

ROOF REPLACEMENT AND ASSOCIATED WORK AT  
THE OLD LIBRARY

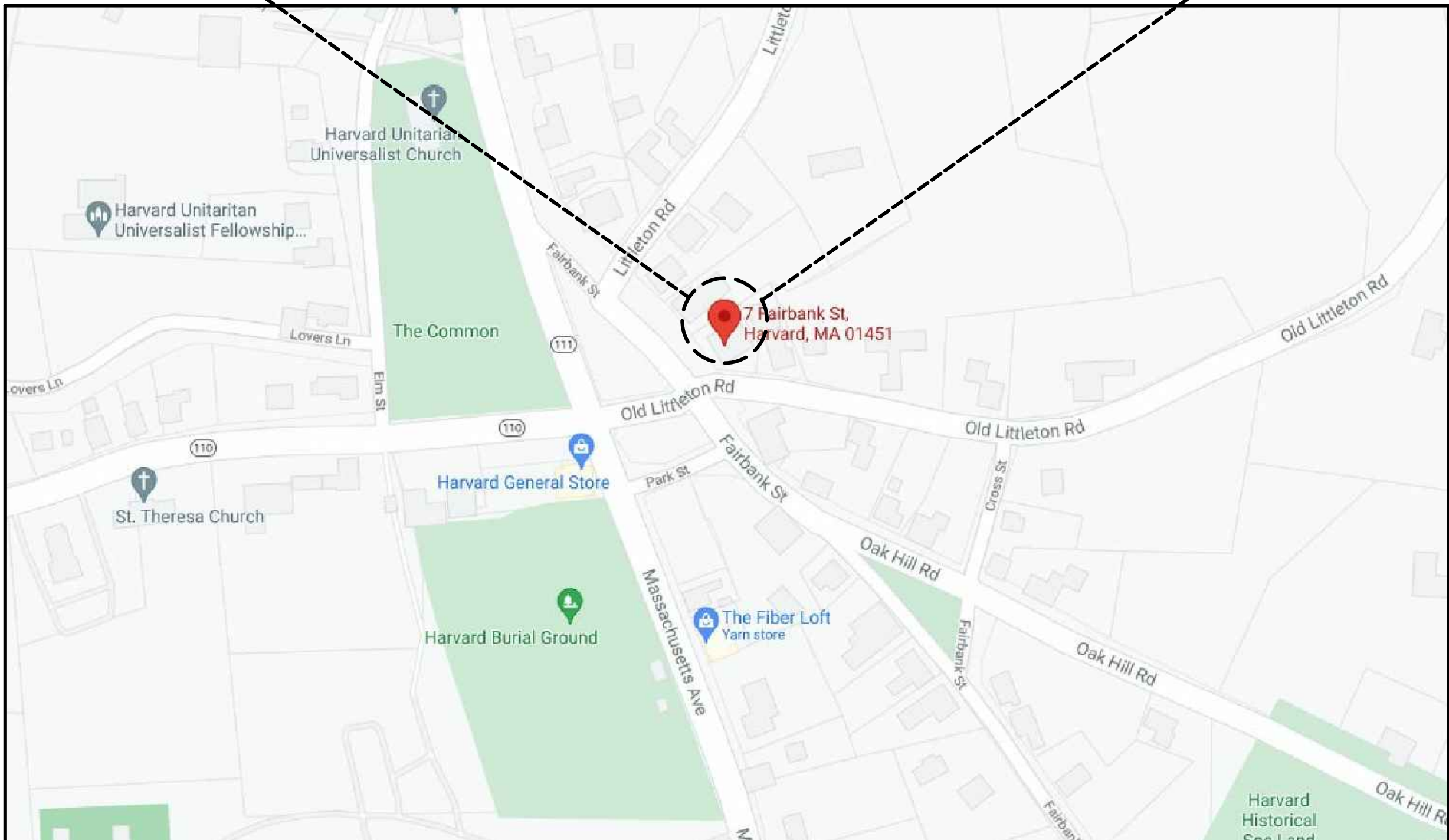
7 FAIRBANK STREET  
HARVARD, MASSACHUSETTS 01451

PREPARED FOR  
TOWN OF HARVARD  
TOWN HALL, 13 AYER ROAD  
HARVARD, MASSACHUSETTS 01451

DRAWING NO	TITLE
G100	COVER SHEET
G101	GENERAL NOTES, SITE PLAN, AND ROOF CROSS SECTIONS
G102	PHOTOGRAPHIC DOCUMENTATION
A101	ROOF AREA PLAN
A201	ELEVATIONS
A202	ELEVATIONS
A203	ELEVATIONS
A204	ELEVATIONS
A501	DETAILS
A502	DETAILS
A503	DETAILS
A504	DETAILS
A505	DETAILS
A506	DETAILS
A507	DETAILS



SITE MAP  
NOT TO SCALE



LOCATION MAP  
NOT TO SCALE



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Manchester

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PROJECT  
ROOF REPLACEMENT AND ASSOCIATED WORK  
AT THE OLD LIBRARY  
7 FAIRBANK STREET  
HARVARD, MASSACHUSETTS 01451  
OWNER  
TOWN OF HARVARD  
TOWN HALL, 13 AYER ROAD  
HARVARD, MASSACHUSETTS 01451

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	835760		
CADD FILE	835760 G100		
DESIGNED BY	CGK		
DRAWN BY	BLM		
CHECKED BY	CM		
DATE	7/21/2021		
DRAWING SCALE	NOT TO SCALE		

GRAPHIC SCALE

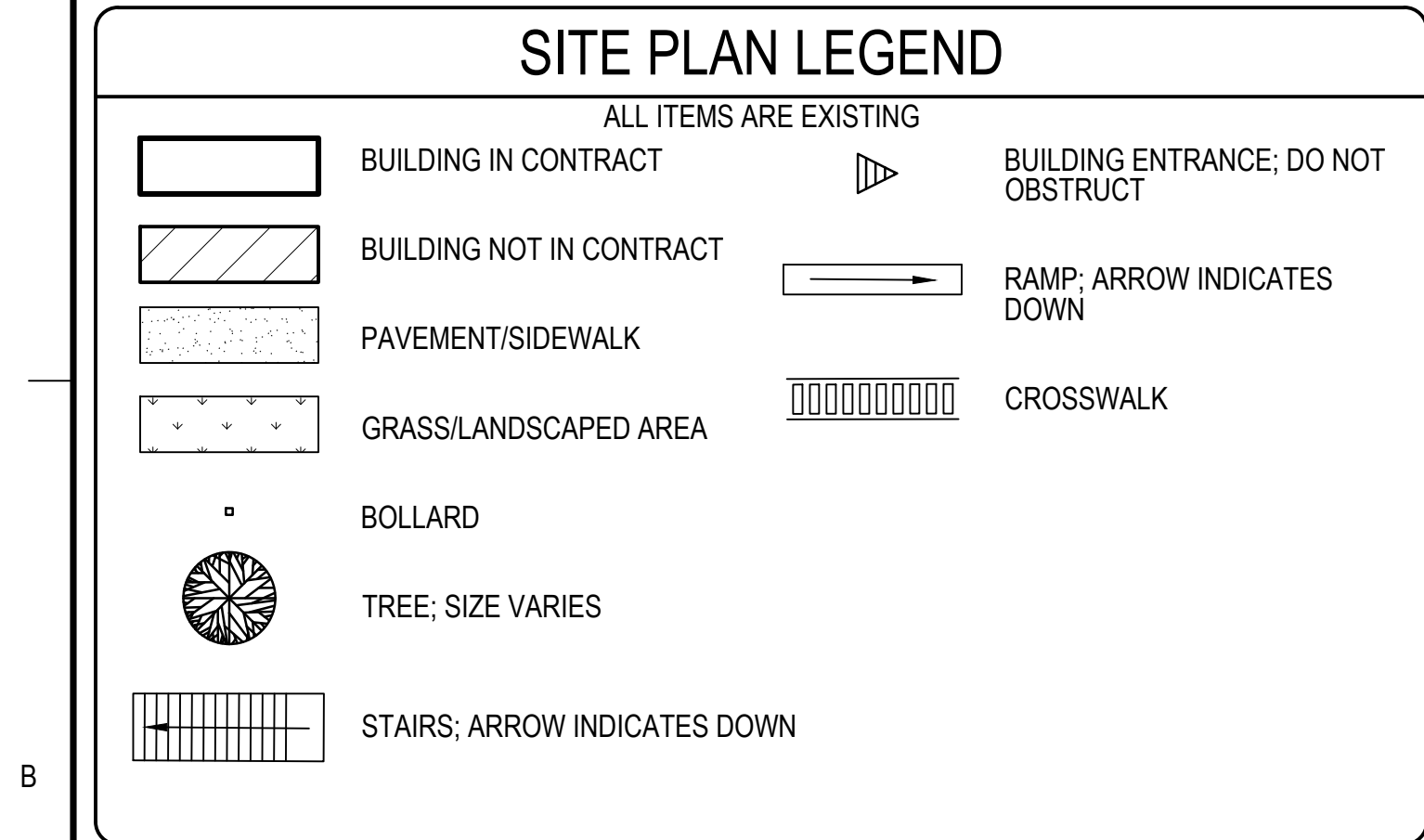
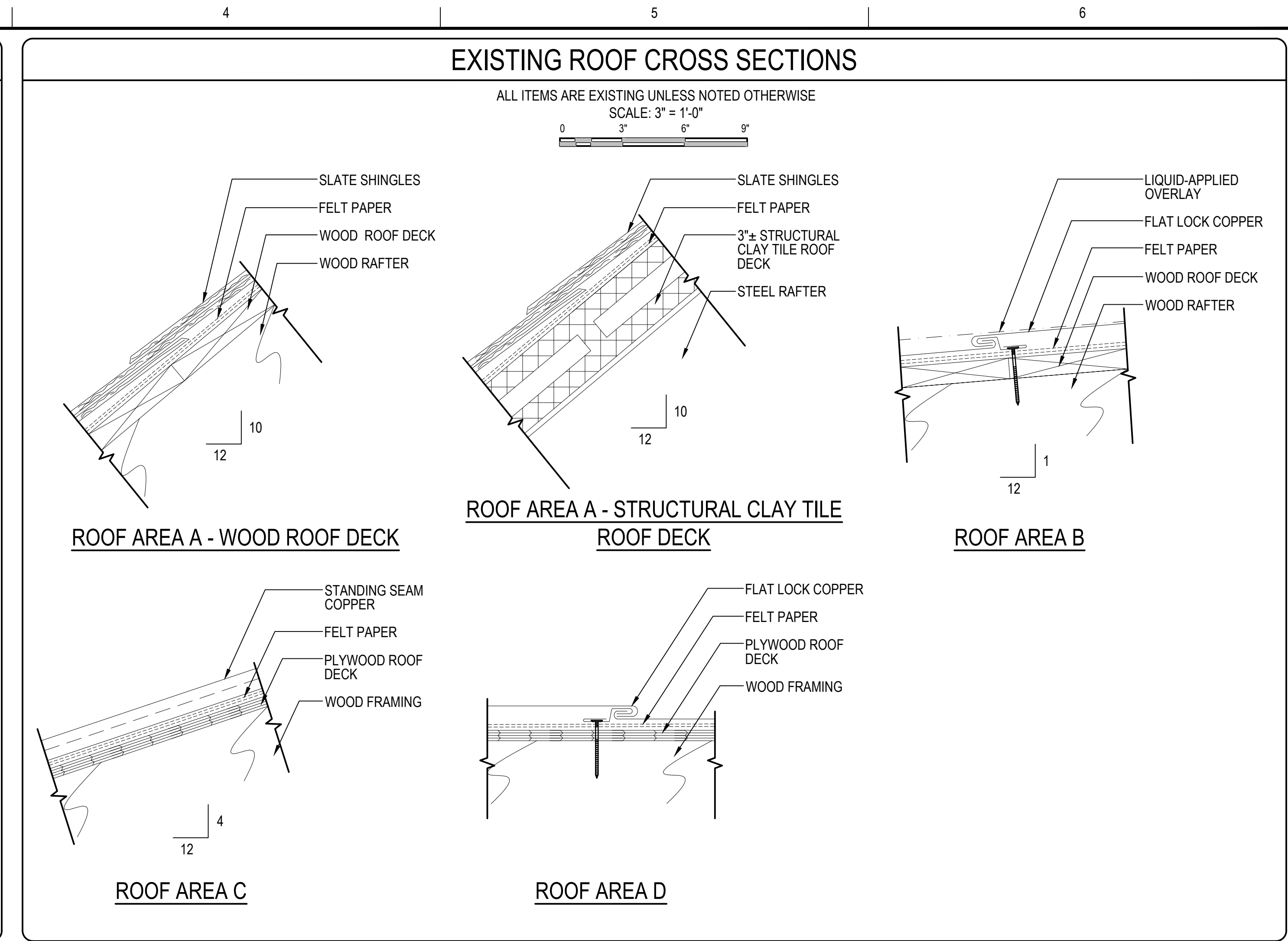
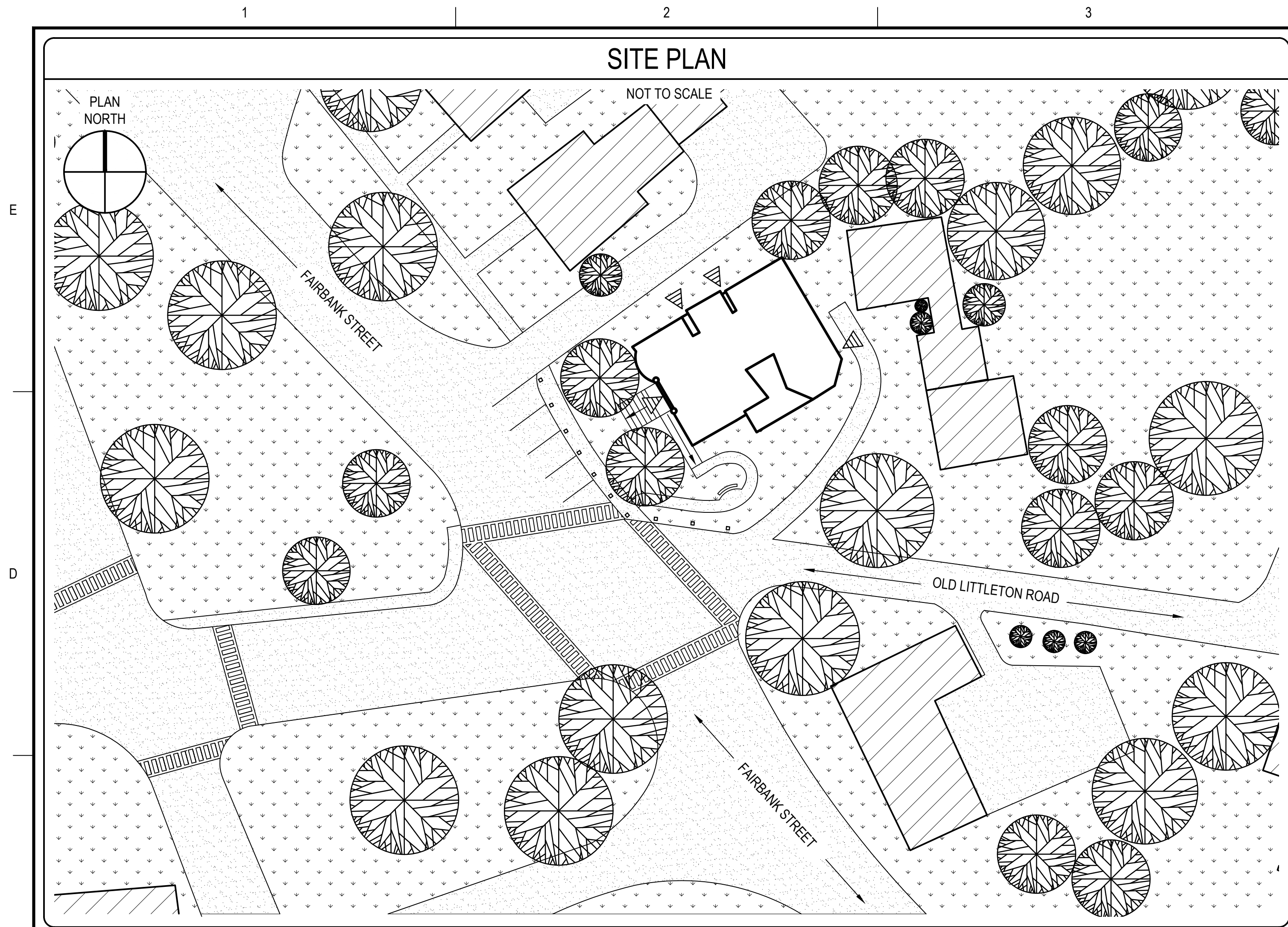
SHEET TITLE

COVER SHEET

DRAWING NO.

