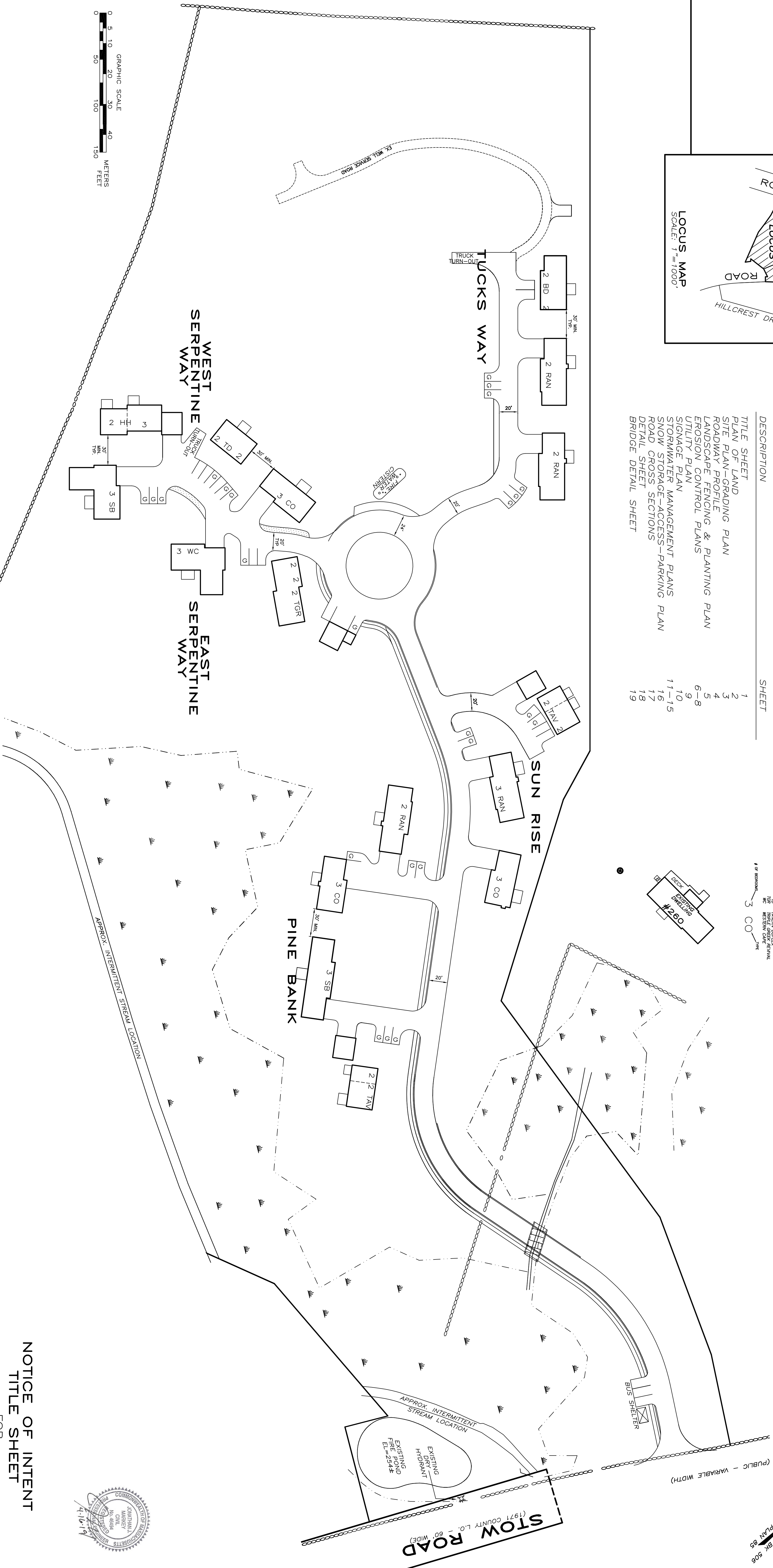
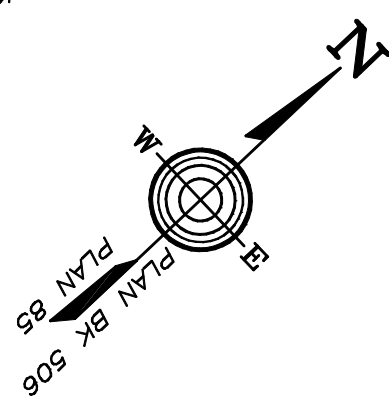


PINE HILL VILLAGE  
COMPREHENSIVE PERMIT  
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BUILDING TYPE  
LEGEND

SYMBOL	TYPE
BD	DATA BUILDING
CO	COMMERCIAL
HA	HIGHWAY
HO	HOUSE
ST	STREET
TA	TANK
TR	TRUCK
WC	WATER CULVERT
WC	WATER CULVERT
WC	WATER CULVERT



