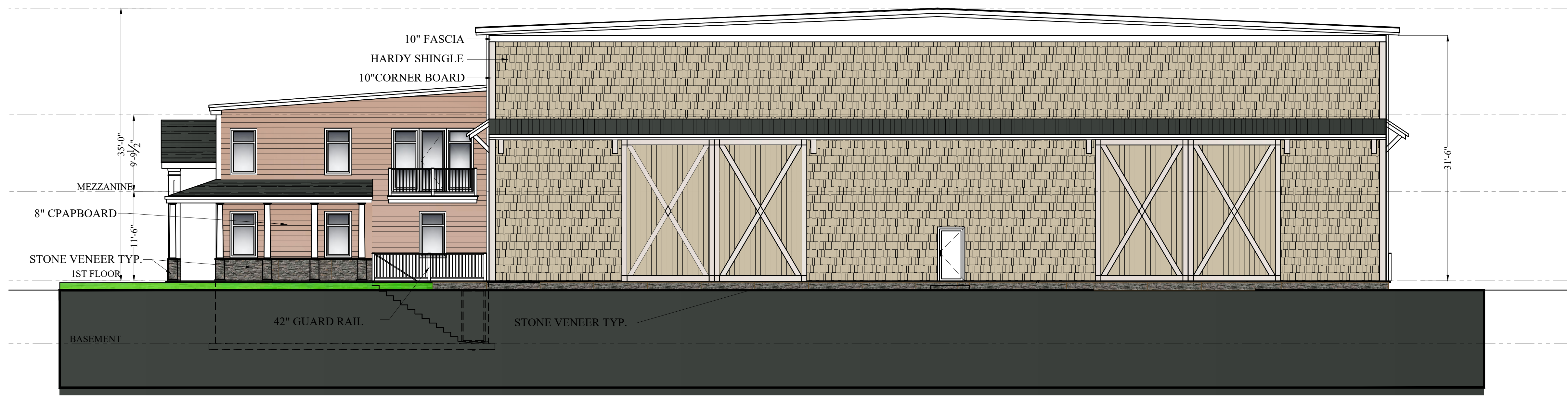
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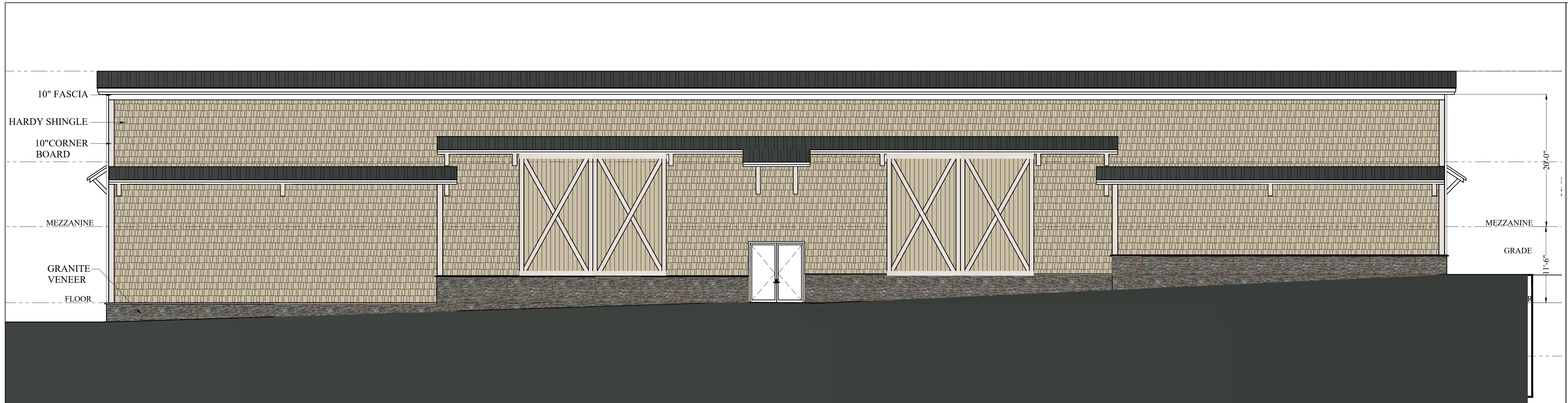
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**ELEVATIONS**

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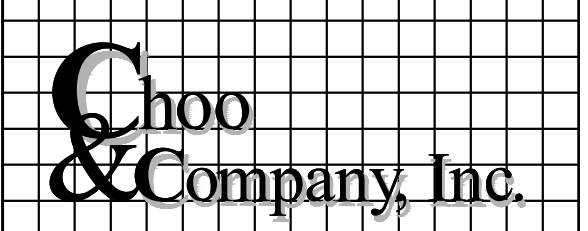
2 PROPOSED SIDE ELEVATION (RIGHT)  
1/8" = 1'-0"