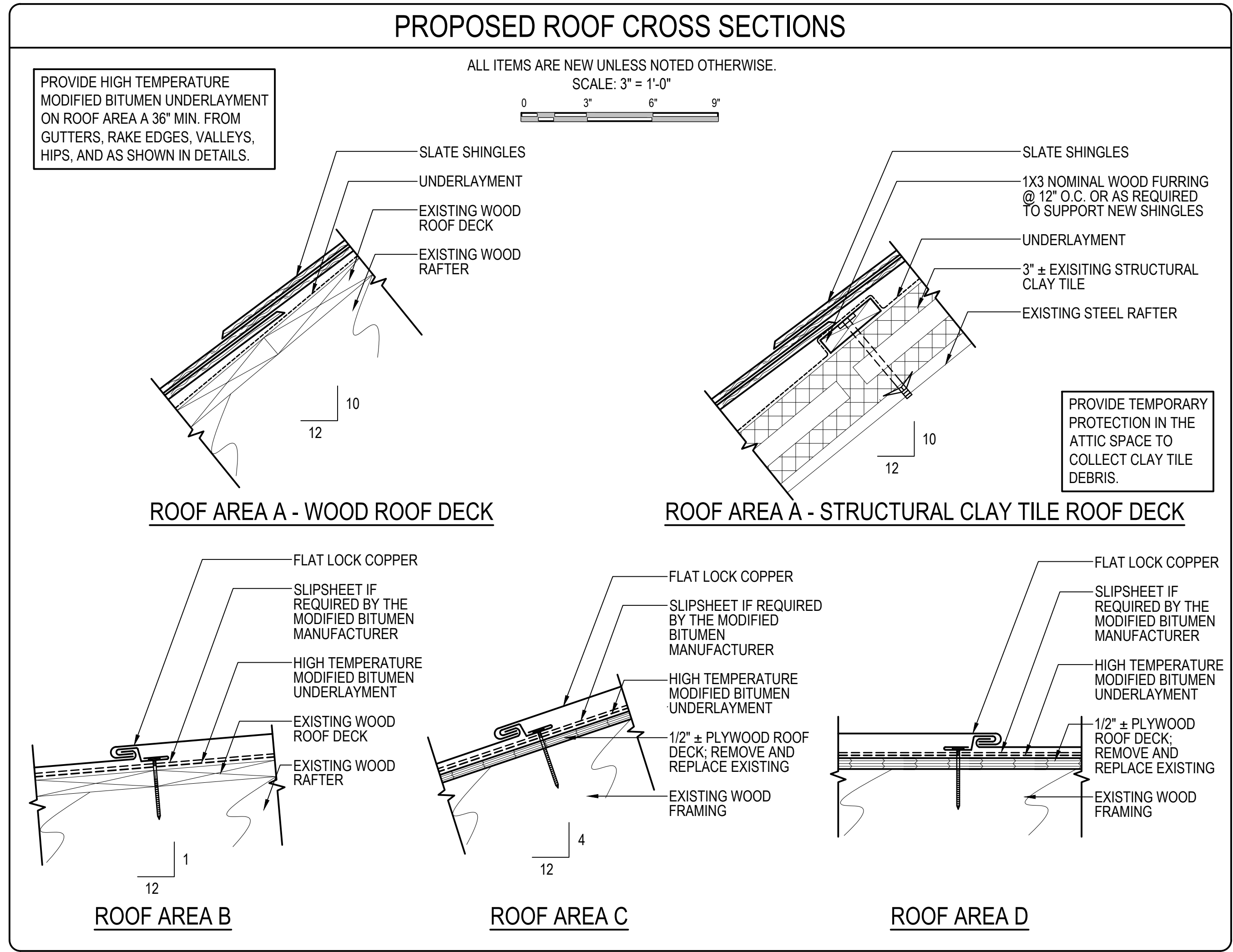
G100





- SITE PLAN NOTES
1. THE CONTRACTOR SHALL BASE STAGING REQUIREMENTS ON THE INFORMATION SHOWN. THE LOCATIONS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE.
  2. CONTRACTOR SHALL PROVIDE ALL OVERHEAD PROTECTION AT BUILDING ENTRANCE WAYS IN ACCORDANCE WITH OSHA, LOCAL, STATE AND FEDERAL GUIDELINES.
  3. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRICADES TO PREVENT PEDESTRIANS FROM ACCESSING THE WORK AREA OR FROM WALKING UNDER WORK LOCATIONS.
  4. ALL OVERHEAD PROTECTION SHALL EXTEND A MINIMUM OF 8'-0" BEYOND THE ADJACENT BUILDINGS.
  5. CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AT PEDESTRIAN WALKWAYS SHOULD THE ROOF AREAS ABOVE SAID WALKWAYS BE REMOVED AND REPLACED IN THE SAME DAY. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MONITOR AT GROUND LEVEL TO WARN PEDESTRIAN TRAFFIC OF ABOVE ROOF LINE WORK.
  6. THE CONTRACTOR IS CAUTIONED THAT FAIRBANK STREET IS A ONE WAY LANE FROM THE INTERSECTION OF OLD LITTLETON ROAD TOWARD MASSACHUSETTS AVE. SIDE STORAGE/STAGING AREA MUST NOT IMPEDE VEHICLE TRAFFIC. DO NOT BLOCK PEDESTRIAN CROSSWALK. CONTRACTOR WILL BE RESPONSIBLE FOR ALL STREET/SIDEWALK PERMITS AND POLICE DETAILS.
  7. THE PAVED SURFACE TO THE NORTH OF THE BUILDING IS A PRIVATE RESIDENCE DRIVEWAY. DO NOT OBSTRUCT.

- GENERAL NOTES
1. THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
  2. FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL ON THE ROOF PLAN HAS NOT BEEN INDICATED. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
  3. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.
  4. JOB SITE SAFETY IS THE CONTRACTOR'S RESPONSIBILITY. GALE REPRESENTATIVES, INCLUDING SUBCONSULTANTS RETAINED BY GALE, MAY VISIT THE JOB SITE FROM TIME TO TIME. THESE VISITS ARE FOR CLARIFICATIONS OF SPECIFIC DESIGN RELATED ISSUES ONLY AND ARE NOT FOR THE PURPOSES OF JOB SITE SAFETY. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLY WITH ALL SITE SAFETY APPLICABLE REQUIREMENTS.
  5. ALL ITEMS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS APPLICABLE TO THE PROJECT.
  6. THE CONTRACTOR SHALL REPORT DETERIORATED OR UNSUITABLE STRUCTURAL DECK OR SUBSTRATES TO THE OWNER PRIOR TO PERFORMING ROOFING INSTALLATION WORK.
  7. THE CONTRACTOR IS CAUTIONED THAT DUE TO BUILDING OCCUPANCY, THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET-UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO SPECIFICATIONS FOR OWNER REQUIREMENTS.
  8. NOTIFY THE OWNER OF WORK LOCATIONS A MINIMUM OF 72 HOURS IN ADVANCE IN ORDER THAT OCCUPANCY BELOW THE WORK AREAS MAY BE CONTROLLED.
  9. ROOFING AND FLASHING SHALL BE 100% WEATHER TIGHT ON A DAILY BASIS. REMOVE ONLY AS MUCH EXISTING MATERIAL AS CAN BE REPLACED ON THE SAME DAY. PHASED CONSTRUCTION IS NOT PERMITTED.
  10. DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH THE DETAIL DRAWINGS.
  11. REFER TO CONTRACT DOCUMENTS FOR SCHEDULE LIMITATIONS OF EXTERIOR WORK.
  12. REFER TO SPECIFICATION FOR HAZARDOUS MATERIAL DEMOLITION AND HANDLING.
  13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS LISTED AND/OR INDICATED ON THE DRAWINGS OR NOTED IN THE WRITTEN SPECIFICATIONS - TYPICAL.
  14. THE BUILDING SHALL BE MAINTAINED IN A DUST FREE CONDITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE INTERIOR OF THE BUILDING REMAINS DUST FREE. NO DEMOLITION CAN PROCEED UNTIL AN APPROVED TEMPORARY PROTECTION SYSTEM IS IN PLACE.
  15. DUE TO THE CONGESTION AROUND THE PROJECT SITE THE CONTRACTOR MUST PROVIDE DETAILED TRAFFIC AND SCAFFOLDING PLANS TO THE OWNER FOR REVIEW. THE CONTRACTOR WILL ONLY BE ALLOWED THE AREAS SHOWN FOR SETUP AND STORAGE OF MATERIALS.



**GALE**

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PROJECT  
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OWNER  
TOWN OF HARVARD  
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DRAWN BY	BLM		
CHECKED BY	CM		
DATE	7/21/2021		
DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

SHEET TITLE  
GENERAL NOTES, SITE PLAN, AND ROOF CROSS SECTIONS

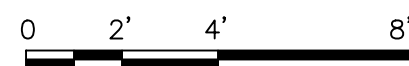
DRAWING NO.  
G101







TOWN OF HARVARD  
TOWN HALL, 13 AYER ROAD  
HARVARD, MASSACHUSETTS 01451

A101



1

2

3

4

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6

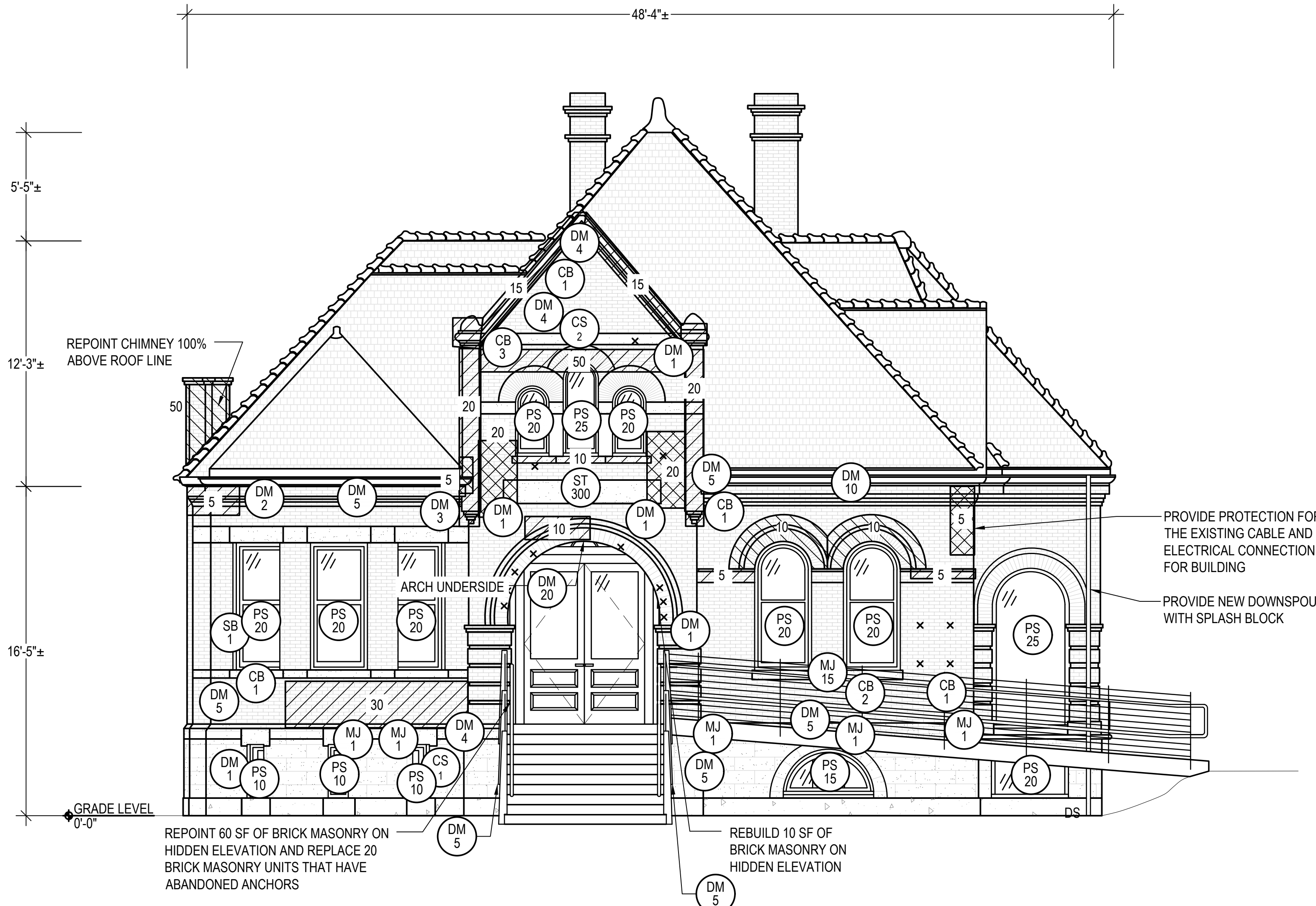
E

D

C

B

A



**1 WEST ELEVATION**  
SCALE: 1/4"=1'-0"

REFER TO G101 FOR ADDITIONAL GENERAL NOTES

LEGEND

ALL ITEMS ARE EXISTING UNLESS NOTED OTHERWISE

BRICK

SLATE

STONE

DECORATIVE COPPER ELEMENT

WINDOW;  
SIZE AND SHAPE VARY

DOOR;  
SIZE AND SHAPE MAY VARY

DOWNSPOUT

GENERAL NOTES

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3. THE DEFECTS INDICATE APPROXIMATE LOCATIONS. THEY ARE NOT INTENDED TO DEFINE LIMITS OF WORK.

DEFECT LEGEND

MASONRY	STONE
<div>CB #</div> <div>CRACKED BRICK TO BE REPLACED; # INDICATES UNITS</div>	<div>CS #</div> <div>CRACKED STONE TO BE REPAIRED; REFER TO DETAIL 39/A507 # INDICATES LINEAR FEET</div>
<div>SB #</div> <div>SPALLED BRICK TO BE REPLACED; # INDICATES UNITS</div>	<div>SEALANTS</div>
<div>DM #</div> <div>DETERIORATED MORTAR TO BE REPOINTED; REFER TO DETAIL 35/A507 # INDICATES SQUARE FEET</div>	<div>PS #</div> <div>FAILED PERIMETER SEALANT TO BE REPLACED; REFER TO DETAIL 38/A507 # INDICATES LINEAR FEET</div>
<div>MJ #</div> <div>DETERIORATED MORTAR JOINT TO BE REPOINTED; REFER TO DETAIL 35/A507 # INDICATES LINEAR FEET</div>	
<div>x</div> <div>EXISTING ANCHOR/METAL STUB; REMOVE ANCHOR/METAL STUB AND REPLACE BRICK</div>	
<div>EF #</div> <div>EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET</div>	
<div>RS #</div> <div>RUST STAINING T BE CLEANED; # INDICATES SQUARE FEET</div>	
<div>[Hatch]</div> <div>DETERIORATED MORTAR TO BE REPOINTED; REFER TO DETAIL 35/A507 AND 36/A507 # INDICATES SQUARE FEET</div>	
<div>[Hatch]</div> <div>BRICK MASONRY TO BE REBUILT; REFER TO DETAIL 37/A507 # INDICATES SQUARE FEET</div>	
<div>ST #</div> <div>STAINING TO BE CLEANED; # INDICATES SQUARE FEET</div>	

KEY PLAN

PLAN NORTH

NOT TO SCALE

LEGEND:

ELEVATION SHOWN ON  
THIS PLAN

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PROJECT

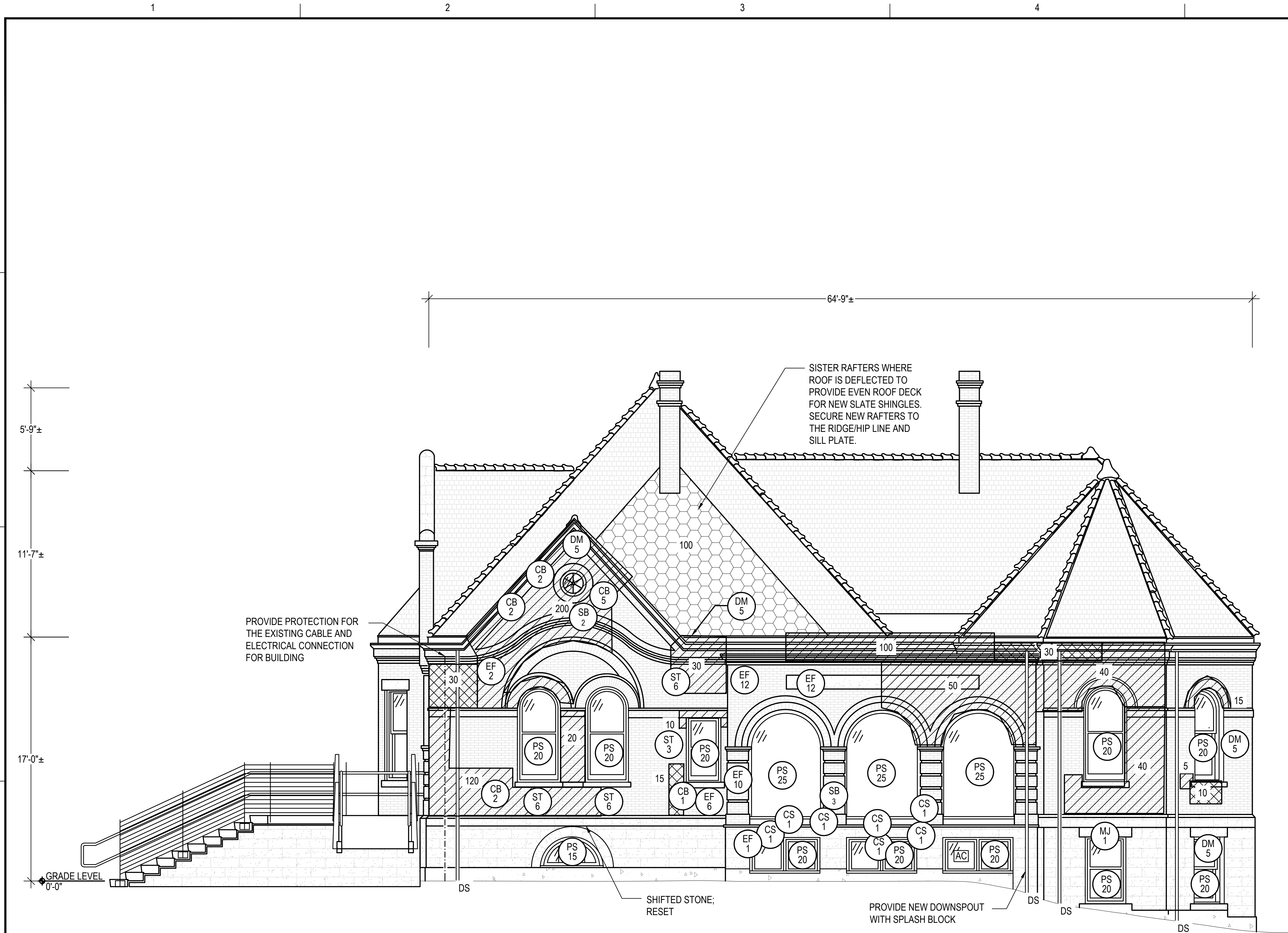
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PROJECT NO.	835760		
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DESIGNED BY	CGK		
DRAWN BY	BLM		
CHECKED BY	CM		
DATE	7/21/2021		
DRAWING SCALE	1/4"=1'-0"		
GRAPHIC SCALE			
0 2' 4' 8'			
SHEET TITLE			
ELEVATIONS			
DRAWING NO.			A201





2 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

REFER TO G101 FOR ADDITIONAL GENERAL NOTES

LEGEND

ALL ITEMS ARE EXISTING UNLESS NOTED OTHERWISE

BRICK

SLATE

STONE

DECORATIVE COPPER ELEMENT

WINDOW:  
SIZE AND SHAPE VARY

DOWNSPOUT

AIR CONDITIONING UNIT

GENERAL NOTES

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DEFECT LEGEND

MASONRY

CRACKED BRICK TO BE REPLACED;  
# INDICATES UNITS

SPALLED BRICK TO BE REPLACED;  
# INDICATES UNITS

DETERIORATED MORTAR TO BE  
REPOINTED; REFER TO DETAIL 35/A507  
# INDICATES SQUARE FEET

DETERIORATED MORTAR JOINT TO BE  
REPOINTED; REFER TO DETAIL 35/A507  
# INDICATES LINEAR FEET

EXISTING ANCHOR/METAL STUB;  
REMOVE ANCHOR/METAL STUB AND  
REPLACE BRICK

EFFLORESCENCE TO BE CLEANED;  
# INDICATES SQUARE FEET

RUST STAINING T BE CLEANED;  
# INDICATES SQUARE FEET

DETERIORATED MORTAR TO BE  
REPOINTED; REFER TO DETAIL 35/A507  
AND 36/A507  
# INDICATES SQUARE FEET

BRICK MASONRY TO BE REBUILT;  
REFER TO DETAIL 37/A507  
# INDICATES SQUARE FEET

STAINING TO BE CLEANED;  
# INDICATES SQUARE FEET

STONE

CRACKED STONE TO BE REPAIRED;  
REFER TO DETAIL 39/A507  
# INDICATES LINEAR FEET

SEALANTS

FAILED PERIMETER SEALANT TO BE  
REPLACED; REFER TO DETAIL 38/A507  
# INDICATES LINEAR FEET

ROOF

DEFLECTED ROOF AREA;  
# INDICATES SQUARE FEET

KEY PLAN

NOT TO SCALE

PLAN  
NORTH

LEGEND:

ELEVATION SHOWN ON  
THIS PLAN



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DATE	7/21/2021		
DRAWING SCALE	1/4"=1'-0"		
GRAPHIC SCALE			

SHEET TITLE

ELEVATIONS

DRAWING NO.