WAIVERS:  
123-21: WAIVER TO PERMIT MULTI-FAMILY DWELLINGS IN THE RA DISTRICT.  
123-9: WAIVER FROM THE INDIVIDUAL LOT AND LOT AREA REQUIREMENTS TO ALLOW 24 DWELLING UNITS ON 1 LOT AS SHOWN ON THE PLANS.  
123-29: WAIVER FROM THE LOT WIDTH AND LOT AREA REQUIREMENTS TO ALLOW 24 DWELLING UNITS IN THE LOCATIONS SHOWN ON THE PLANS AND TO ALLOW THE ACCESS FRONTAGE SHOWN ON THE PLANS.  
123-30.A,B,&E: WAIVERS TO PERMIT MULTIPLE STRUCTURES PER LOT AND REDUCED SETBACK DISTANCES AS SHOWN ON THE PLANS AND FLOOR AREA RATIO OF UP TO 15%.  
147-15(1): WAIVER OF THE WETLANDS SETBACK PROVISIONS TO ALLOW A CROSSING OF THE WETLANDS AT THE STONE CULVERT AND FOR 75 FEET ON BOTH SIDES OF THE CROSSING, THE ROADWAY BE ALLOWED.  
147-15(2): WAIVER OF THE WETLANDS SETBACK PROVISIONS TO ALLOW DISTURBANCE ASSOCIATED WITH THE ROADWAY CONSTRUCTION AND ASSOCIATED WITH STATION 5+40 TO BE ALLOWED WITHIN 10 FEET OF THE WETLANDS.  
147-15(3): WAIVER OF THE WETLANDS SETBACK PROVISIONS TO ALLOW DRIVEWAYS, ROADWAY AND STRUCTURES WITHIN 10 FEET OF THE WETLANDS IN THE AREA OF STATIONS 0+00 AND 4+40 AND NOT CLOSER TO THE WETLANDS THAN 35 FEET ALONG THE FIRST 540 FEET OF THE ROADWAY.

147-15(4): WAIVER OF THE WETLANDS SETBACK PROVISIONS TO ALLOW THE CONSTRUCTION OF DRIVEWAYS AND STRUCTURES NOT CLOSER TO THE WETLANDS THAN 40 FEET GRADING AND THE INSTALLATIONS OF WELLS AND WATER LINES NO CLOSER TO THE WETLANDS THAN 3 FEET IN THE SO-CALLED PINE BANK NEIGHBORHOOD, ALL AS SHOWN.  
130-23B(1): WAIVER TO PERMIT A DEAD END STREET AS SHOWN ON THE PLANS WITHOUT PROVISION FOR EXTENSION TO ADJOINING PROPERTIES.  
130-23D(1)(A): WAIVER TO PERMIT A STREET WITH A WIDTH OF 20 FEET ON EACH SIDE OF THE ROADWAY CENTERLINE.  
130-23D(1)(C) WAIVER TO PERMIT CENTERLINE RADI FOR THE ROADWAY INCLUDING A 68.0 FOOT CENTERLINE RADIUS AT THE CUL-DE-SAC AS SHOWN ON THE PLAN.  
130-23D(1)(E): WAIVER TO PERMIT TANGENT LENGTHS BETWEEN REVERSE CURVES IN THE ROADWAY AS SHOWN ON THE COMPREHENSIVE PERMIT PLANS.  
130-23D(1)(G): WAIVER TO PERMIT ROADWAY PAYMENT WIDTH OF 20 FEE FROM THE BEGINNING OF THE ROAD TO THE BEGINNING OF THE CUL-DE-SAC.  
130-23E: WAIVER TO PERMIT A DEAD-END STREET LENGTH OF 1,375 LINEAR FEET AS SHOWN ON THE COMPREHENSIVE PERMIT PLANS.  
130-23I: WAIVER TO PERMIT THE INSTALLATION OF A SIDEWALK ON ONE SIDE OF THE ROAD ONLY.

NOTICE OF INTENT  
TITLE SHEET

PINE HILL VILLAGE  
IN  
HARVARD, MASS.

PINE HILL VILLAGE, LLC  
P.O. BOX 468 TINGSBORO, MA

SCALE: 1" = 50 FEET  
R. WILSON and ASSOCIATES  
LAND SURVEYORS AND CIVIL ENGINEERS  
360 MASS. AVE. SUITE 202 ACTON, MA 01720  
PHONE: 978-266-0203 FAX: 978-266-0202  
FILE NO. 1009/5086 DWG NO. 1009-5086 SITE 2018 SHEET NO. 1