1 PROPOSED REAR ELEVATION  
1/8" = 1'-0"

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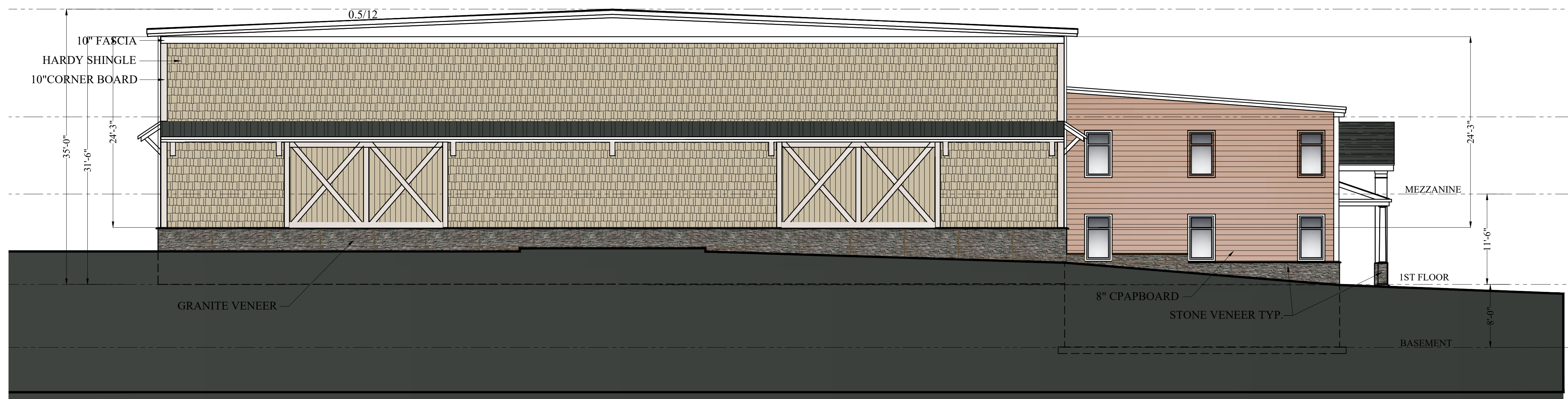
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Drawing Name  
**ELEVATIONS**

Sheet No.  
**A-2.2**



2 PROPOSED SIDE ELEVATION (LEFT)  
1/8" = 1'-0"



Letter of Transmittal



Goldsmith, Prest & Ringwall, Inc.

Civil Engineering Land Surveying Land Planning

39 Main Street, Suite 301, Ayer, MA 01432

T (978) 772-1590

F (978) 772-1591

info@gpr-inc.com

www.gpr-inc.com

To: Design Review Board  
c/o Harvard Plannign Board  
13 Ayer Road  
Harvard, MA 01451  
Attention: Liz Allard, Land use Coordinator  
Frank O'Connor

Date: November 14, 2022  
Job No: 211009  
Subject: 203 Ayer Road  
Harvard, MA

We Are Sending You:

Attached

Via

hand

FEDEX

Under separate cover

mail

AM

PM

The Following Items:

COPIES	DATE	NO.	DESCRIPTION	SCALE
7	11/11/2022		Cover Letter	
3	varies	Review Copy	203 Ayer Road Plan Set C1.1, C1.2, C3.1& L1.01	As Noted
7	varies	Review Copy	203 Ayer Road Plan Set C1.1, C1.2, C3.1& L1.01 (reduced)	As Noted
3	4/25/2022		Choos & Company set A-0, A-1.1, A-1.2, A-2.1A-2.2A-2.3	
7	4/25/2022		Choos & Company set A-0, A-1.1, A-1.2, A-2.1A-2.2A-2.3 (reduced)	
7	4/25/2022		Choos & Company set Option 2 A-2.1 & A-2.2	
7	9/22/2022		Choos & Company set Option 3 A-2.1 & A-2.2	
7	Nov. 2022		Mauger Destefano Architects - Building B & C Rendering & Elevations	

Disposition:

- For approval
- For bids due
- For your use
- Approved as noted
- For review and comment
- Returned after loan to us
- Please contact me if questions
- Returned as requested
- I will contact you
- As requested

Remarks: PDF copies of all are on a thumb drive for the Town's use

Signed:

Bruce Ringwall, Pres.

Copy To: file 211009  
Yvonne Chern  
Wheeler Realty Trust, Lou Russo





November 11, 2022

Design Review Board  
c/o Town of Harvard Planning Board  
13 Ayer Road  
Harvard, MA 01451

**Subject: Ayer Road Village Special Permit (ARV-SP),  
Mixed-use Village Development (MUVD) &  
Site Plan Review and Architectural Plans  
203 Ayer Road, Harvard, MA**

Dear Board Members:

On behalf of our clients, Yvonne Chern and Wheeler Realty Trust, Goldsmith, Prest & Ringwall, Inc. (GPR), Choo & Company Inc. Maugel DeStefano Architects and Fisher Design Group have prepared plans representing the proposed development of 203 Ayer Road. The application has been submitted and revised as an Ayer Road Village Special Permit (ARV-SP) including the Mixed-use Village Development (MUVD) (§125-52), as well as a Special Permit under §125-23B (2) Large-scale commercial uses specifically §125-14D Commercial entertainment and recreation and §125-37 Major Buildings.