A202



E  
D  
C  
B  
A

1

2

3

4

5

6



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GRAPHIC SCALE



SHEET TITLE

ELEVATIONS

DRAWING NO.

A203

REFER TO G101 FOR ADDITIONAL GENERAL NOTES

### LEGEND

ALL ITEMS ARE EXISTING UNLESS NOTED OTHERWISE

	CONCRETE		DOOR; SIZE AND SHAPE MAY VARY
	BRICK		SKYLIGHT
	SLATE		CONDUIT
	STONE		DS DOWNSPOUT
	DECORATIVE COPPER ELEMENT		E ELECTRICAL PENETRATION
	WINDOW; SIZE AND SHAPE VARY		V VENT
	AIR CONDITIONING		

### GENERAL NOTES

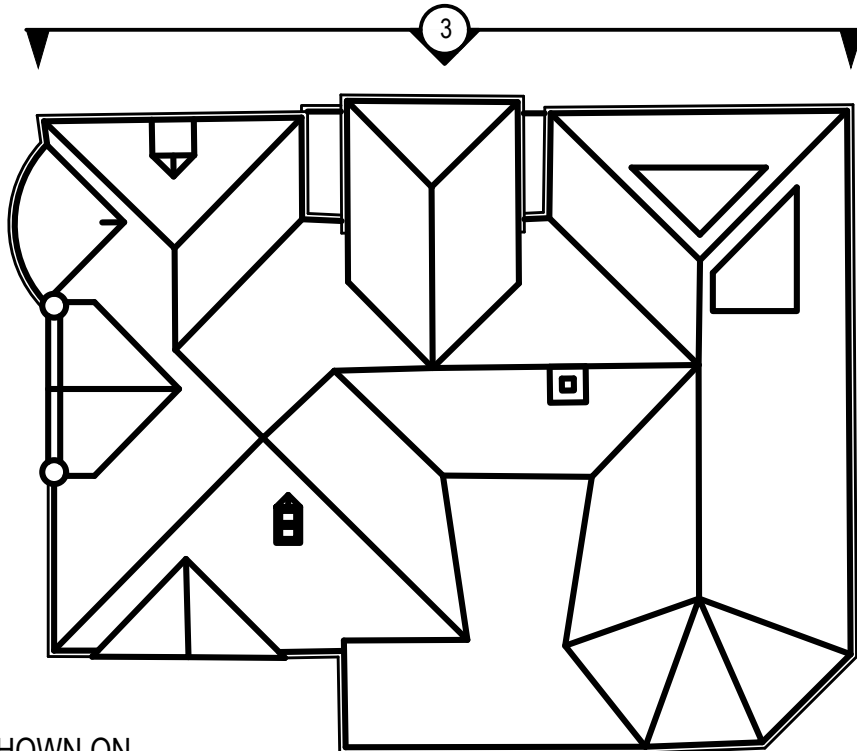
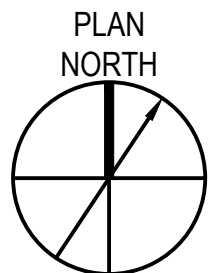
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### DEFECT LEGEND

MASONRY	MASONRY	
CB # CRACKED BRICK TO BE REPLACED; # INDICATES UNITS	# BRICK MASONRY TO BE REBUILT; REFER TO DETAIL 37/A507 # INDICATES SQUARE FEET	
SB # SPALLED BRICK TO BE REPLACED; # INDICATES UNITS	ST # STAINING TO BE CLEANED; # INDICATES SQUARE FEET	
DM # DETERIORATED MORTAR TO BE REPOINTED; REFER TO DETAIL 35/A507 # INDICATES SQUARE FEET	<th>STONE</th>	STONE
MJ # DETERIORATED MORTAR JOINT TO BE REPOINTED; REFER TO DETAIL 35/A507 # INDICATES LINEAR FEET	CS # CRACKED STONE TO BE REPAIRED; REFER TO DETAIL 39/A507 # INDICATES LINEAR FEET	
X EXISTING ANCHOR/METAL STUB; REMOVE ANCHOR/METAL STUB AND REPLACE BRICK	<th>SEALANTS</th>	SEALANTS
EF # EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET	PS # FAILED PERIMETER SEALANT TO BE REPLACED; REFER TO DETAIL 38/A507 # INDICATES LINEAR FEET	
RS # RUST STAINING T BE CLEANED; # INDICATES SQUARE FEET		
# DETERIORATED MORTAR TO BE REPOINTED; REFER TO DETAIL 35/A507 AND 36/A507 # INDICATES SQUARE FEET		

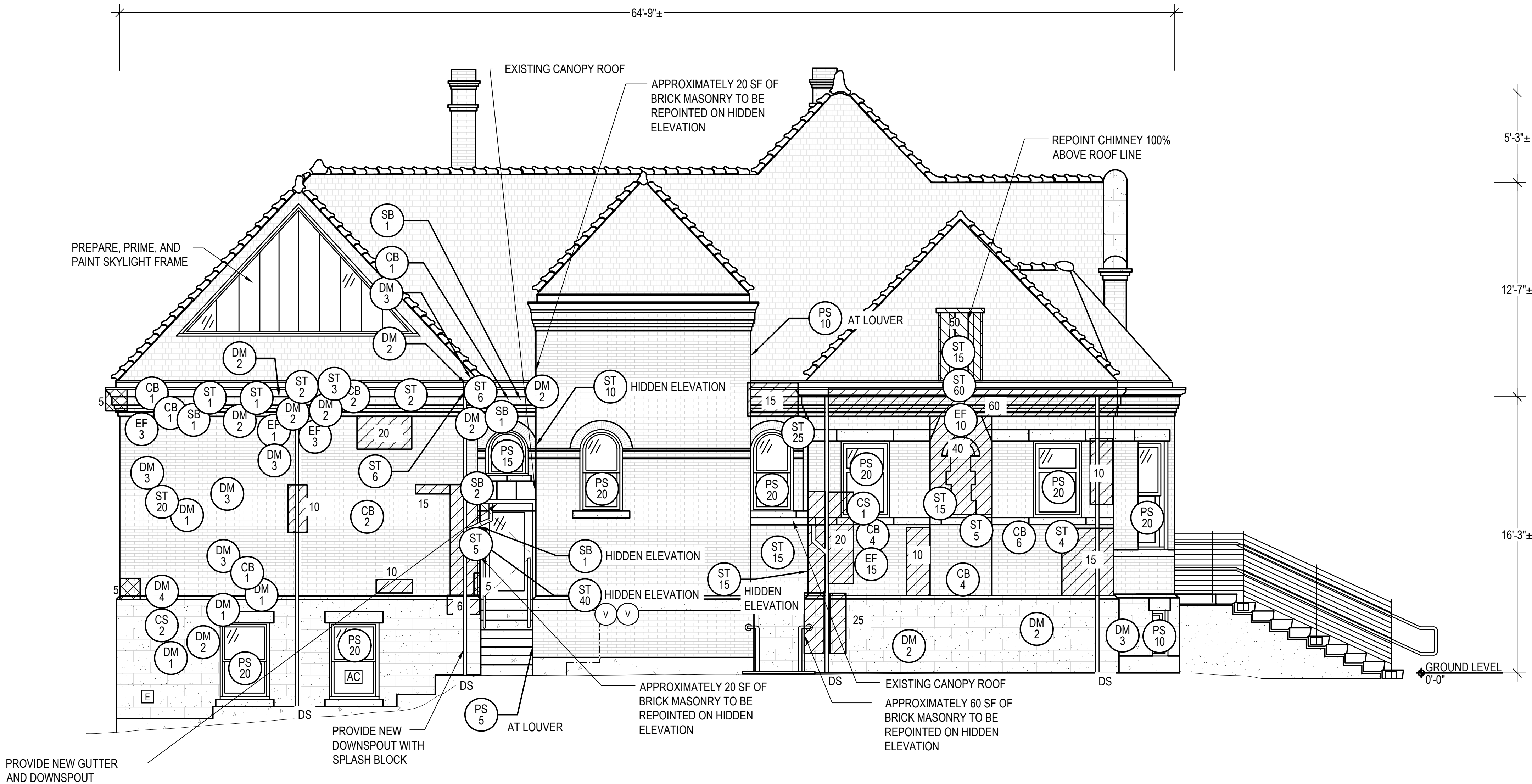
### KEY PLAN

NOT TO SCALE



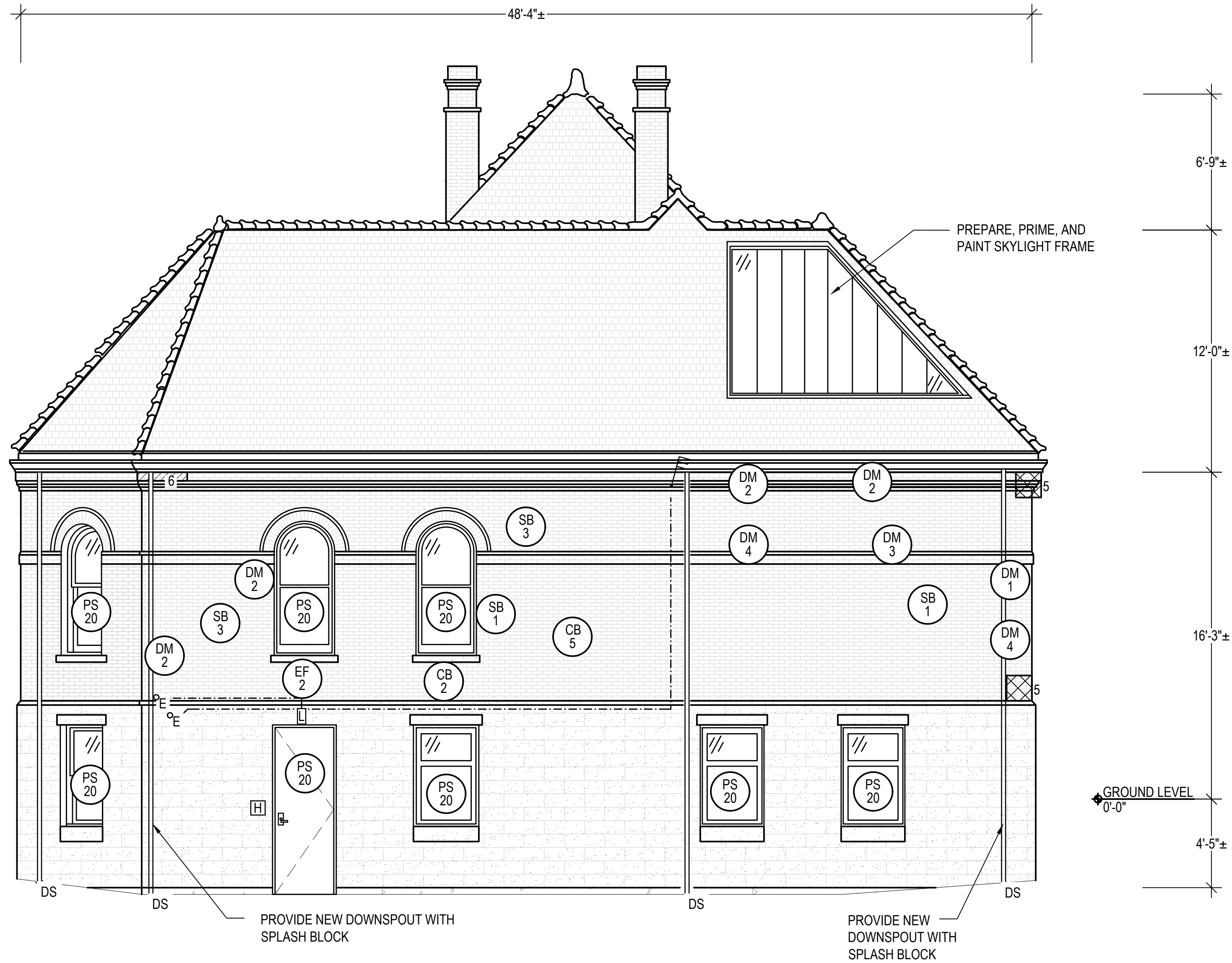
LEGEND:

ELEVATION SHOWN ON  
THIS PLAN



3 NORTH ELEVATION  
SCALE: 1/4"=1'-0"





4 EAST ELEVATION  
SCALE: 1/4"=1'-0"

REFER TO G101 FOR ADDITIONAL GENERAL NOTES

**LEGEND**

ALL ITEMS ARE EXISTING UNLESS NOTED OTHERWISE

BRICK	DOOR; SIZE AND SHAPE MAY VARY
SLATE	SKYLIGHT
STONE	CONDUIT
DECORATIVE COPPER ELEMENT	DOWNSPOUT
WINDOW; SIZE AND SHAPE VARY	ELECTRICAL PENETRATION
ANTENNA	LIGHT
HANDICAP ACCESS BUTTON	

**GENERAL NOTES**

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**DEFECT LEGEND**

MASONRY	MASONRY
CRACKED BRICK TO BE REPLACED; # INDICATES UNITS	DETERIORATED MORTAR TO BE REPOINTED; REFER TO DETAIL 35/A507 AND 36/A507 # INDICATES SQUARE FEET
SPALLED BRICK TO BE REPLACED; # INDICATES UNITS	BRICK MASONRY TO BE REBUILT; REFER TO DETAIL 37/A507 # INDICATES SQUARE FEET
DETERIORATED MORTAR TO BE REPOINTED; REFER TO DETAIL 35/A507 # INDICATES SQUARE FEET	STAINING TO BE CLEANED; # INDICATES SQUARE FEET
DETERIORATED MORTAR JOINT TO BE REPOINTED; REFER TO DETAIL 35/A507 # INDICATES LINEAR FEET	
EXISTING ANCHOR/METAL STUB; REMOVE ANCHOR/METAL STUB AND REPLACE BRICK	CRACKED STONE TO BE REPAIRED; REFER TO DETAIL 39/A507 # INDICATES LINEAR FEET
EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET	
RUST STAINING T BE CLEANED; # INDICATES SQUARE FEET	FAILED PERIMETER SEALANT TO BE REPLACED; REFER TO DETAIL 38/A507 # INDICATES LINEAR FEET

**KEY PLAN**

NOT TO SCALE

PLAN NORTH

**LEGEND:**

- ELEVATION SHOWN ON THIS PLAN



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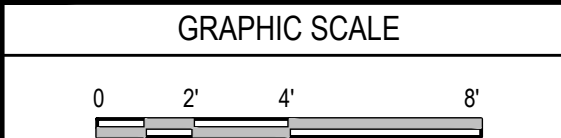
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SHEET TITLE

ELEVATIONS

DRAWING NO.

A204







ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.

EXISTING BRICK MASONRY WALL  
DOWNSPOUT; PROVIDE STRAPS AT 5'-0" ON CENTER TO GRADE; MATCH EXISTING  
SHEET METAL COLLAR; COVER TRANSITION FROM DOWNSPOUT TO PVC CLEANOUT  
PVC CLEANOUT TEE WITH PLUG

GRADE  
1 1/2" MAX.  
EXISTING PVC DRAINAGE LINE; CUT IN PLACE TO INSTALL NEW CLEANOUT TEE

### 7 DOWNSPOUT CLEANOUT

SCALE: NOT TO SCALE  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

CLEAN EXISTING DRAINAGE LINE TO ADJACENT CATCH BASIN UPON COMPLETION OF WORK

EXTEND HIGH TEMPERATURE MODIFIED BITUMEN UNDERLAYMENT 72" MIN. FROM RAKE EDGE.

NOTE: APPLY BEAD OF ROOF CEMENT UNDER SLATE SHINGLES AT RAKE EDGES TO PREVENT PEST INFILTRATION.

ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.

SLATE SHINGLES  
EXISTING WOOD ROOF DECK  
UNDERLAYMENT  
HIGH TEMPERATURE MODIFIED BITUMEN UNDERLAYMENT TO STRIP IN FLASHING  
HIGH TEMPERATURE MODIFIED BITUMEN UNDERLAYMENT ADHERED TO DECKING  
EXISTING WOOD BLOCKING  
REMOVE EXISTING SHEET METAL TO INSTALL NEW SHEET METAL RAKE TRIM; MATCH EXISTING PROFILE  
EXISTING BRICK MASONRY WALL

### 10 RAKE EDGE

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

LEAD TEE ON SKY-FACING AND ROOF-FACING SIDES OF COPING STONE MORTAR JOINT; REFER TO DETAIL 9/A502  
EXISTING COPING STONE  
NEW OR EXISTING REGLET JOINT; CLEAN ALL DEBRIS  
BACKER ROD AND SEALANT  
REMOVE EXISTING SHEET METAL TO INSTALL NEW SHEET METAL REGLET FLASHING  
SLATE SHINGLES  
UNDERLAYMENT  
HIGH TEMPERATURE MODIFIED BITUMEN UNDERLAYMENT  
EXISTING WOOD ROOF DECK

EXISTING WOOD RAFTER  
EXISTING BRICK MASONRY WALL

### 8 ROOF TO WALL AT BROWNSTONES

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.

WORK DESIGNATION SYMBOLS

MASONRY SUBCONTRACTOR

UNDERLAYMENT  
SLATE SHINGLES  
HIGH TEMPERATURE MODIFIED BITUMEN UNDERLAYMENT (MOD. BIT.)  
VALLEY CLIPS AT 12" O.C. - 2 FASTENERS PER CLIP  
SHEET METAL VALLEY FLASHING  
SLIP SHEET IF REQUIRED BY THE MODIFIED BIUTMEN MANUFACTURER

1" TALL RIDGE  
6" MOD. BIT. LAP  
17" MIN. VALLEY FLASHING  
36" MIN. MOD. BIT.  
6" MIN.  
EXISTING WOOD ROOF DECK

### 11 OPEN VALLEY

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.

- NOTES:
- EXPOSED FLASHING SHALL BE 6" MINIMUM WIDE AT THE HIGH ELEVATIONS OF THE VALLEY ROOF AND BECOME GRADUALLY WIDER (1" PER 10 FOOT SECTION, EACH SIDE OF VALLEY) AS IT APPROACHES THE ROOF EDGE.
  - PROVIDE 12" MINIMUM LAPS BETWEEN VALLEY SHEET METAL SECTIONS.
  - PROVIDE SLIP SHEET BELOW SHEET METAL COMPONENTS THAT ARE IN CONTACT WITH HIGH TEMPERATURE MODIFIED BITUMEN UNDERLAYMENT IF REQUIRED BY THE MODIFIED BITUMEN MANUFACTURER.
  - COUNTER FLASH METAL AND UNDERLAYMENTS TO PREVENT BUCKING WATER.
  - STRIP IN HIGH TEMPERATURE MODIFIED BITUMEN UNDERLAYMENT OVER LAPS WITHIN THE VALLEY.

ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE MASONRY CONTRACTOR UNLESS DESIGNATED OTHERWISE.

EXISTING COPING STONE  
LEAD TEE ON SKY-FACING AND ROOF-FACING SIDES OF COPING STONE MORTAR JOINT

1 1/8" MIN. COVERAGE  
LEAD TEE SET IN URETHANE SEALANT; REMOVE/TOOL EXCESS SEALANT ALONG EDGES (FOR HORIZONTAL AND VERTICAL APPLICATION ON SKY-FACING AND ROOF-FACING SIDES OF COPING STONE)  
URETHANE SEALANT AND BACKER ROD; REMOVE EXISTING MORTAR TO A DEPTH OF 2" PRIOR TO INSTALLATION  
EXISTING COPING MORTAR JOINT; REPOINT DETERIORATED OR MISSING MORTAR AS NECESSARY  
EXISTING COPING STONE

### 9 COPING STONE LEAD TEE

SCALE: NOT TO SCALE  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

2" WIDE CLIPS  
CONTINUOUS CLEAT  
SHEET METAL HIP CAP; MATCH EXISTING PROFILE  
FILL GAP WITH WOOD BLOCKING TO PROVIDE SOLID BEARING FOR UNDERLAYMENT

WOOD BLOCKING  
HIGH TEMPERATURE MODIFIED BITUMEN UNDERLAYMENT; EXTEND 12" MIN. BEYOND HIP IN EACH DIRECTION  
EXISTING WOOD ROOF DECK REMOVE AND REPLACE 12" MIN. ON BOTH SIDES OF HIP/RIDGE IN ORDER TO INSTALL HURRICANE CLIPS  
EXISTING WOOD RAFTER  
UNDERLAYMENT  
EXISTING HIP BOARD

ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.

### 12 HIP/RIDGE

SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

6"±  
18 GAUGE GALVANIZED STEEL HURRICANE CLIPS

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TOWN HALL, 13 AYER ROAD  
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NO.	DATE	DESCRIPTION	BY
PROJECT NO.	835760		
CADD FILE	835760 A500s		
DESIGNED BY	CGK		
DRAWN BY	BLM		
CHECKED BY	CM		
DATE	7/21/2021		
DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

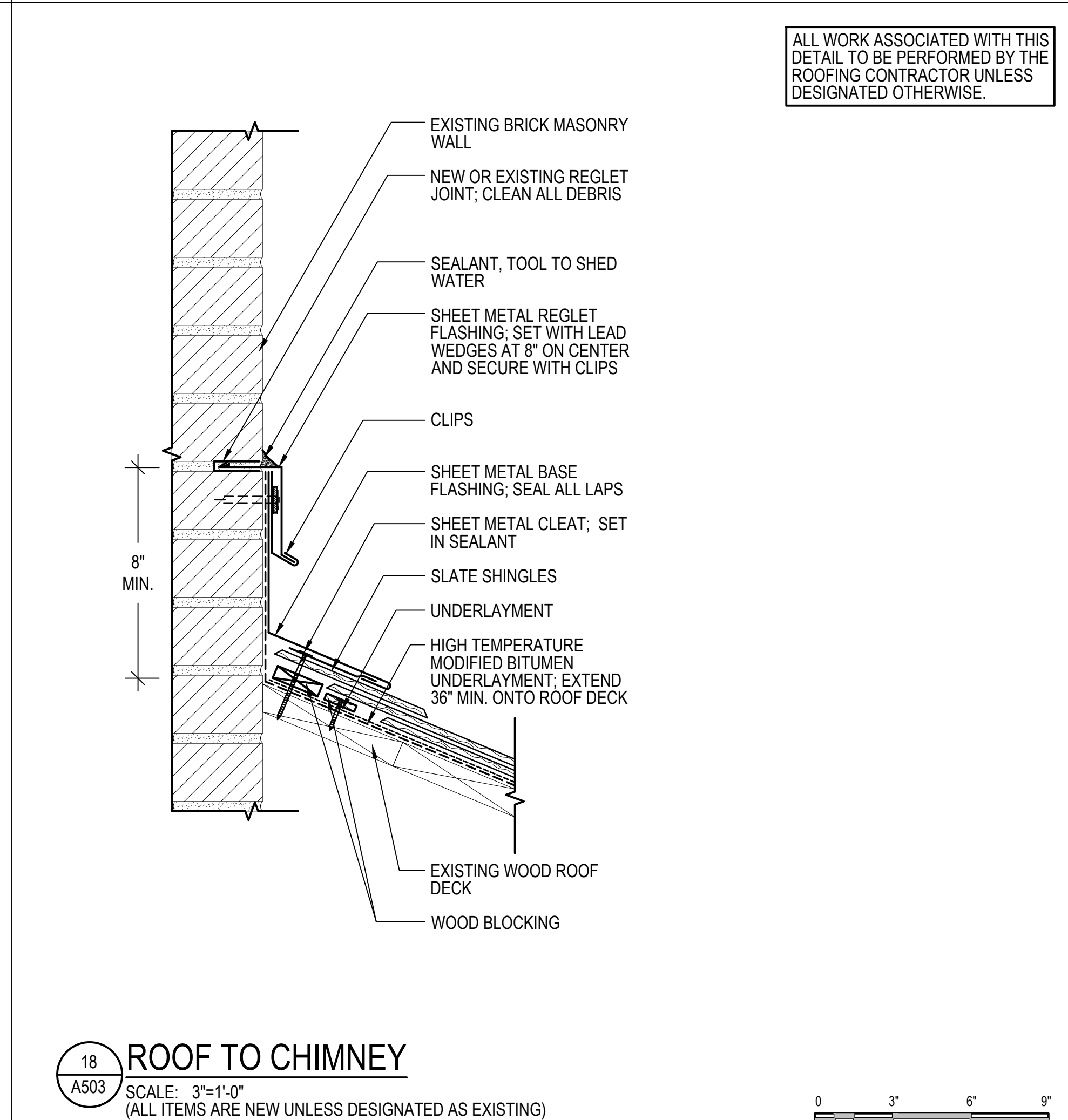
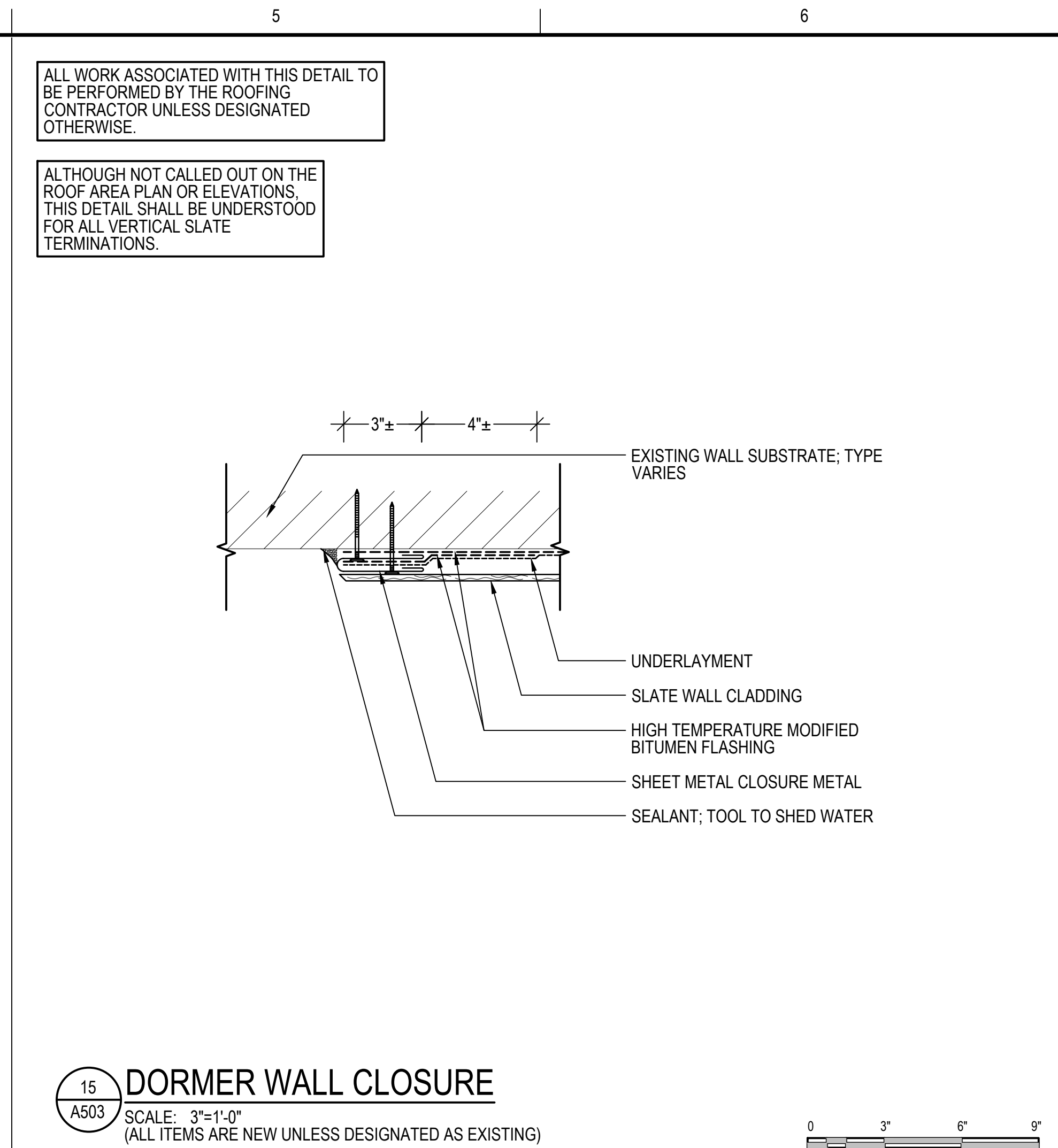
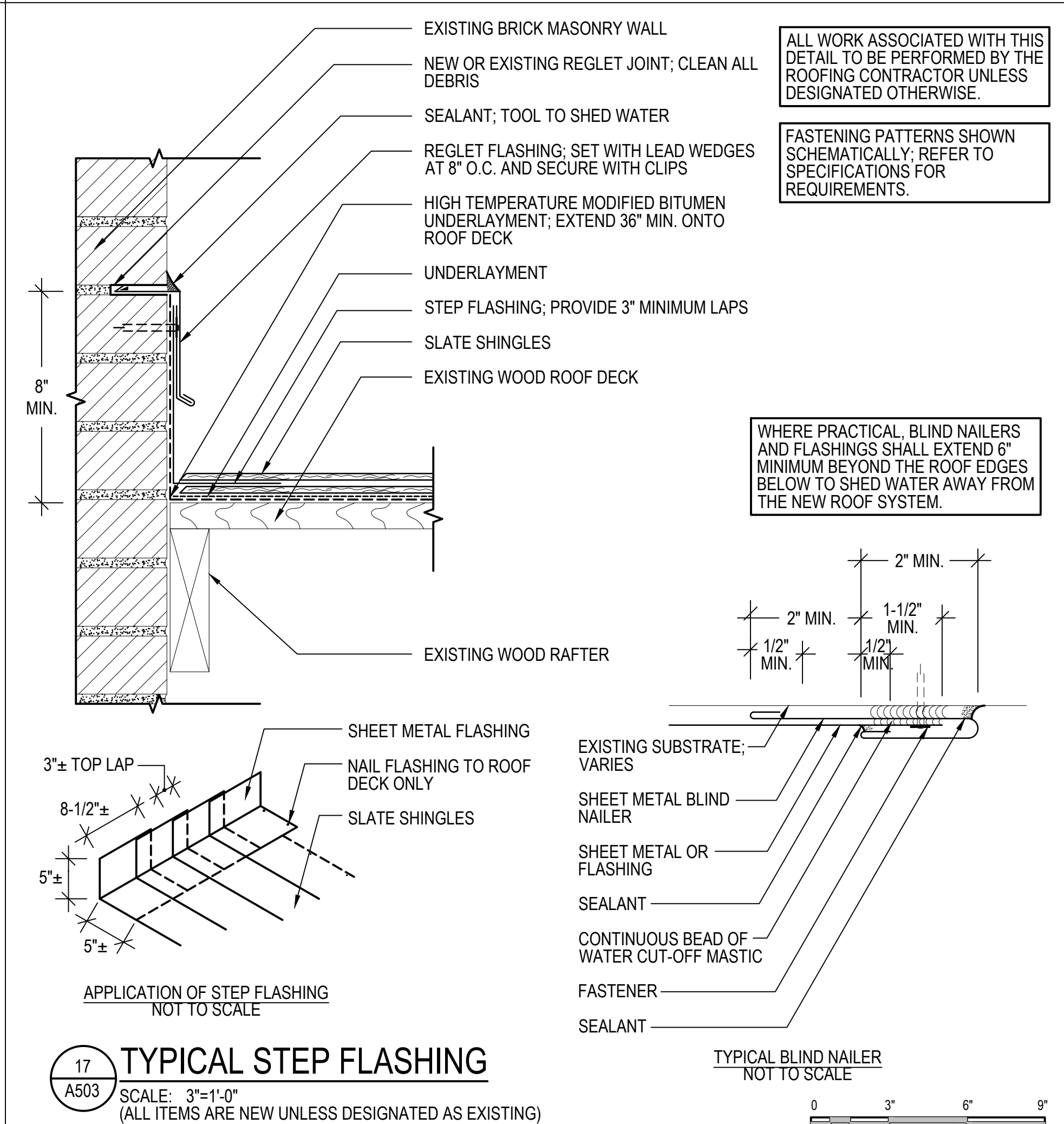
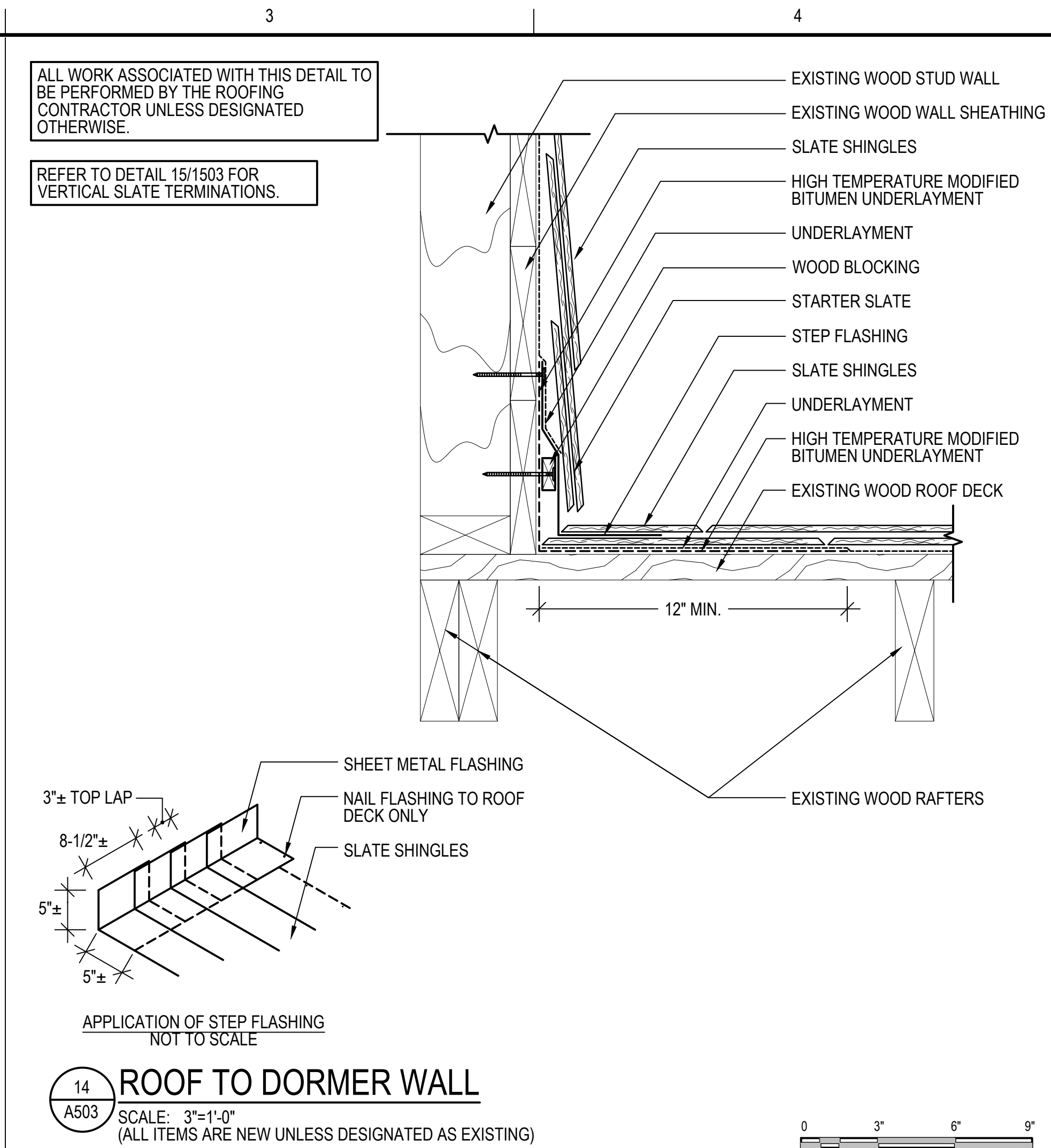
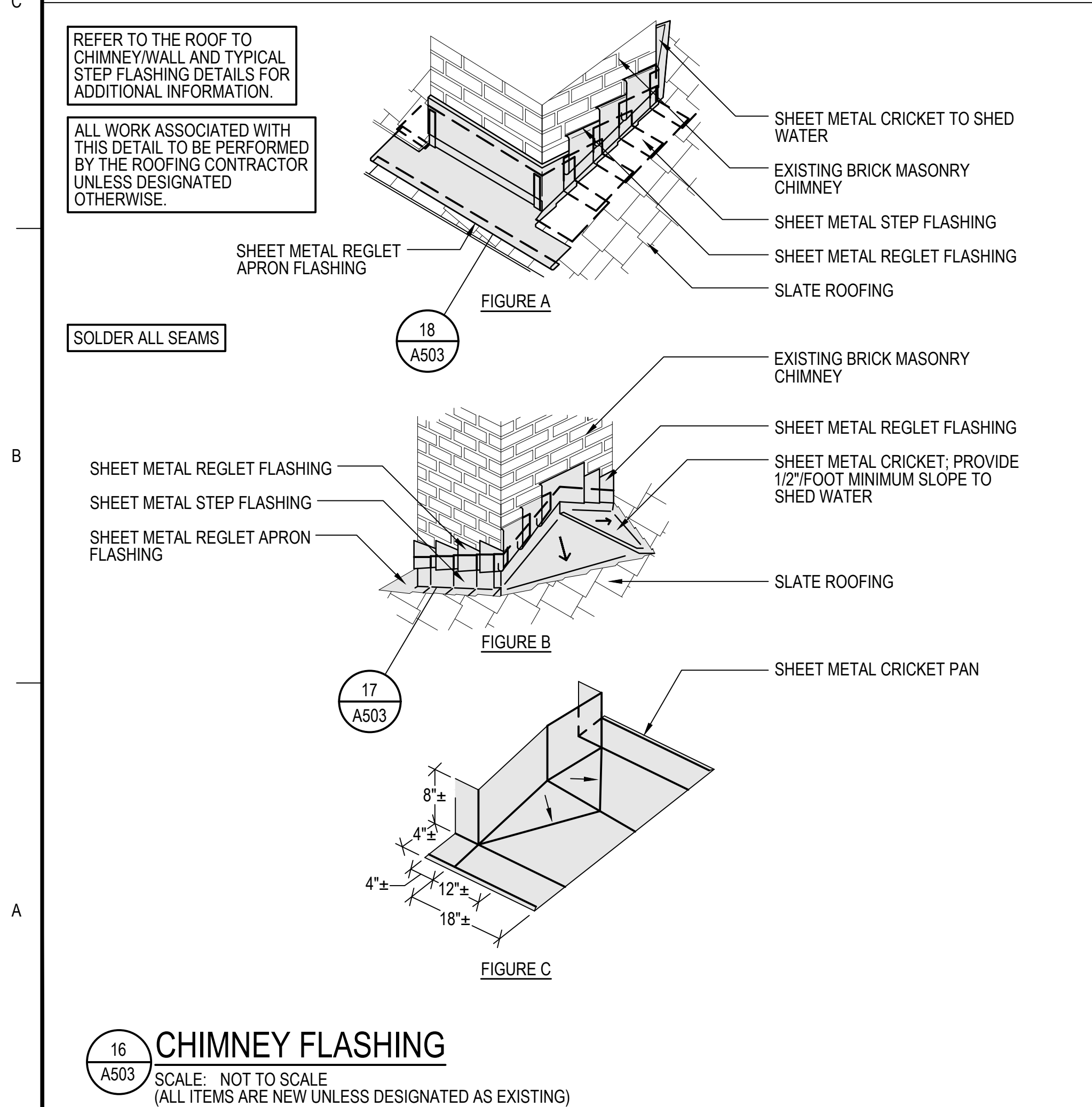
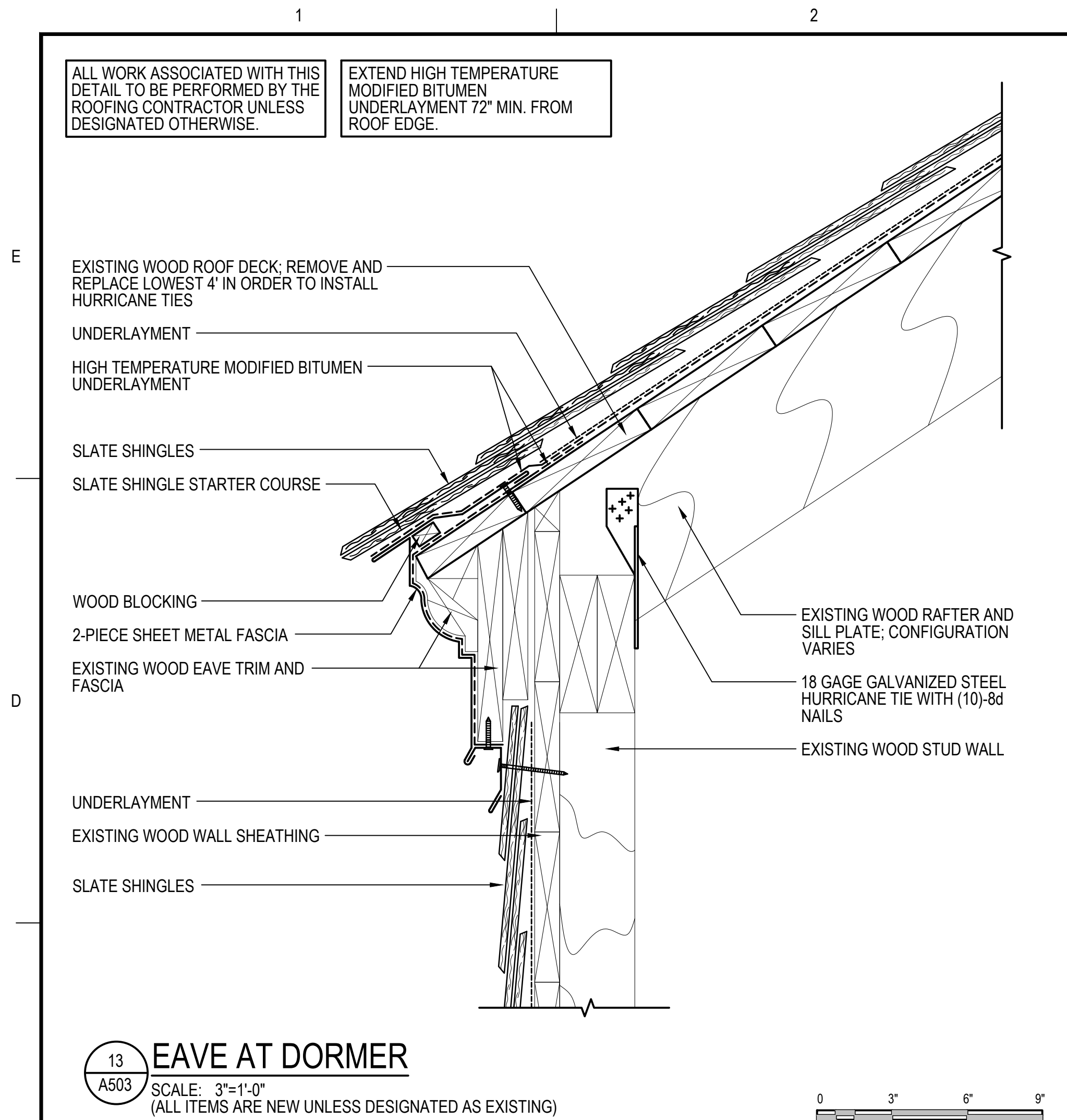
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DETAILS