The property at 203 contains 11.03± acres with approximately 904-ft of frontage on Ayer Road and Gebo Lane and designated as Parcel 8-62-002 under Commercial (C) zoning district by the Town of Harvard Assessor. Pursuant to Harvard Zoning the property could be divided into multiple lots with multiple curb cuts, separate driveways, parking areas and associated infrastructure. In 2004 the Town of Harvard added new tools to the Commercial District with the addition of the ARV-SP and MUVD. These zoning tool allow and suggest the development of multiple buildings on one site, with shared access, shared parking, pedestrian pathways, links to other properties, the sharing of infrastructure and the encouragement of building and site designs compatible with local architecture to name a few.

The applicants have met with Town Officials prior to commencing the project to confirm the proposal would be in their minds within the intent of the ARV-SP considering the required large scale necessary for one of the proposed uses, a sixteen-court badminton facility requiring a 30,000 SF building. Upon receiving a positive review, the clients and the permitting team began preparing the necessary documents. Since the initial submittal modifications have occurred to the application bringing the project to its current form.

The bulk of the development portion of the property has a general slope from the southwest to the northeast of roughly thirty feet. To provide for safe shared access, subordinate parking

**Goldsmith, Prest & Ringwall, Inc.**



and infrastructure including drainage and utilities, visibility of the different uses/structures, attempting to control and limit the massing and potential connection to the only undeveloped adjacent property the team settled on the current design. The layout allows for pedestrian linkage not only within the site, but with a connection to the abutting Harvard Green residential property, the abutting Waite Soccer fields, the McCurdy sports and trail complex, the future Harvard senior center and with the proposed Shared Use Path (SUP) along the proposed changes to Ayer Road connections to the MUVD development at 188 to 200 Ayer Rd as well as the Post Office.

During the process, the project has added several proposed apartments above the first-floor commercial uses of Building “B”. Additional subsurface soil testing has been conducted for more septic leaching area and the State has approved the septic design flows of the Badminton sports complex.

Building “A” (the proposed Badminton Facility) has undergone several different façade treatment designs. We have included three alternatives to the original submission for the Boards review and input. The following are some comments from Choo& Company regarding the structure.

Project overview of design elements complying with the town of Harvard guidelines.

#### A. Roof guidelines

The main building features a gable roof with 18” eave overhang. The front 2-story part of the building has a flat roof with build-up cornices and a gable over the front doors, highlighting the entrance to the building.

There will not be any rooftop equipment visible from ground view.

Giving the use of this building and limitation in allowed building height a steep roof pitch is not feasible. Same goes for using a variety of roof shapes as hip and shed combinations.

#### B. Façade guidelines

The front 2-story part of the building features a well-balanced façade with large windows that are configured to create a rhythm. All windows and doors have clear glass.

There is also a porch with columns to enhance the façade’s appearance and give it a New England look.

The entrance emphasizes a gable roof and pilasters, which help to easily identify the main entrance to the building.

The main building exterior contains a pattern achieved with different materials and colors, that repeats around the building exterior walls to help break up the blank walls and add visual interest.

The use of this building limits the ability of having a variation on the footprint, as there are multiple courts that are in a rectangular shape and need to align.

The courts also need to have a clear height in order to function, so having a multiple story building is not feasible.

Adding windows around the building will create glare inside the courts.

#### C. Building Composition

Building is partially 2-story.

The front part of the building has a 2<sup>nd</sup> floor, but the main building is single story, to accommodate the use of this building and the zoning required height.



This building mass is dictated from the intended use of the building, which does not allow for much sub-masses. However, the front part of the building (administrative section) does create some variation in the building volume and the one-story porch creates a height variation on the façade wall and adds a welcoming effect. The building footprint variation is limited due to the use of this building, as highlighted above.

The main architectural treatment and materials of the front façade continue on all sides of the building.

E. Building Materials

Building materials consists of stone veneer, clapboard, and Eifs. The colors used on the exterior are neutral colors and earth tone.

Mixing of materials is consistent around the building.

No reflective materials are being used anywhere.

F. Energy guidelines

The building will have energy efficient windows, double glass with low E and occupancy sensors. Building will have LED lights throughout and the exterior lighting will also be LED lights.

There will be electric charging stations in the parking lot to promote the use of electric vehicles.

All mechanical equipment and systems will be energy efficient.

On behalf of the applicants and the design team, GPR looks forward to reviewing the revised submission and façade alternatives with the Design Review Board.

Sincerely,

Goldsmith, Prest & Ringwall, Inc.



Bruce Ringwall, Pres.

Copy to: 211009  
Wheeler Realty Trust  
Yvonne Chern  
Harvard Planning Board