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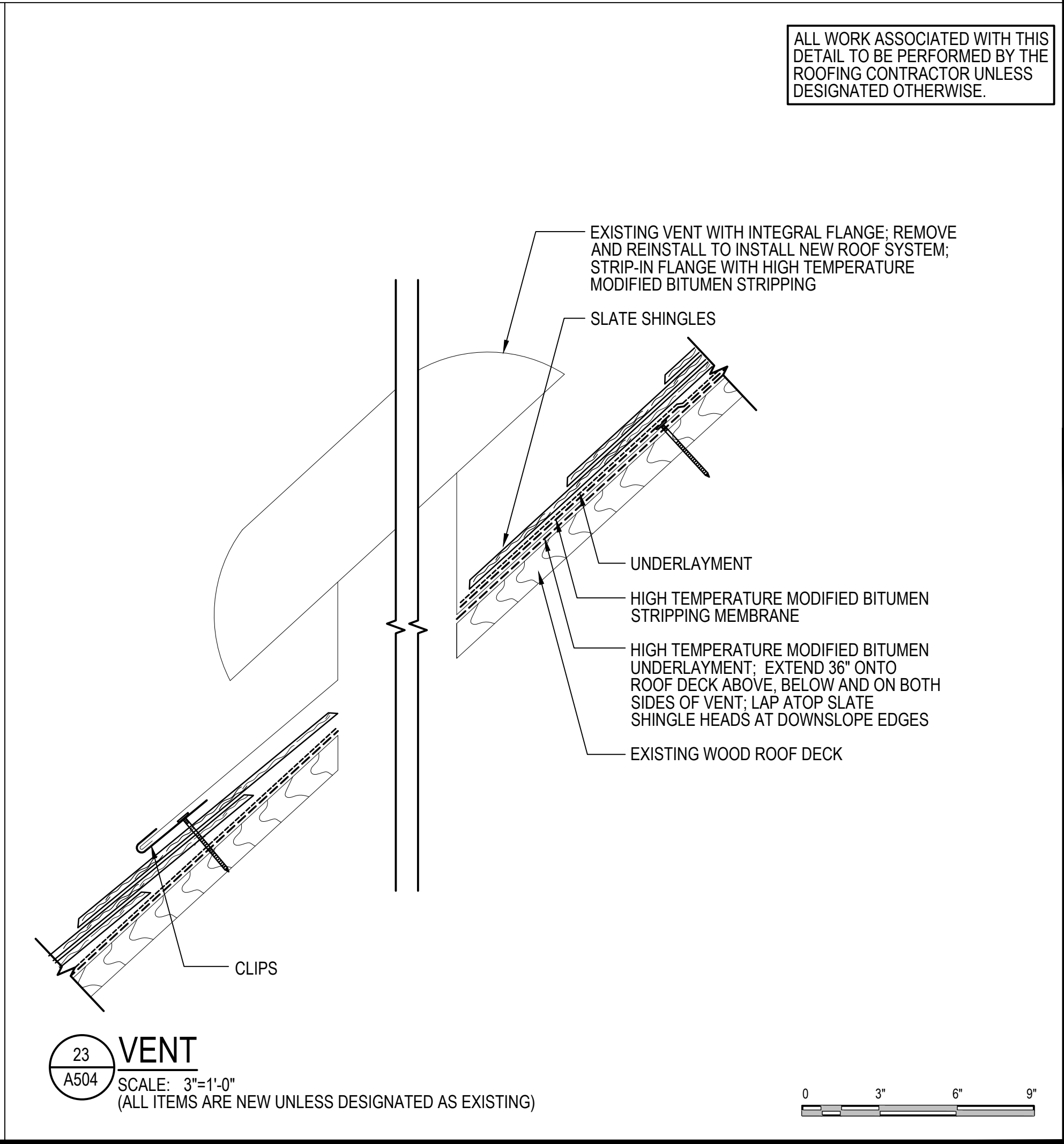
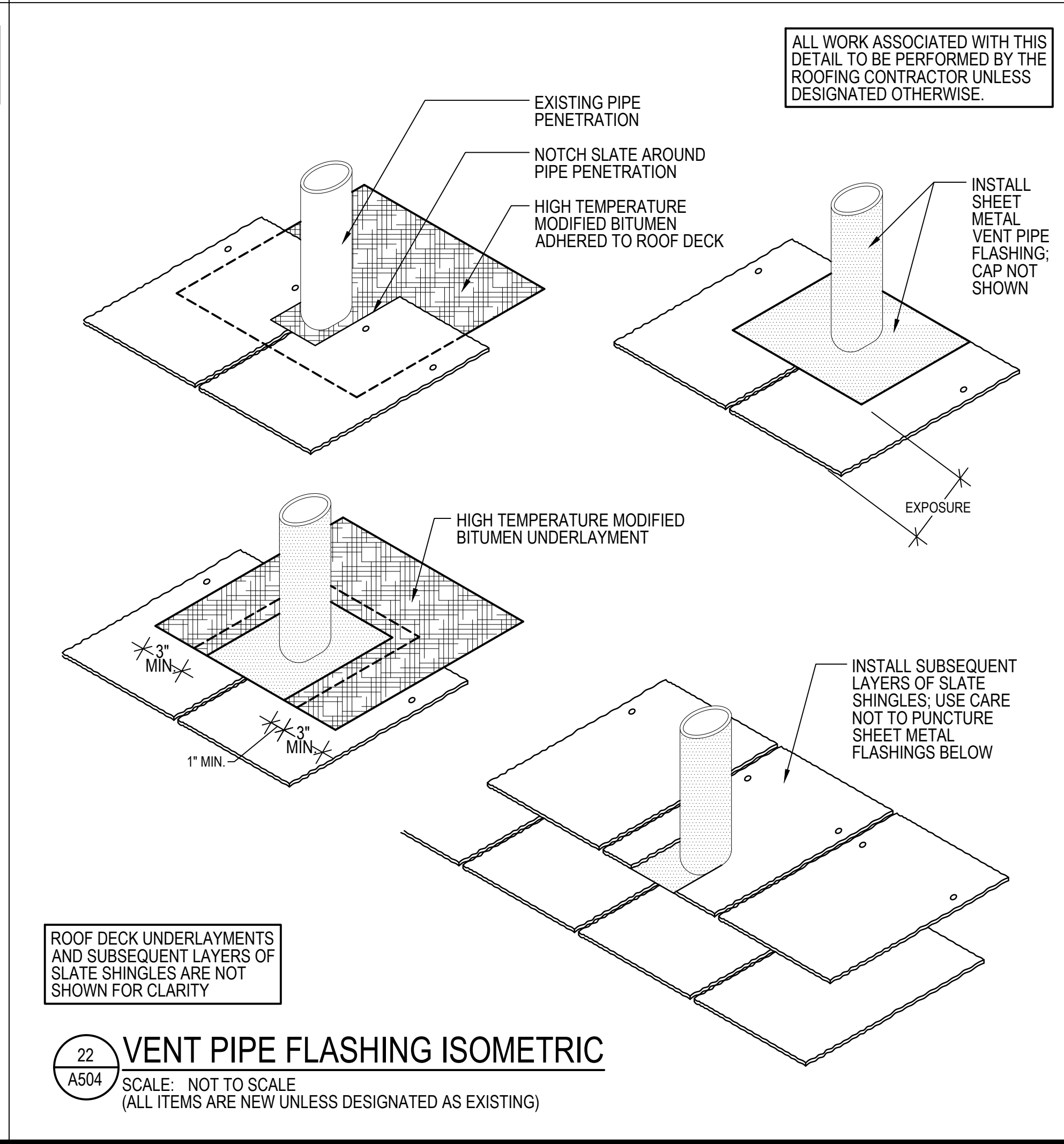
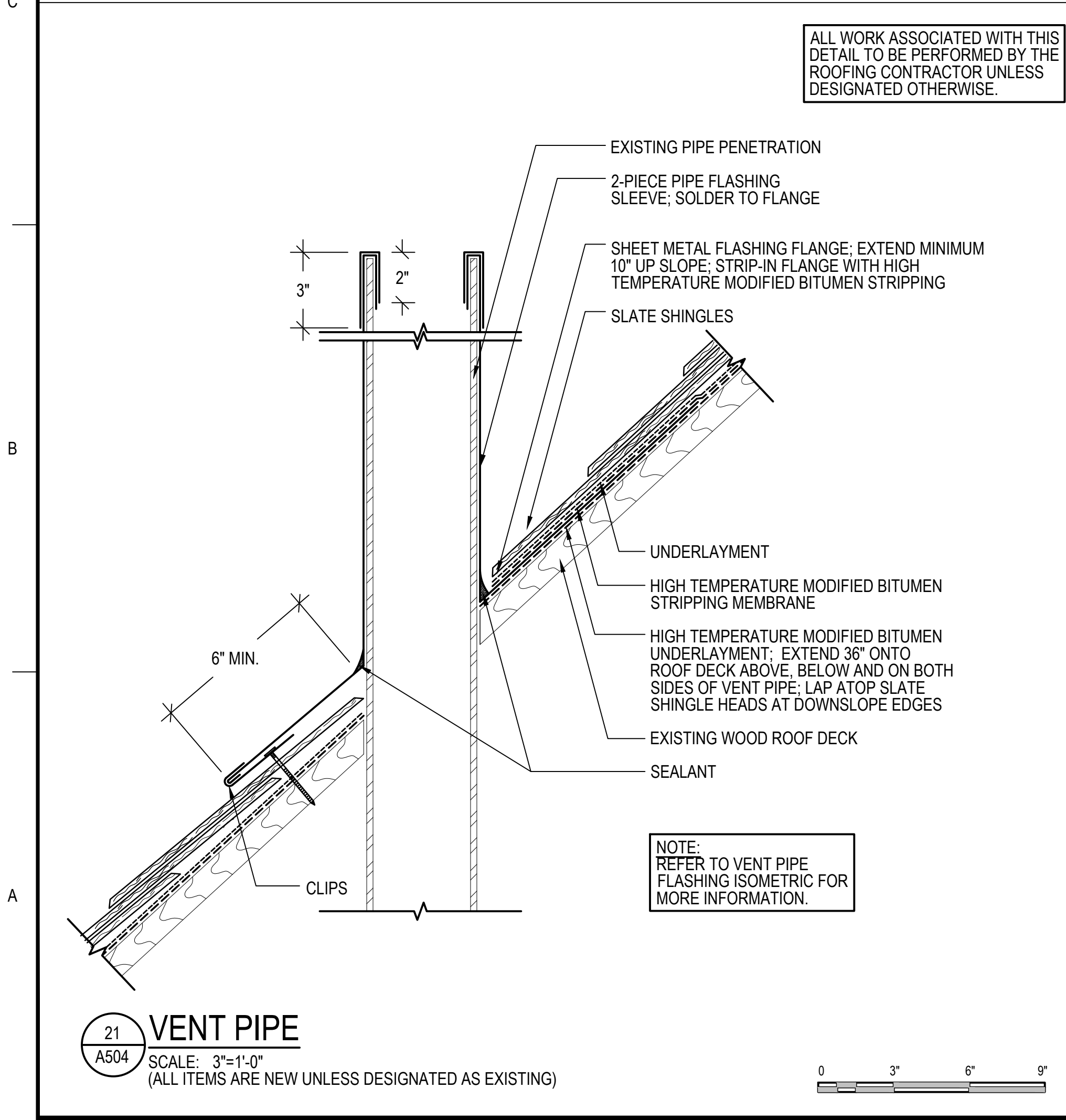
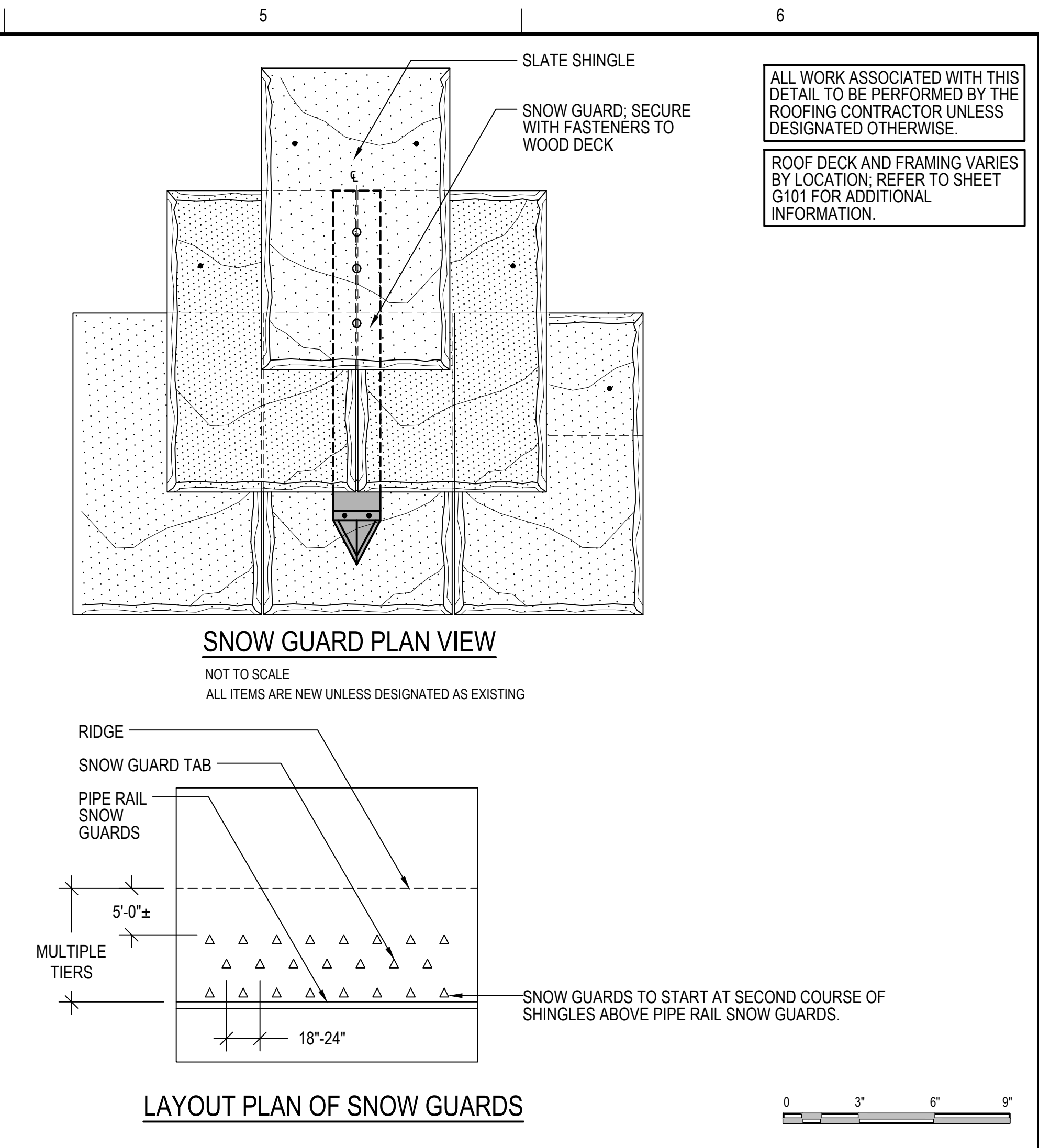
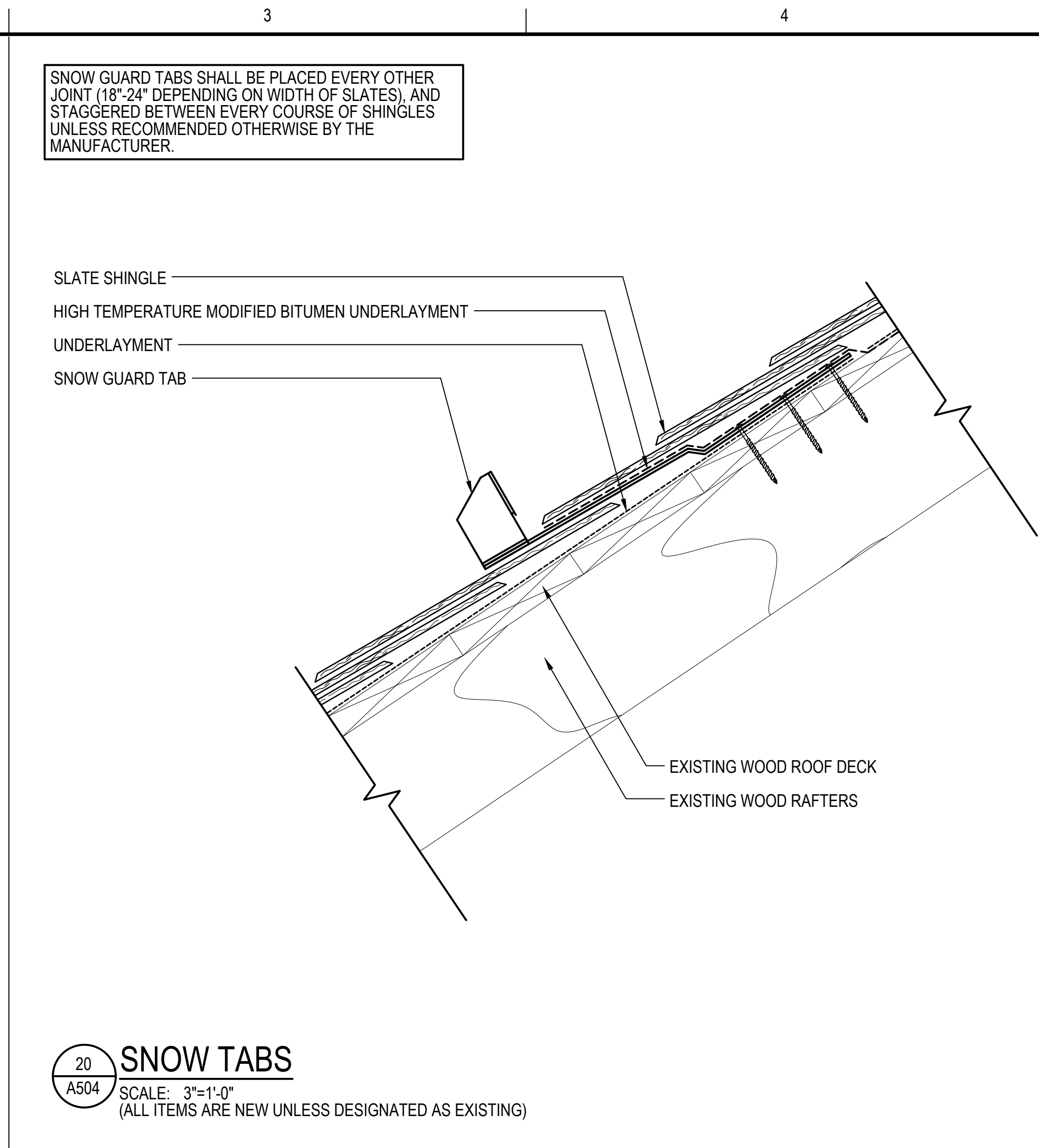
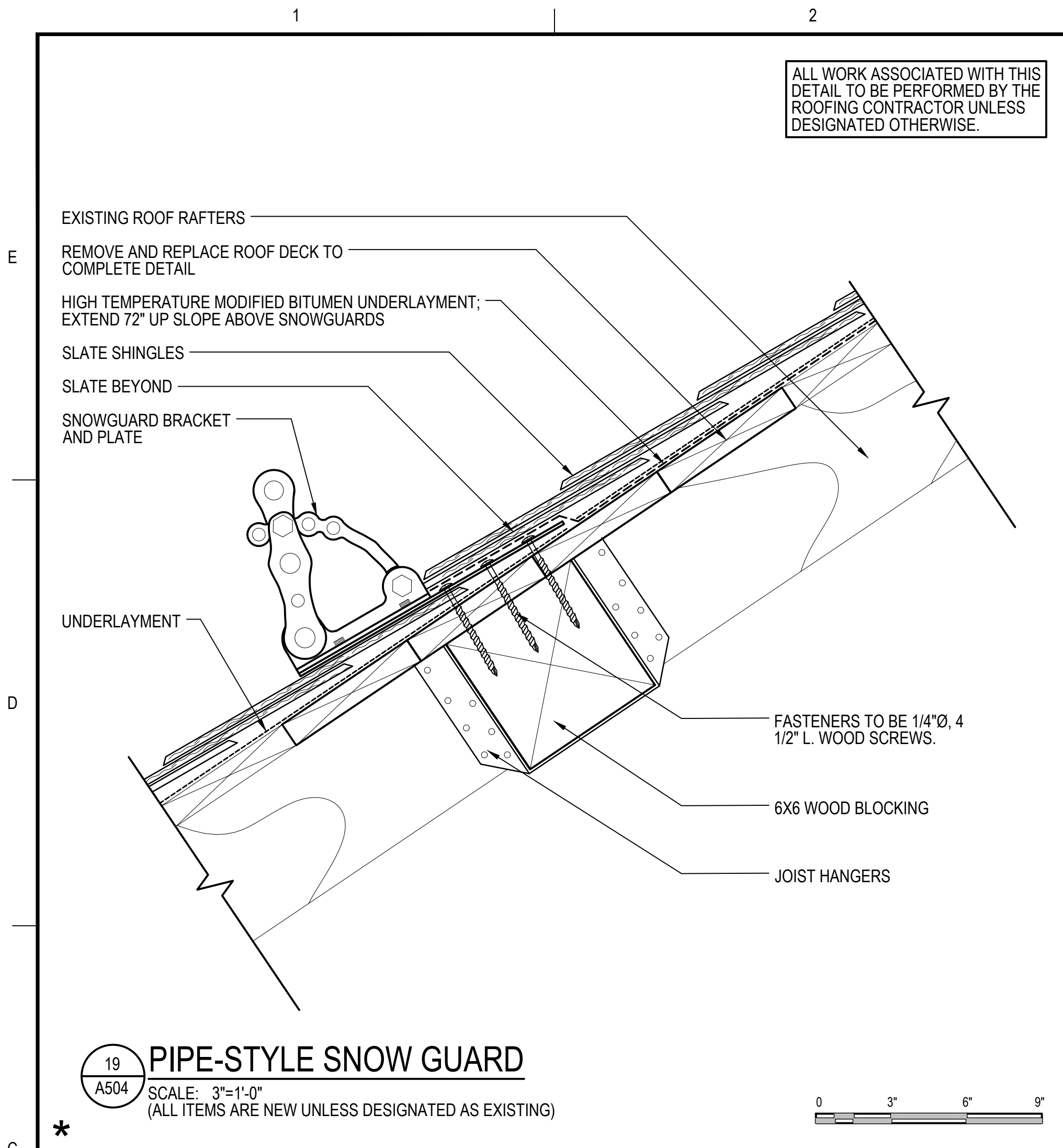
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DRAWING SCALE	AS NOTED		
GRAPHIC SCALE			
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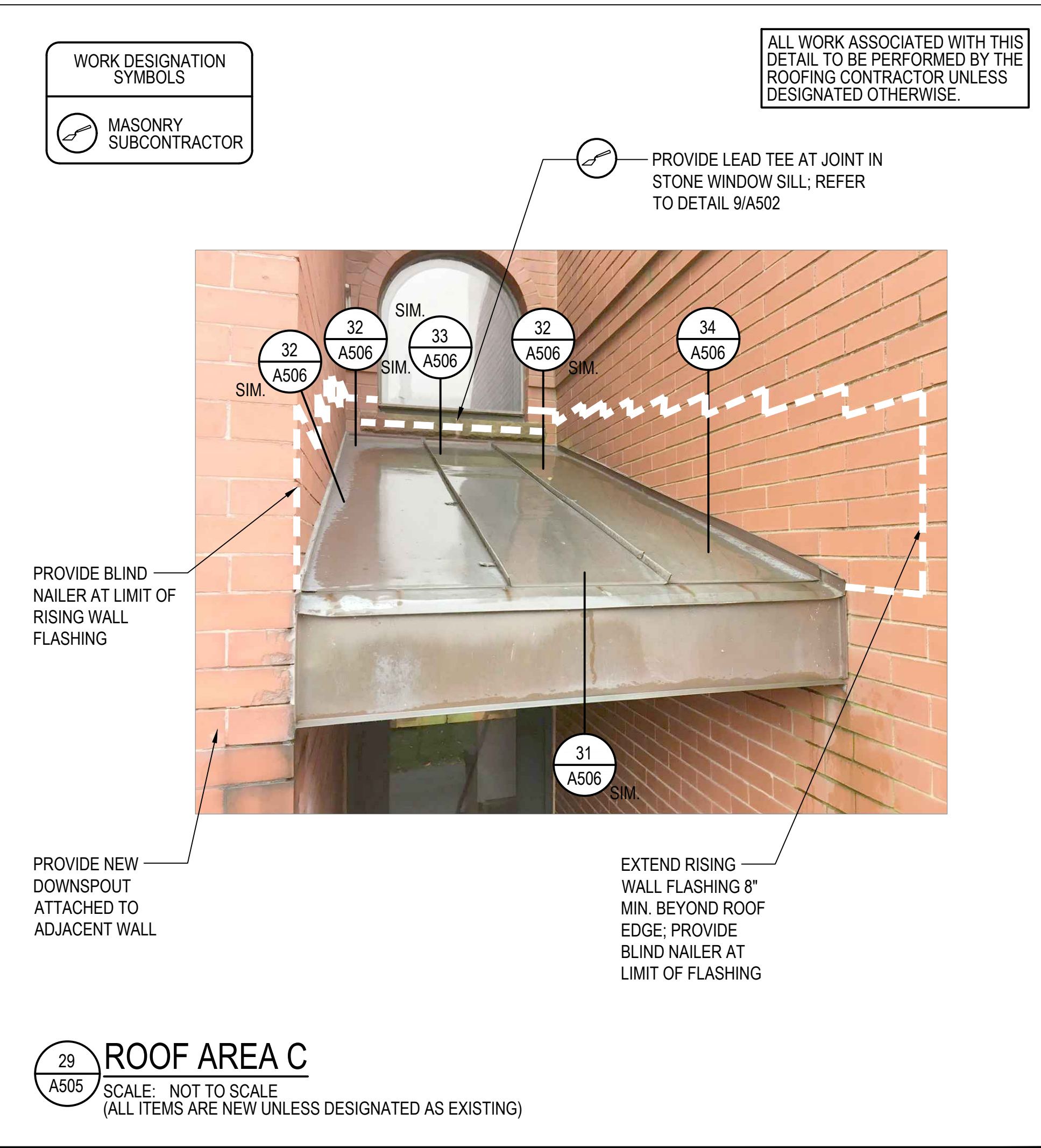
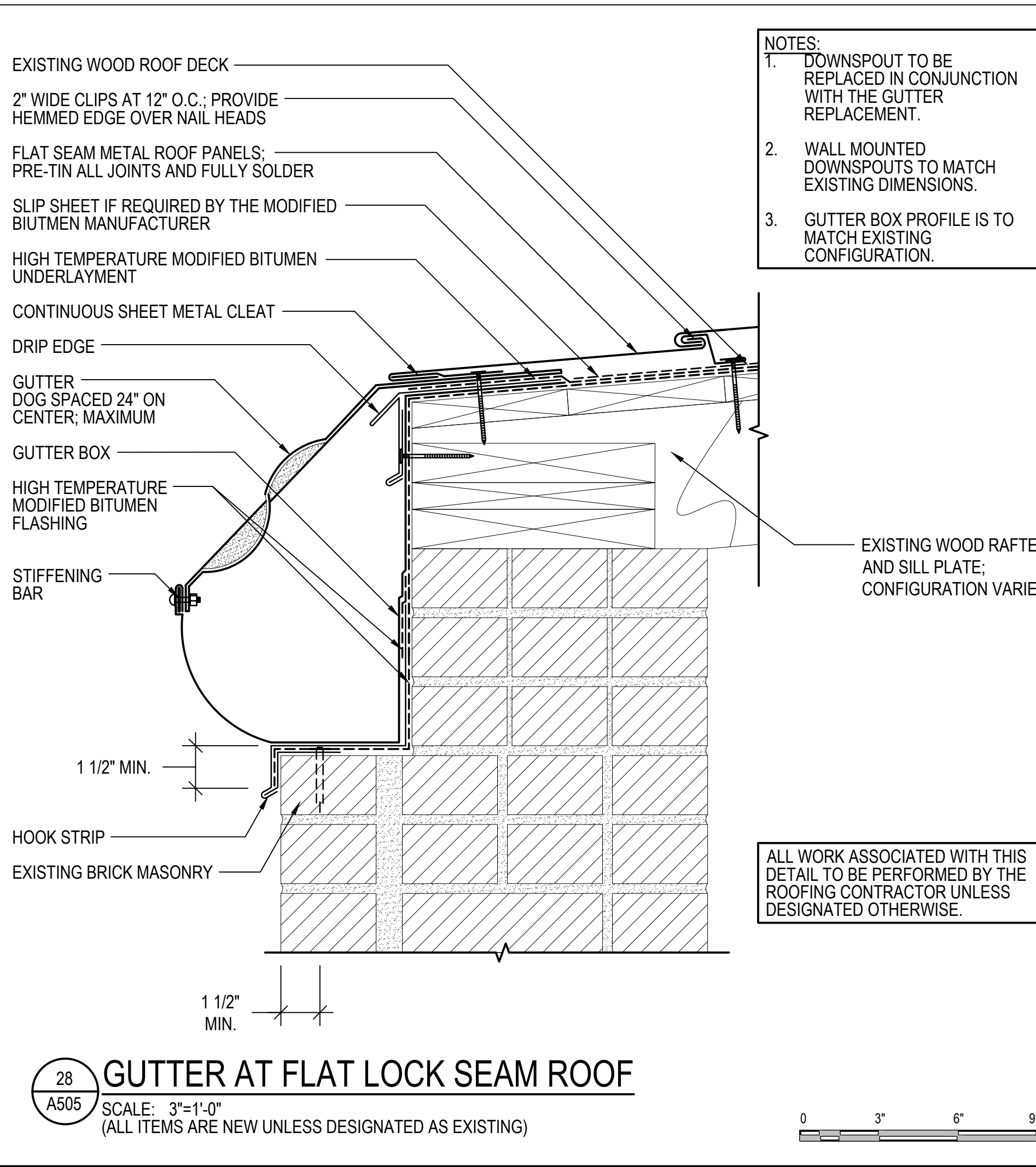
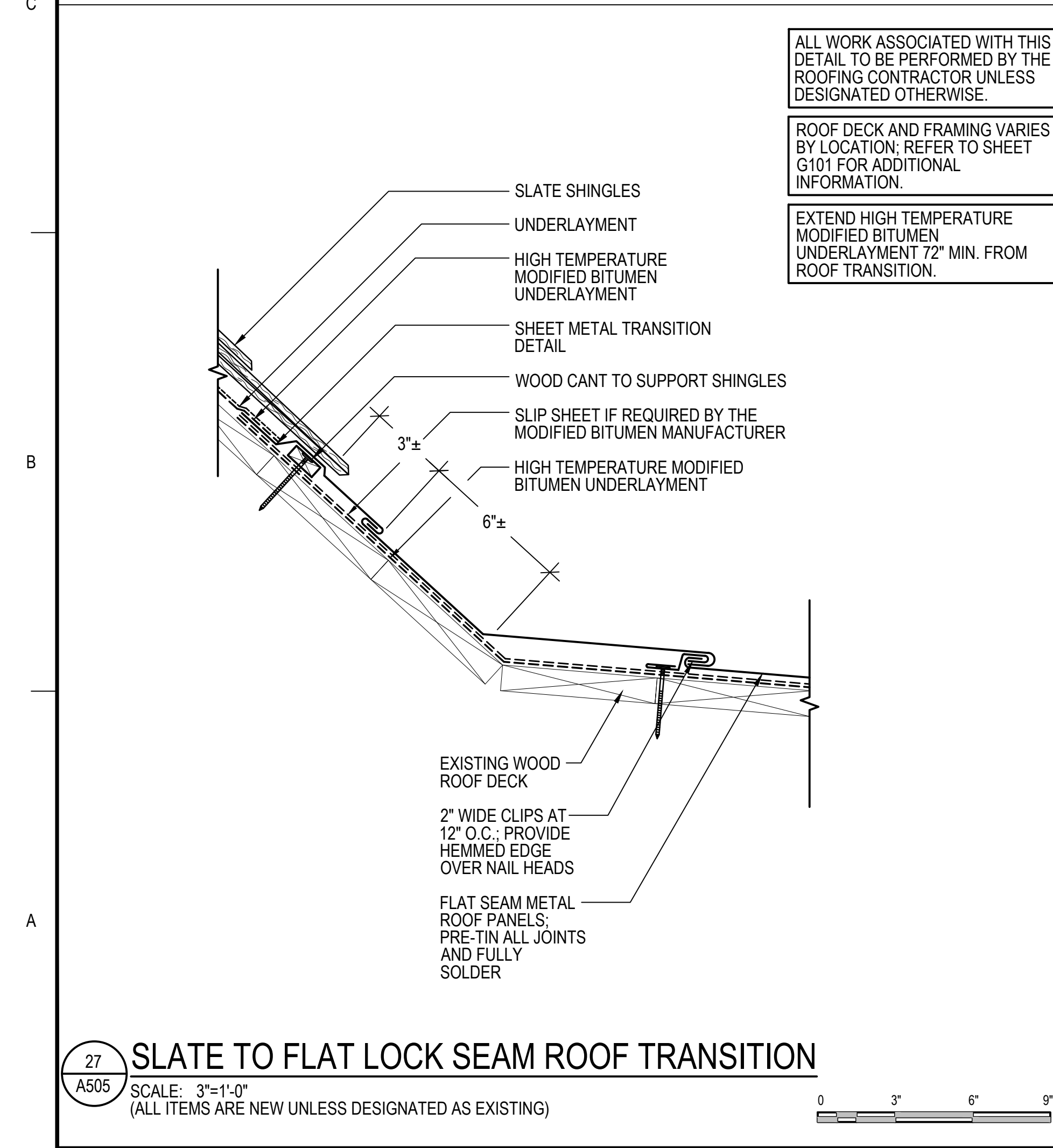
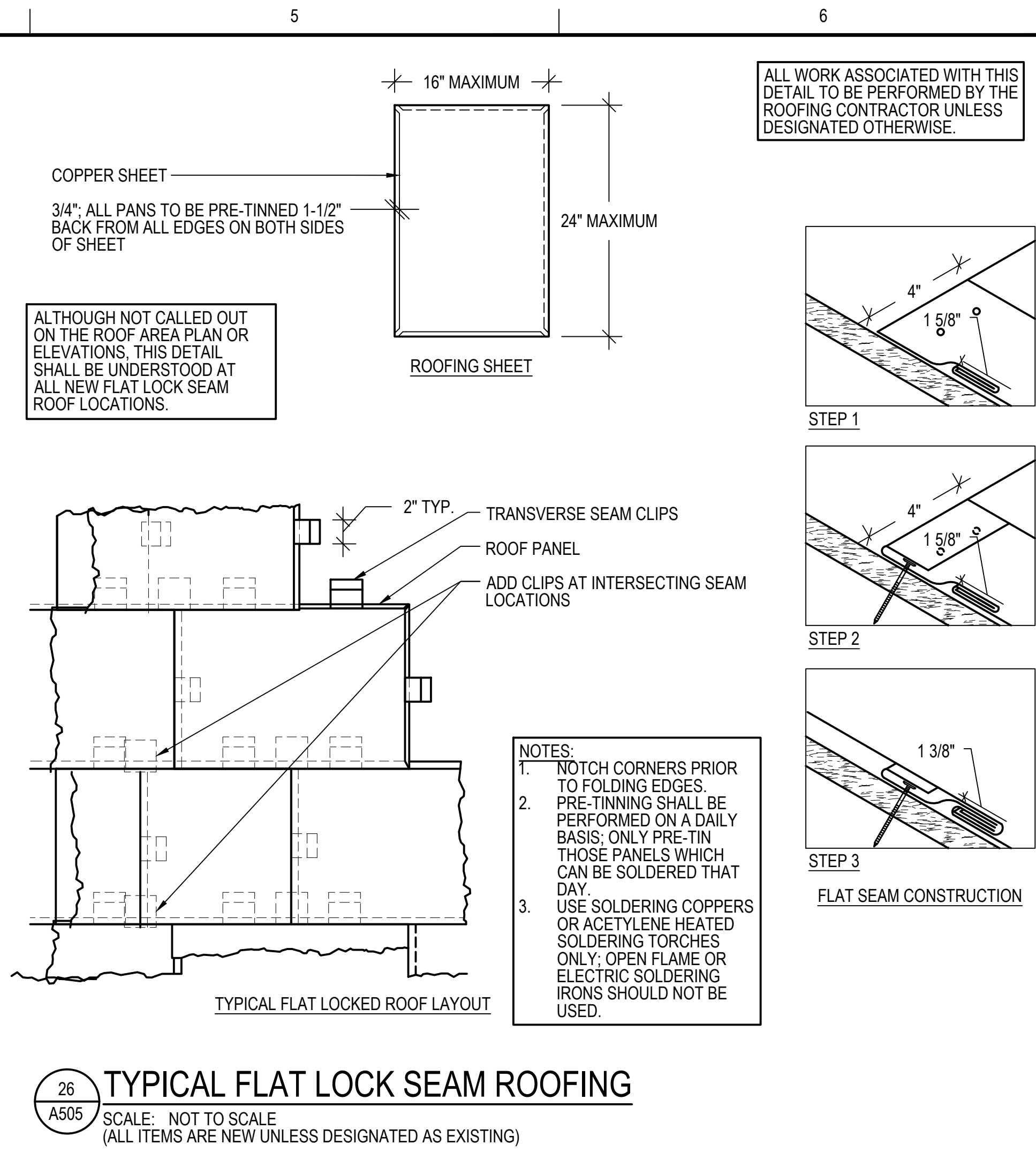
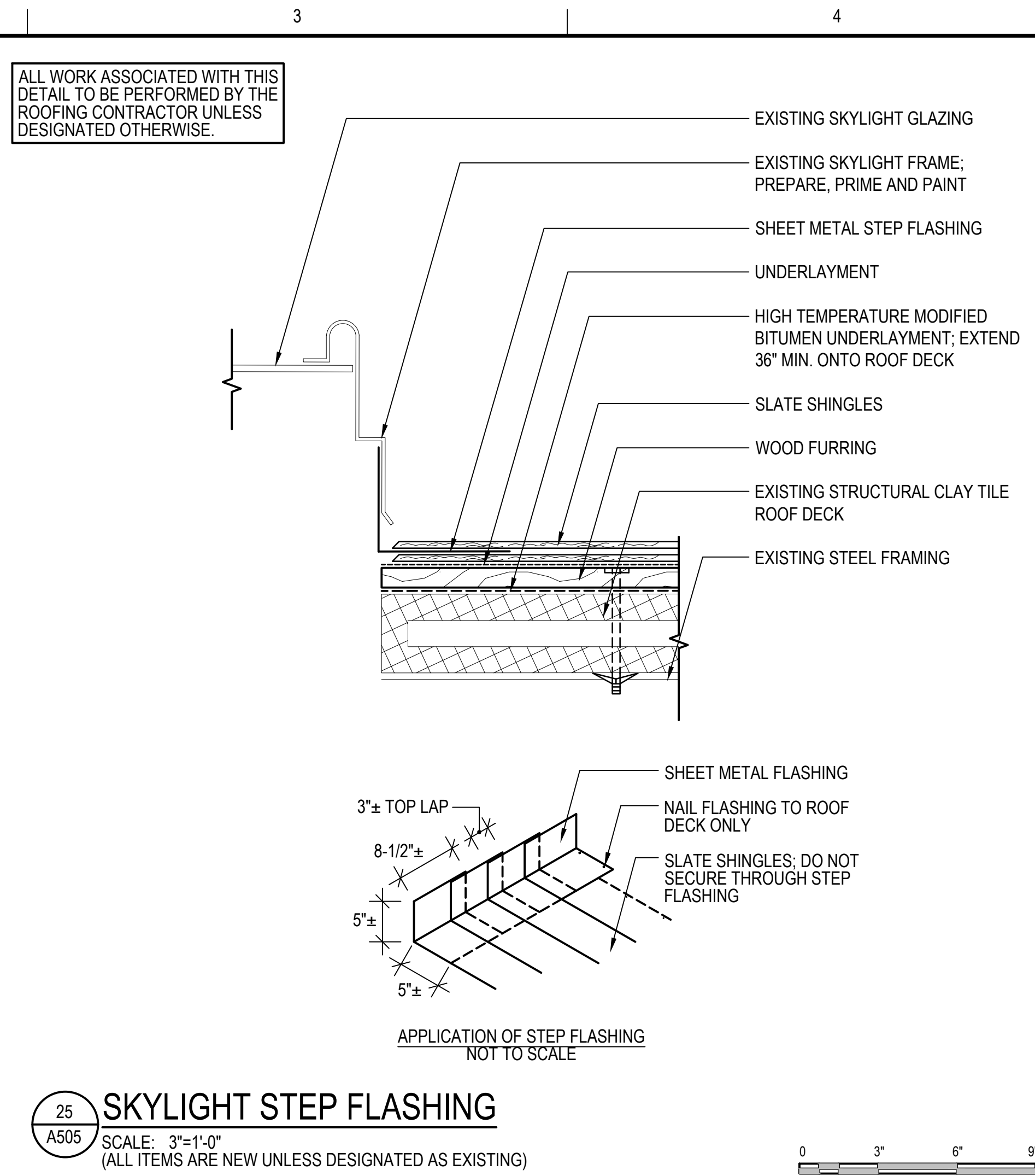
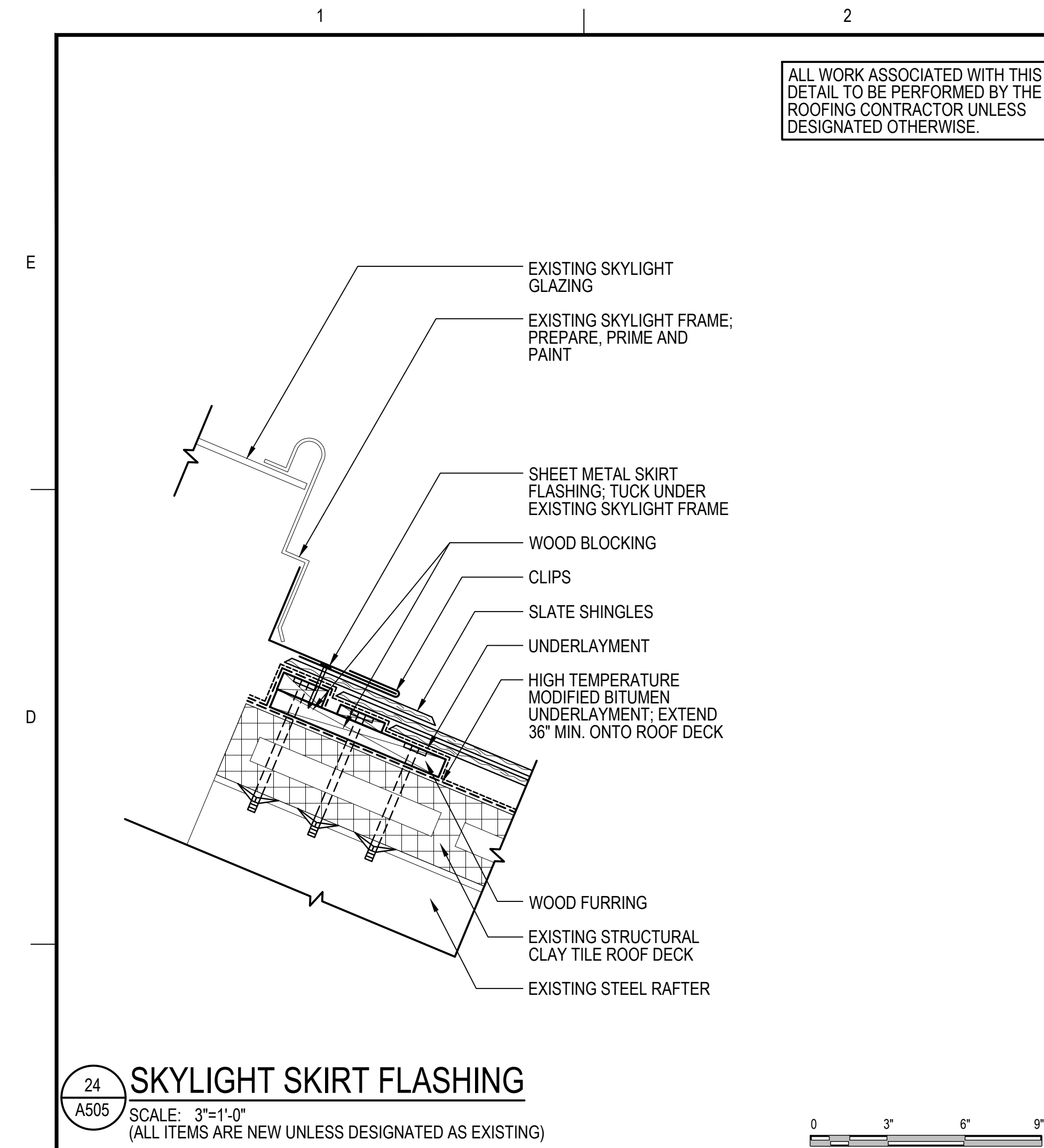
GRAPHIC SCALE

SHEET TITLE

DETAILS

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A504





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DATE	7/21/2021		
DRAWING SCALE	AS NOTED		
GRAPHIC SCALE			
SHEET TITLE			
DETAILS			
DRAWING NO.			A505



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REMOVE AND REPLACE DOWNSPOUTS

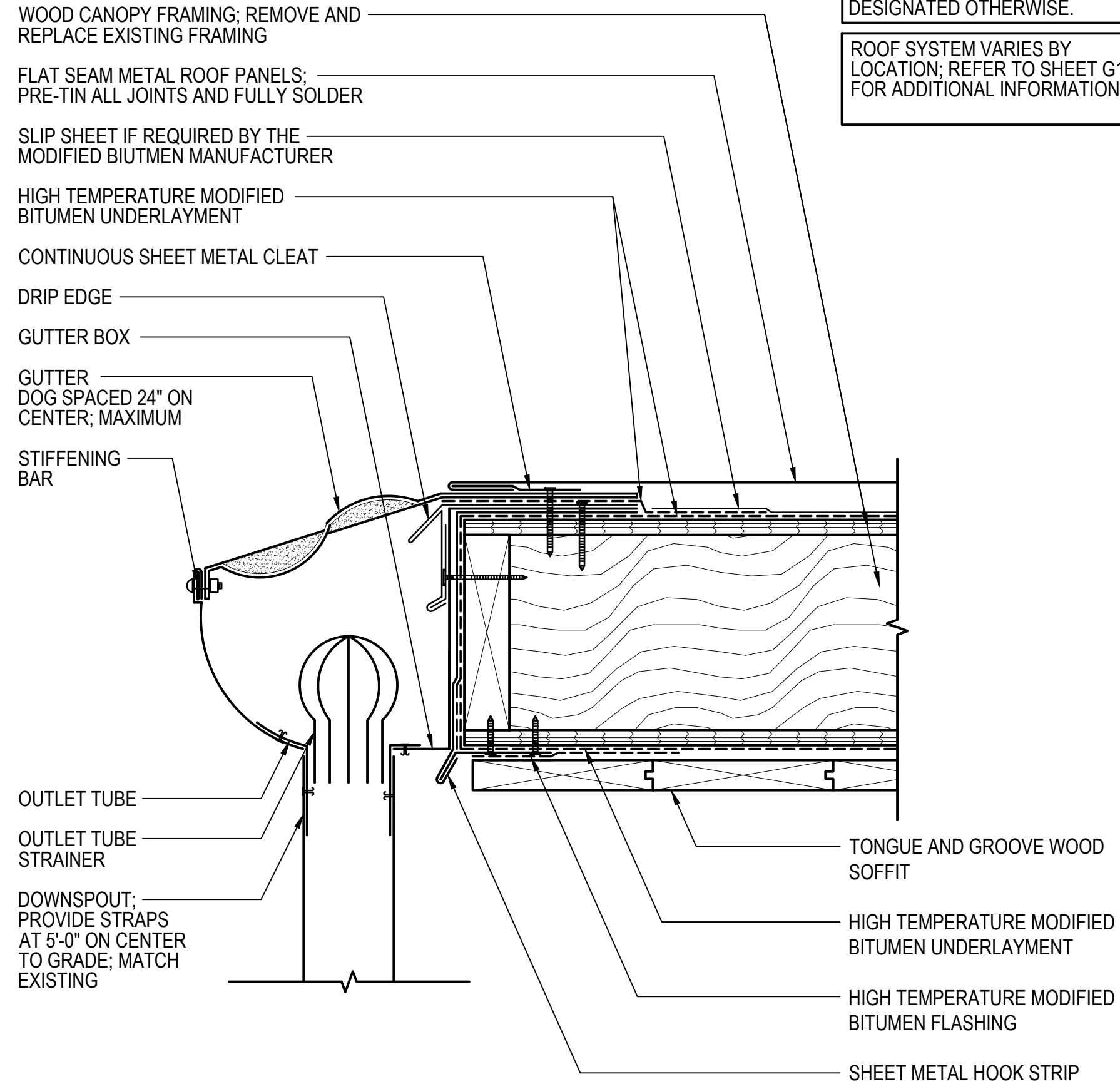
REMOVE AND REPLACE DOWNSPOUTS



PROVIDE BLIND NAILER AT LIMIT OF RISING WALL FLASHING

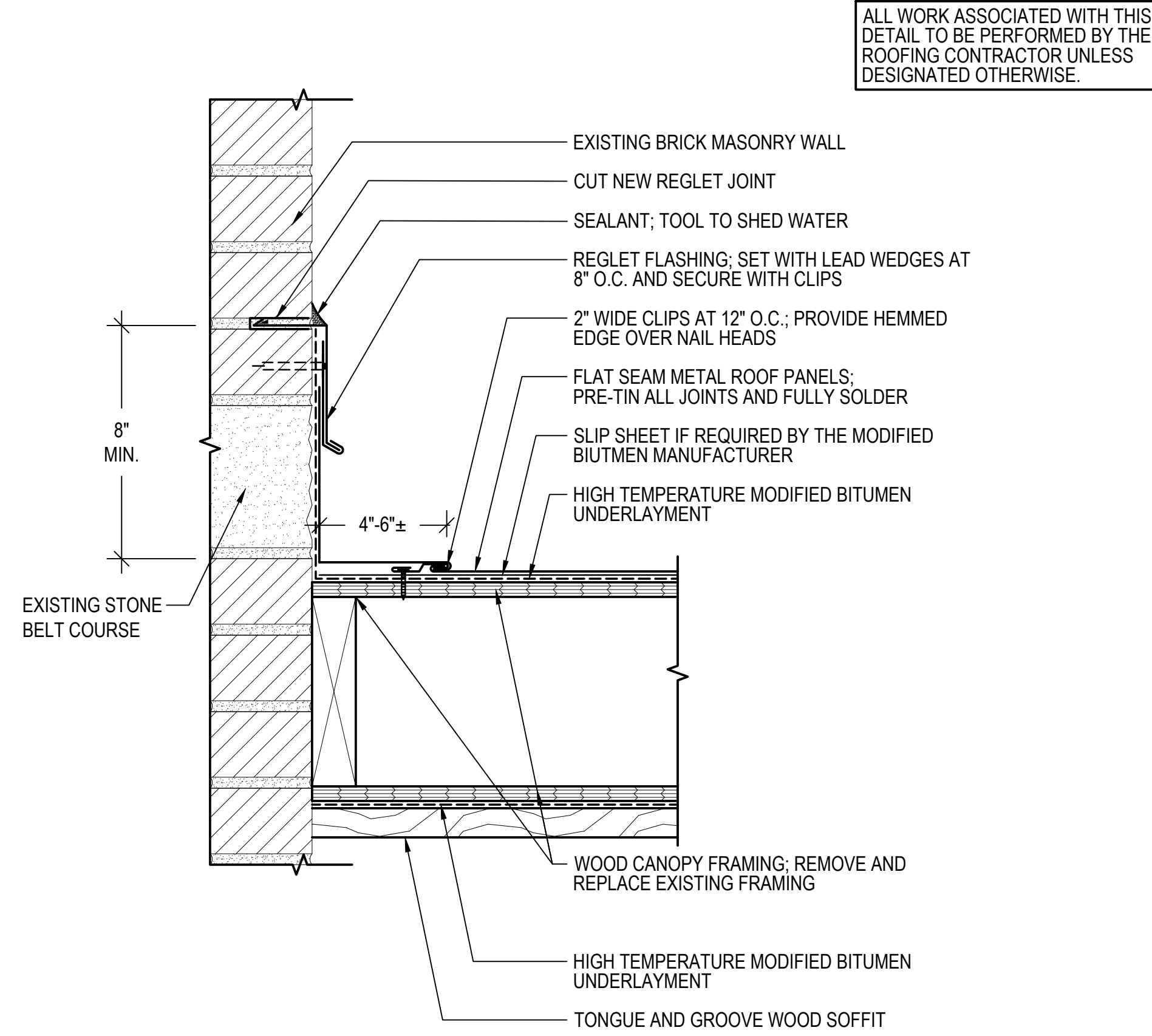
PROVIDE BLIND NAILER AT LIMIT OF RISING WALL FLASHING

30 ROOF AREA D  
SCALE: NOT TO SCALE  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



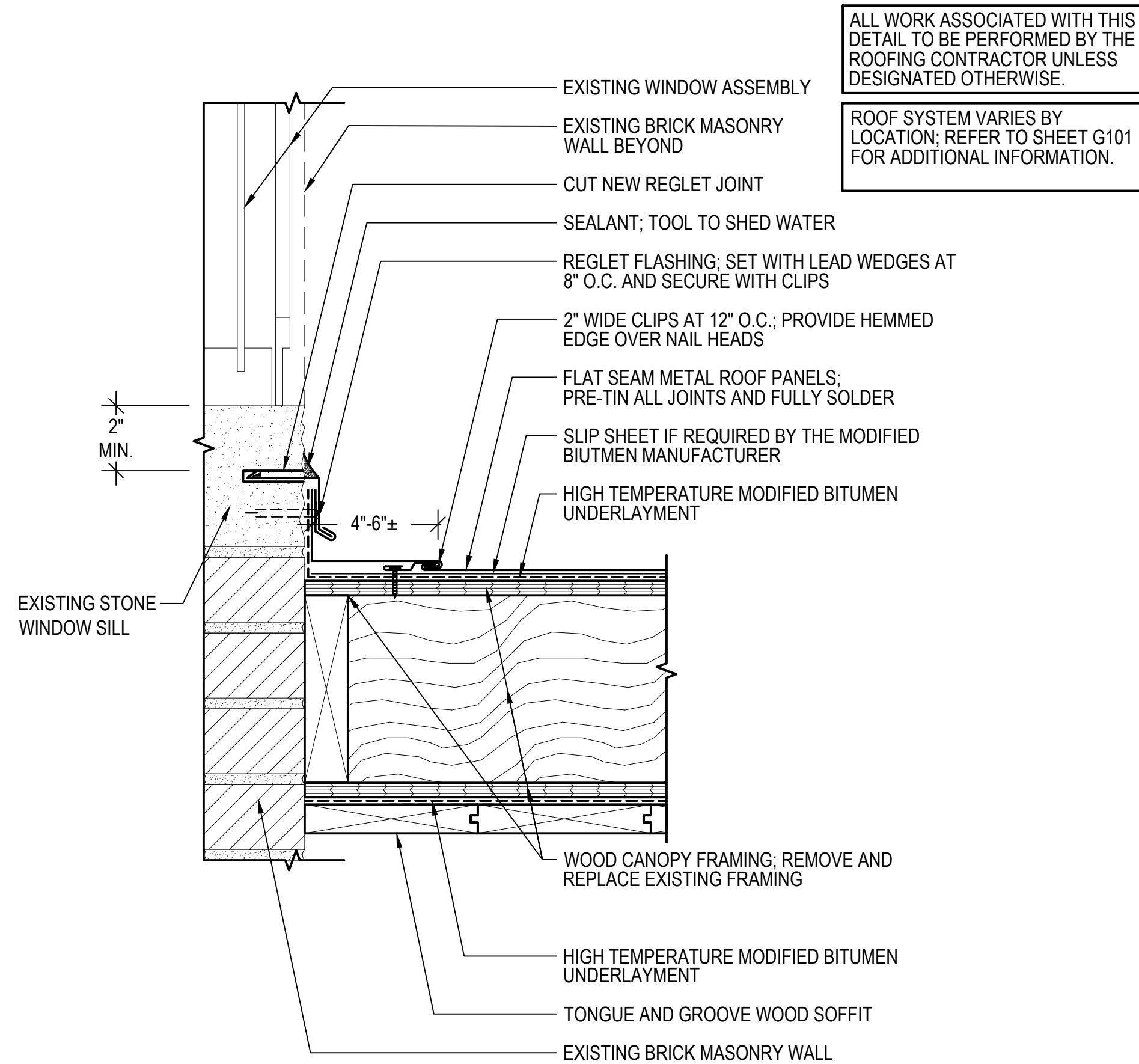
ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.

31 GUTTER AT CANOPY ROOF  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



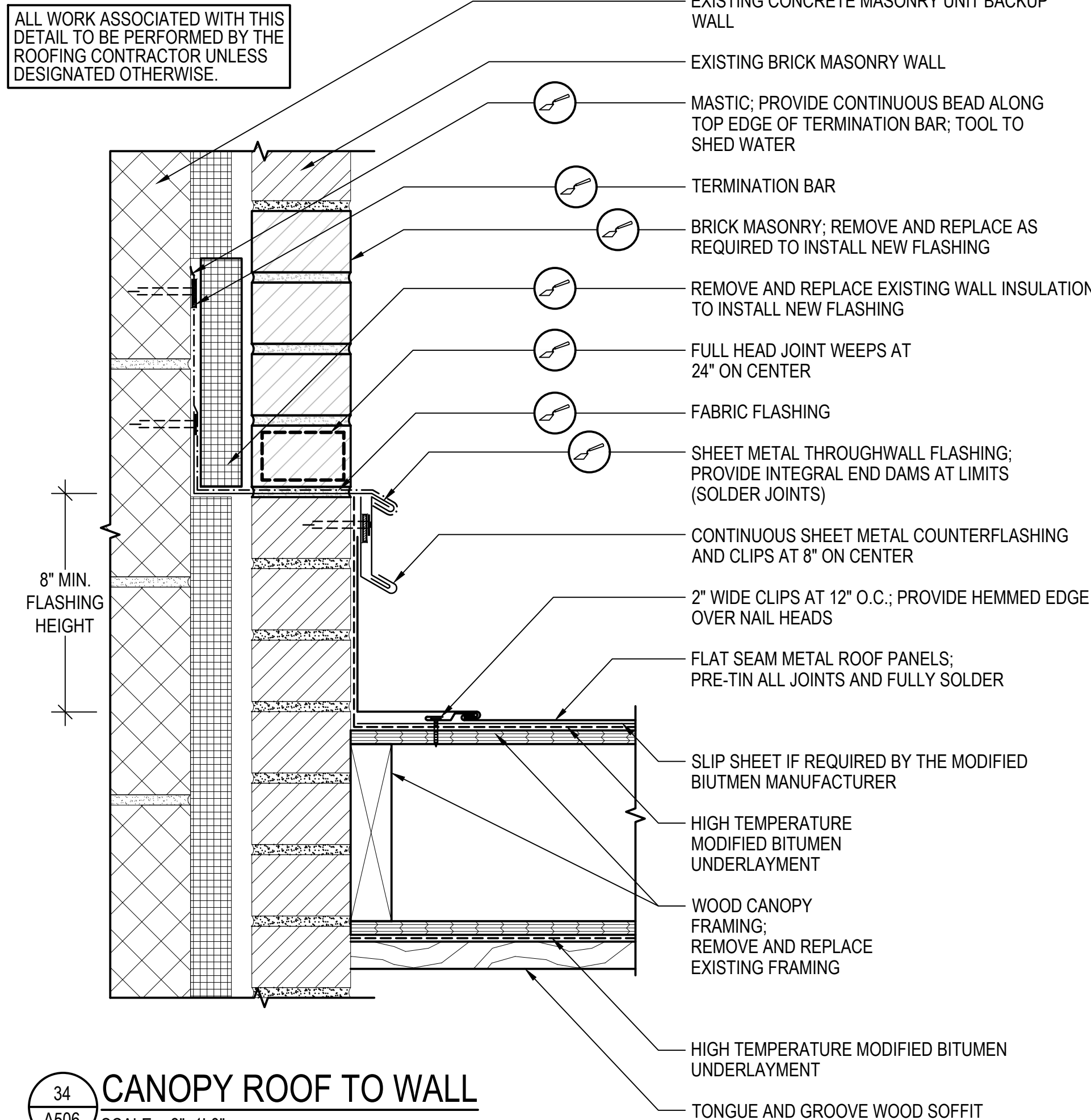
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32 CANOPY ROOF TO WALL  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



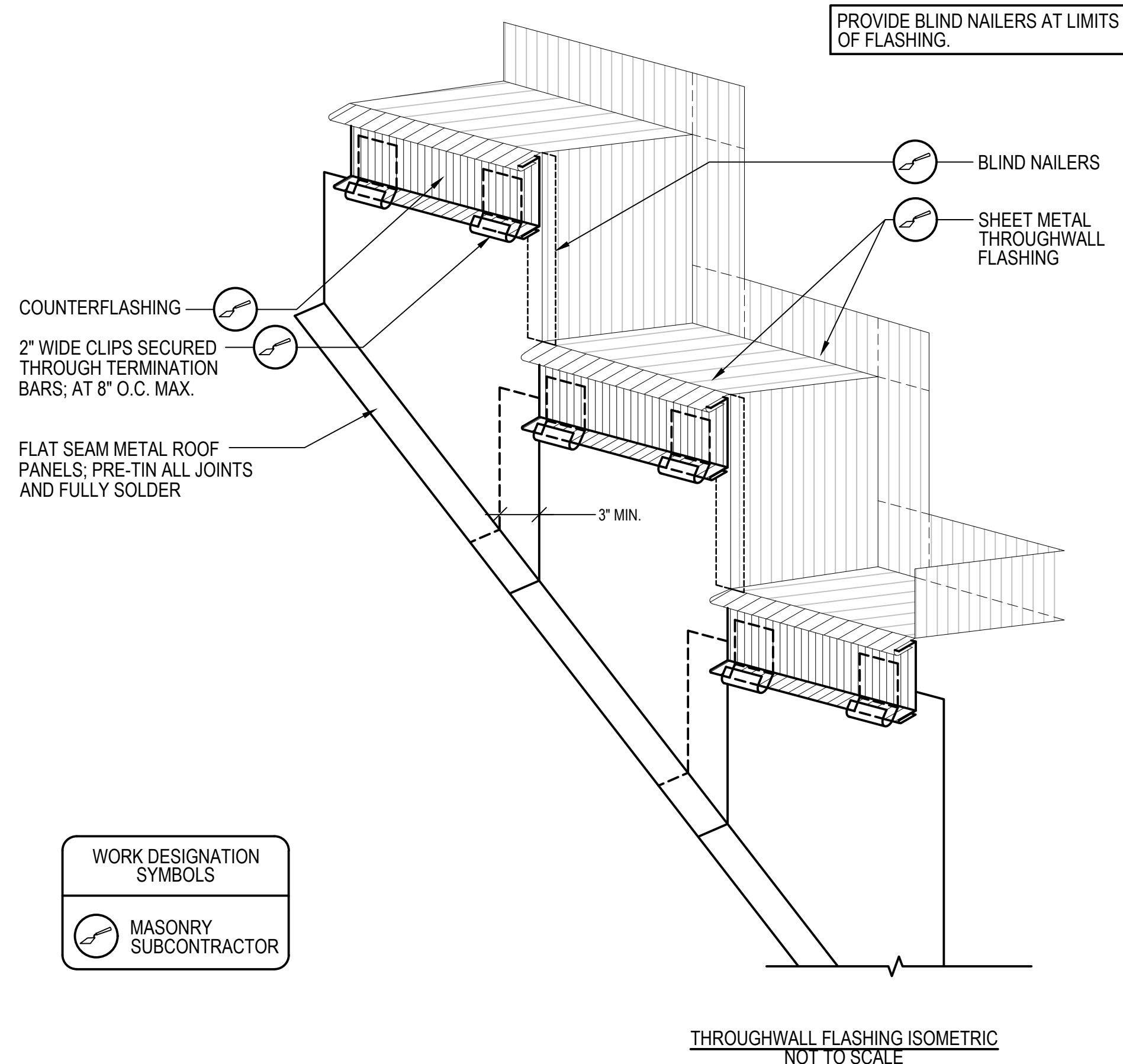
ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.

33 CANOPY ROOF TO WINDOW SILL  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.

34 CANOPY ROOF TO WALL  
SCALE: 3"=1'-0"  
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



PROVIDE BLIND NAILERS AT LIMITS OF FLASHING.

WORK DESIGNATION SYMBOLS  
MASONRY SUBCONTRACTOR

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GRAPHIC SCALE

SHEET TITLE

DETAILS

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A506



